

# IFB#RRP03.21 BHA ROOF REPLACEMENT PROJECT-HURRICANE ZETA REPAIRS

BILOXI HOUSING AUTHORITY

330 BENACHI AVENUE BILOXI, MS 39530

## ALTERNATES

ALTERNATE #1: AN ADDITIVE ALTERNATE FOR ALL LABOR, MATERIALS, AND EQUIPMENT NECESSARY TO REROOF BUILDINGS AT BAYVIEW OAKS, COMPLETE AS INDICATED ON THE DRAWINGS AND IN ACCORDANCE WITH THE SPECIFICATIONS.

ALTERNATE #2: AN ADDITIVE ALTERNATE FOR ALL LABOR, MATERIALS, AND EQUIPMENT NECESSARY TO INSTALL A LAMINATED SHINGLE ROOF IN LIEU OF THE BASE BID 3-TAB SHINGLE ROOF, COMPLETE AS INDICATED ON THE DRAWINGS AND IN ACCORDANCE WITH THE SPECIFICATIONS.

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- A102 BUILDINGS #6 & 8 - DEMOLITION & REROOF PLANS
- A103 BUILDING #9 DEMOLITION & REROOF PLANS
- A104 BUILDING #10 DEMOLITION & REROOF PLANS
- A105 BUILDING #12-DEMOLITION & REROOF PLAN
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- A201 SHINGLE ROOF DETAILS

PROJ #: 2021-23

IFB#RRP03.21 BHA ROOF REPLACEMENT  
PROJECT-HURRICANE ZETA REPAIRS

BILOXI HOUSING AUTHORITY  
330 BENACHI AVENUE BILOXI, MS 39530

DATE: 02/28/2021

SET TYPE

BID SET

## PROJECT TEAM

### ARCHITECT

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IFB#RRP03.21 BHA ROOF REPLACEMENT  
PROJECT - HURRICANE ZETA REPAIRS -  
VOLUME 1 - COVENANT SQUARE  
APARTMENTS  
BILOXI HOUSING AUTHORITY  
330 BENACHI AVENUE BILOXI, MS 39530

VOLUME 1 DRAWING INDEX

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A104	BUILDING #10 DEMOLITION & REROOF PLANS
A105	BUILDING #12-DEMOLITION & REROOF PLANS
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A107	OFFICE DEMOLITION & REROOF PLANS
A201	SHINGLE ROOF DETAILS

PROJ #: 2021-23

IFB#RRP03.21 BHA ROOF REPLACEMENT PROJECT -  
HURRICANE ZETA REPAIRS - VOLUME 1 - COVENANT  
SQUARE APARTMENTS  
BILOXI HOUSING AUTHORITY  
330 BENACHI AVENUE BILOXI, MS 39530

DATE: 02/28/2021

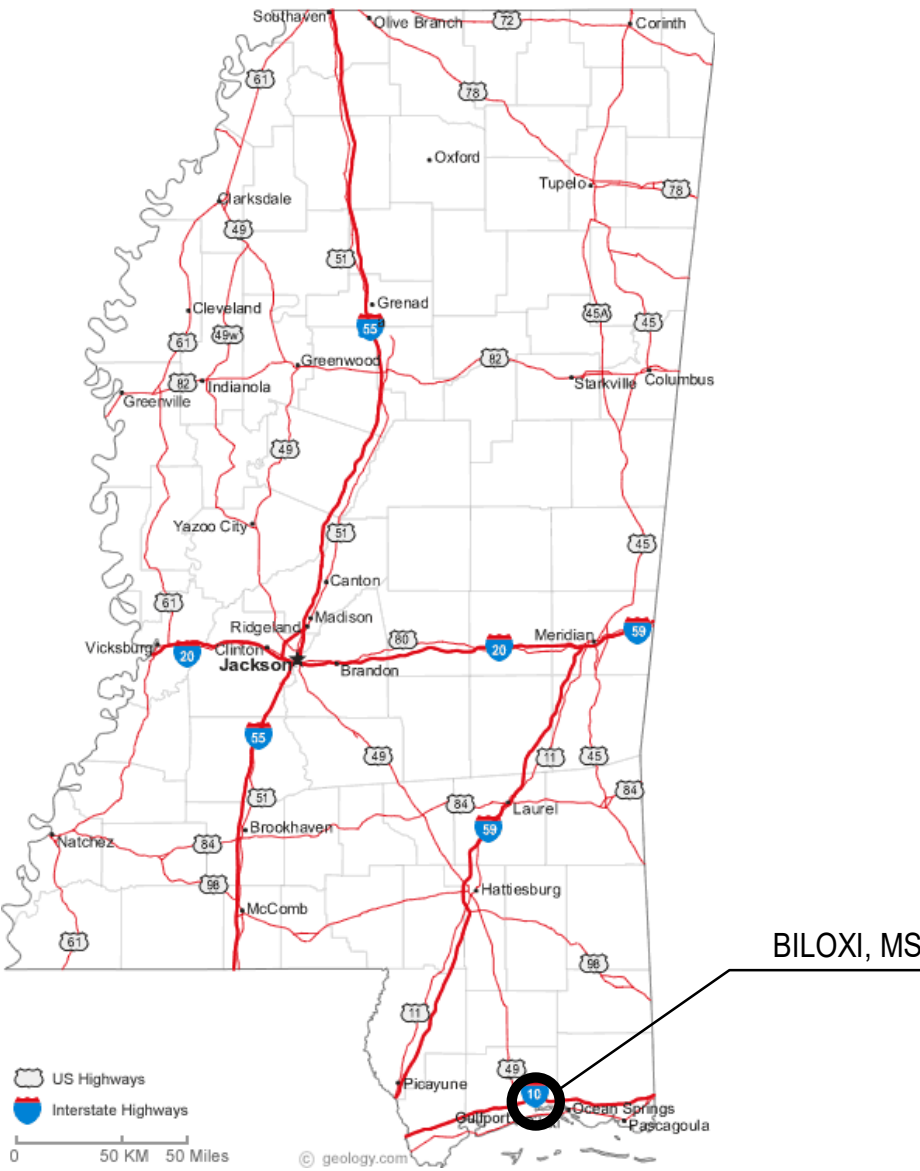
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PROJECT TEAM

ARCHITECT  
ALLRED STOLARSKI  
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LOCATION MAP NTS



VICINITY MAP NTS

COVENANT SQUARE APARTMENTS  
270 COVENANT SQUARE DRIVE



ALTERNATES

ALTERNATE #1: AN ADDITIVE ALTERNATE FOR ALL LABOR, MATERIALS, AND EQUIPMENT NECESSARY TO REROOF BUILDINGS AT BAYVIEW OAKS, COMPLETE AS INDICATED ON THE DRAWINGS AND IN ACCORDANCE WITH THE SPECIFICATIONS.

ALTERNATE #2: AN ADDITIVE ALTERNATE FOR ALL LABOR, MATERIALS, AND EQUIPMENT NECESSARY TO INSTALL A LAMINATED SHINGLE ROOF IN LIEU OF THE BASE BID 3-TAB SHINGLE ROOF, COMPLETE AS INDICATED ON THE DRAWINGS AND IN ACCORDANCE WITH THE SPECIFICATIONS.



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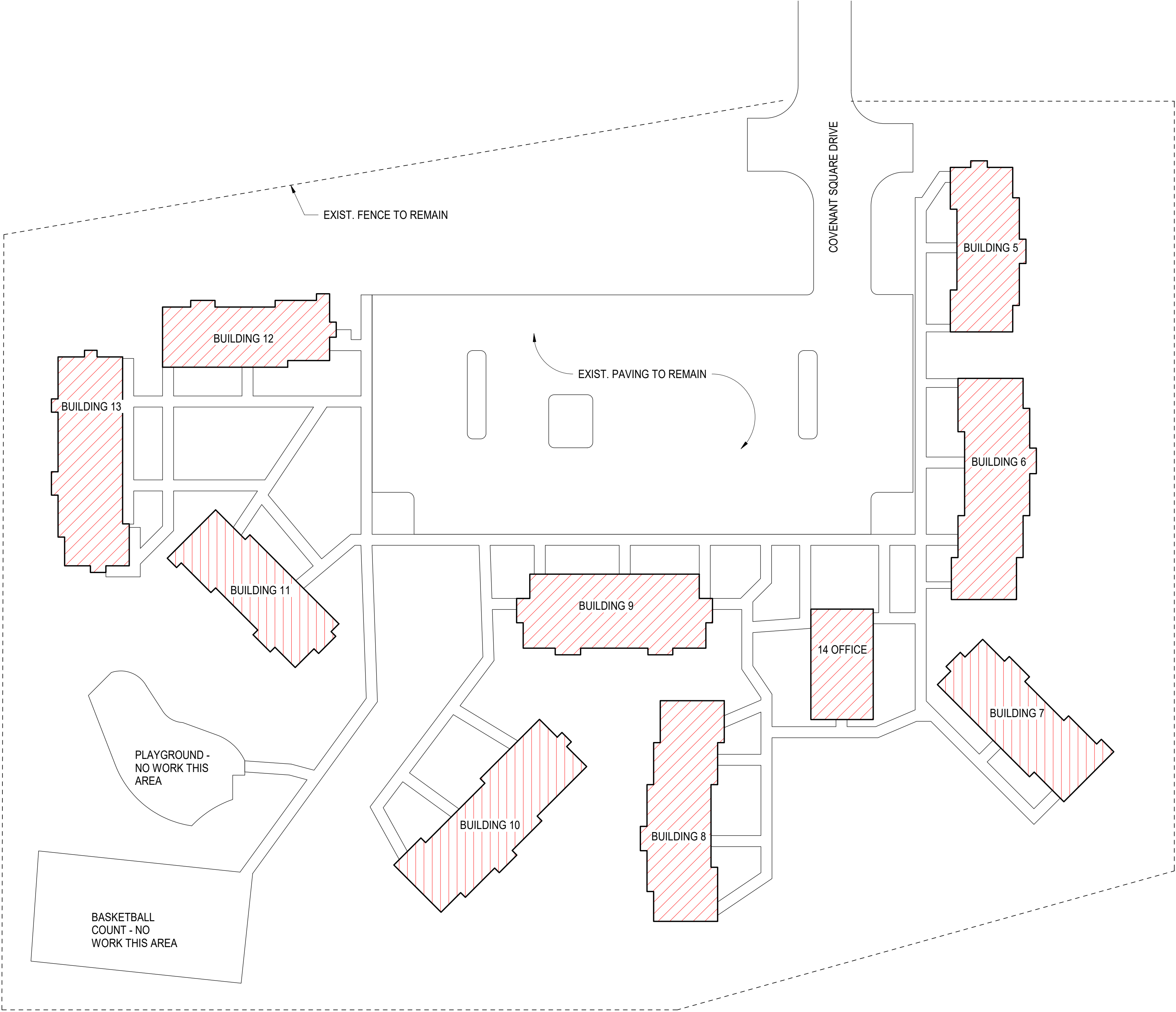
GENERAL WORK NOTES

1. SITE ADDRESS: 270 COVENANT SQUARE DRIVE, BILOXI, MS 39531
2. ALL INFORMATION REGARDING EXISTING CONDITIONS IS BASED ON OWNER SUPPLIED DOCUMENTS AND MAY NOT REFLECT ACTUAL FIELD CONDITIONS. UPON DISCOVERY OF ANY DISCREPANCIES BETWEEN FIELD CONDITIONS AND DRAWINGS DEPICTING EXISTING CONDITIONS OR UPON DISCOVERY OF UNKNOWN CONDITIONS DETRIMENTAL TO THE COMPLETION OF THE WORK AS INDICATED ON THE DRAWINGS, CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT IN WRITING. CONTRACTOR IS RESPONSIBLE FOR ALL SHORING AND BRACING NECESSARY TO MAINTAIN STRUCTURAL INTEGRITY. AT NO TIME SHALL THE EXISTING STRUCTURAL MEMBERS BE SUBJECTED TO CUTTING, DRILLING, OR ANY MODIFICATION PROCESS THAT MAY INTERFERE WITH ITS STRUCTURAL INTEGRITY.
3. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL DIMENSIONS AND CONDITIONS IN FIELD PRIOR TO BIDDING.
4. SALVAGE IS DEFINED AS THE CAREFUL REMOVAL AND RETAINING OF ITEMS AS SHOWN IN DRAWINGS FOR POSSIBLE REUSE OR DELIVERY TO OWNER.
5. CARE SHOULD BE TAKEN AT THE INTERFACE BETWEEN DEMOLITION AND EXISTING CONSTRUCTION TO REMAIN, TO AVOID ANY DAMAGE TO EXISTING CONSTRUCTION. AFTER REMOVAL OF EXISTING ROOFING OR CONSTRUCTION, PATCH AND REPAIR DAMAGE TO ANY EXISTING, WALLS, SIDEWALKS, PAVING, CURBS, LANDSCAPING, ETC. TO A LIKE NEW CONDITION.
6. THE CONTRACTOR SHALL NOTIFY, COORDINATE, SCHEDULE, AND RECEIVE PRIOR PERMISSION FROM THE USING AGENCY PRIOR TO ANY SHUT DOWN OF BUILDING SERVICES AS REQUIRED TO COMPLETE THE WORK. NOTIFICATION SHALL INCLUDE LENGTH OF TIME REQUIRED TO SHUT DOWN, LENGTH OF TIME SERVICE WILL BE DISCONNECTED, AND TIME REQUIRED TO RECONNECT SERVICES. SHUT DOWN SHALL NOT OCCUR DURING BUSINESS HOURS.
7. THE EXISTING BUILDING ENVELOPE SHALL BE MAINTAINED IN A WATERTIGHT CONDITION AT ALL TIMES.
8. THE CONTRACTOR SHALL PROVIDE TEMPORARY PROTECTION AS NECESSARY AND AS REQUIRED TO SEAL OFF THE REST OF THE EXISTING BUILDING AND MAINTAIN BUILDING DURING DEMOLITION.
9. ALL DEMOLITION WORK SHALL BE EXECUTED IN CONFORMANCE WITH ALL CODES AND ORDINANCES AS SET FORTH BY ALL GOVERNING AUTHORITIES.
10. ALL NEW DOWNSPOUTS AND GUTTERS SHALL MATCH THE SIZE, MATERIAL, AND FINISH OF EXISTING DOWNSPOUTS AND GUTTERS THAT SHALL BE DEMOLISHED. ALL GUTTERS SHALL BE BOX PROFILE. ALL DOWNSPOUTS SHALL BE PLAIN RECTANGULAR SECTION.
- 11.

LEGEND

- ###

STREET OR BUILDING NUMBER
- NO WORK THIS LOCATION.



REFERENCE SITE PLAN

1" = 30'-0"



JOB NUMBER	2021-23
DATE	02/28/2021
REVISION	
DRAWN BY	SCN
CHECKED BY	HA



SHEET

A100

REFERENCE SITE PLAN

IFB#RRP03.21 BHA ROOF REPLACEMENT PROJECT - HURRICANE ZETA REPAIRS - VOLUME 1 - COVENANT SQUARE APARTMENTS

BILOXI HOUSING AUTHORITY

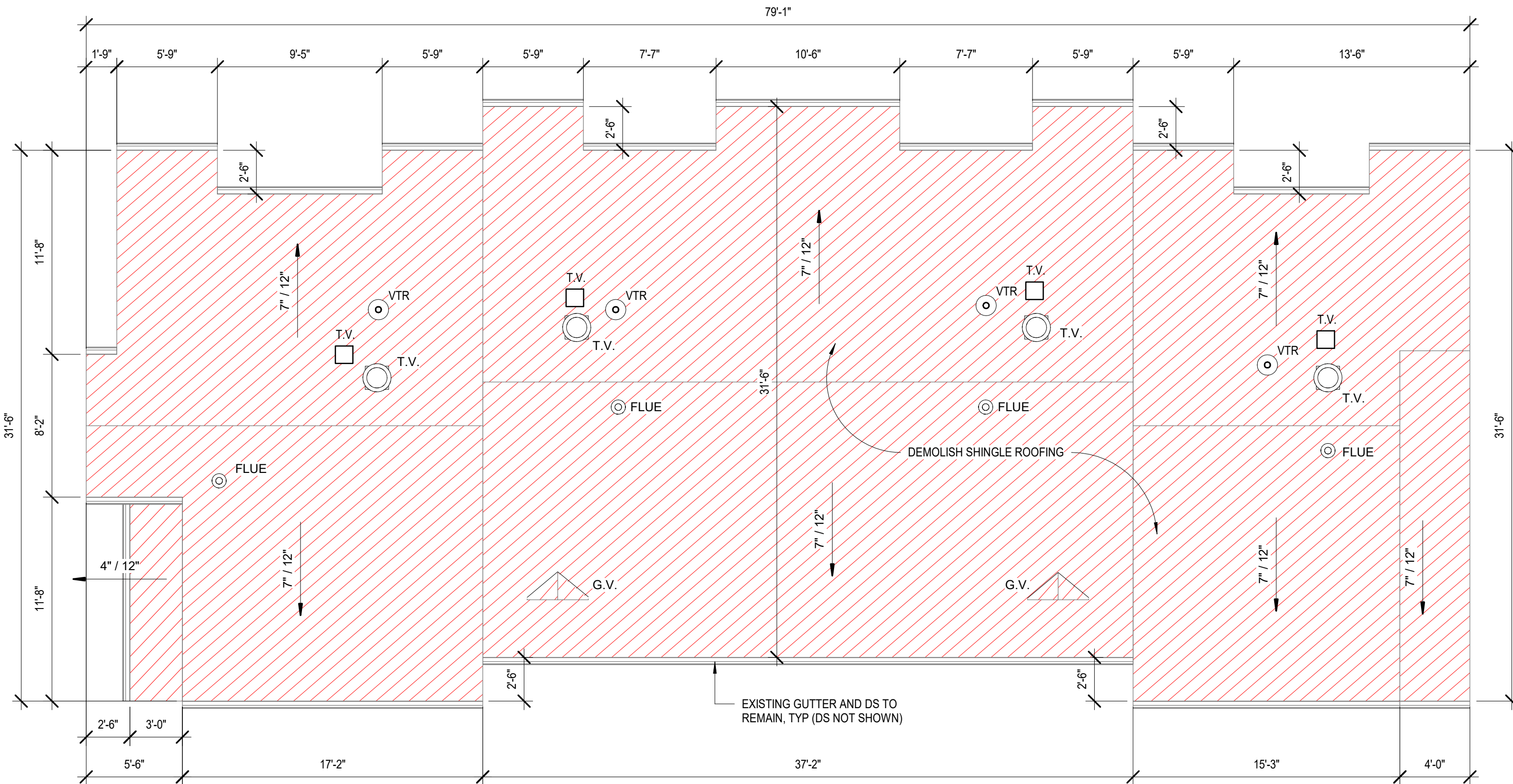
330 BENACHI AVENUE BILOXI, MS 39530

alred stolarski architects

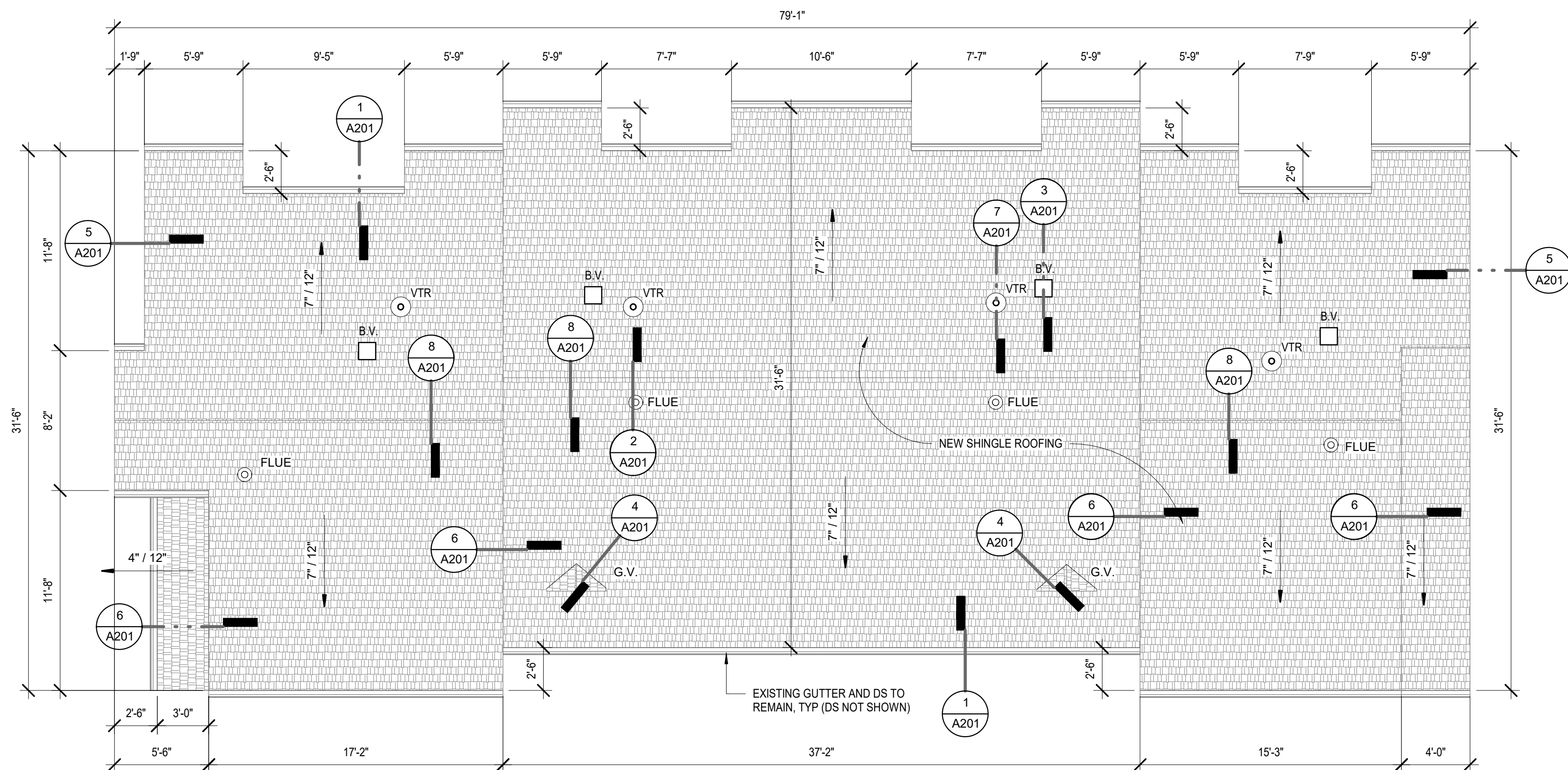
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1 BUILDING #5, 7 & 11-DEMOLITION PLAN  
3/16" = 1'-0"



2 BUILDING #5, 7 & 11-REROOF PLAN  
3/16" = 1'-0"

## SCOPE OF WORK BUILDINGS #5, 7, & #11 - DEMOLITION NOTES

- DEMOLITION SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
  - CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE ROOFING MATERIAL.
  - CONTRACTOR SHALL DEMOLISH ALL EXISTING UNDERLAYMENTS.
  - CONTRACTOR SHALL DEMOLISH ALL PIPE BOOTS, CRICKETS AND OTHER PENETRATION FLASHINGS.
  - CONTRACTOR SHALL DEMOLISH ALL TURBINE VENTS, ASSOCIATED CRICKETS AND CURBS, THEN ABANDON THE PENETRATION AND PATCH THE DECK.
  - CONTRACTOR SHALL DEMOLISH ALL TURTLE VENTS, THEN PREP THE ROOF OPENING FOR A NEW VENT.
  - CONTRACTOR SHALL RETAIN IN PLACE ALL EXISTING GAS FLUES AND VTR'S.
  - CONTRACTOR SHALL RETAIN IN PLACE ALL GABLE VENTS.
  - CONTRACTOR SHALL REMOVE AND SALVAGE FOR REINSTALLATION ALL EXISTING GUTTERS AND DOWNSPOUTS, INCLUDING STRAPS, MOUNTINGS, AND OTHER ACCESSORIES. CLEAN THE GUTTERS OF TRASH AND DEBRIS.
  - CONTRACTOR SHALL DEMOLISH ALL EAVE AND RAKE TRIM.
  - CONTRACTOR SHALL DEMOLISH ALL FLASHINGS AND COUNTER FLASHINGS NOT OTHERWISE NOTED TO REMAIN. EXISTING STEPPED THRU-WALL FLASHING SHALL REMAIN IN PLACE AND SHALL BE REUSED.
  - CONTRACTOR SHALL DEMOLISH 5% OF THE EXISTING 5/8" CDX ROOF DECK. AREAS TO BE DEMOLISHED WILL BE DETERMINED BY THE ARCHITECT IN THE FIELD.
  - CONTRACTOR SHALL PREPARE THE DECK FOR NEW WORK.
- NOTE: ALL CURBS IN GOOD CONDITION SHALL REMAIN IN PLACE AND SHALL BE REUSED

## LEGEND

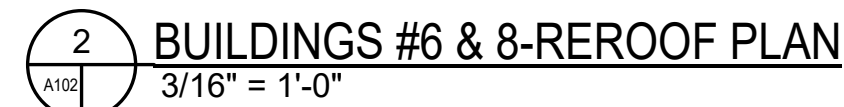
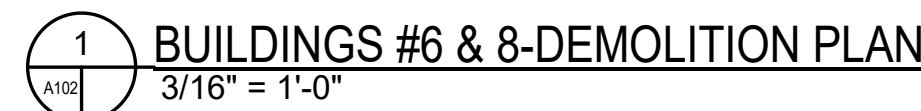
- |  |   |
|--|---|
|  | DEMOLITION MARK   |
|  | NEW SHINGLES  |
|  | VTR - EXISTING VENT THRU ROOF TO REMAIN. PROVIDE NEW BOOT.                    |
|  | FLUE - EXISTING FLUE WITH COWL TO REMAIN IN PLACE. PROVIDE NEW BOOT.          |
|  | T.V. - TURBINE VENT-EXISTING DEMOLISH & PATCH ABANDONED DECK PENETRATION.     |
|  | T.V. - TURTLE VENT - EXISTING. DEMOLISH AND PROVIDE NEW IN EXISTING LOCATION. |
|  | G.V. - GABLE VENT - EXISTING. PROTECT AND RETAIN IN PLACE                     |

## SCOPE OF WORK BUILDINGS #5, 7, & 11 - REROOF NOTES

- REROOF SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW 5/8" CDX ROOF DECK OVER 5% OF THE EXISTING DECK AREA, WHERE EXISTING DECK HAS BEEN DEMOLISHED OR WHERE PENETRATIONS ARE ABANDONED.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW UNDERLAYMENT AS SPECIFIED AND DETAILED.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW TURTLE VENTS IN LOCATIONS DRAWN.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW FLASHING AT GAS FLUES AND VTR'S.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW ROOF SHINGLES AS SPECIFIED AND DETAILED.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW RAKE AND EAVE TRIM.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW COUNTERFLASHING / THRU-WALL FLASHING.
  - CONTRACTOR SHALL REINSTALL SALVAGED GUTTERS AND DOWNSPOUTS.














1. DEMOLITION SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
  - A. CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE ROOFING MATERIAL.
  - B. CONTRACTOR SHALL DEMOLISH ALL EXISTING UNDERLAYMENTS.
  - C. CONTRACTOR SHALL DEMOLISH ALL PIPE BOOTS, CRICKETS AND OTHER PENETRATION FLASHINGS.
  - D. CONTRACTOR SHALL DEMOLISH ALL TURBINE VENTS, ASSOCIATED CRICKETS AND CURBS, THEN ABANDON THE PENETRATION AND PATCH THE DECK.
  - E. WHERE THERE IS MORE THAN ONE TURTLE VENT PER UNIT ATTIC AREA, CONTRACTOR SHALL DEMOLISH THE TURTLE VENT FARTHEST FROM THE RIDGE, ALONG WITH ALL ASSOCIATED CRICKETS AND CURBS, THEN ABANDON THE PENETRATION AND PATCH THE DECK.
  - F. CONTRACTOR SHALL DEMOLISH ALL TURTLE VENTS, THEN PREP THE ROOF OPENING FOR A NEW VENT.
  - G. CONTRACTOR SHALL RETAIN IN PLACE ALL EXISTING GAS FLUES AND VTRS.
  - H. CONTRACTOR SHALL RETAIN IN PLACE ALL CABLE VENTS.
  - I. CONTRACTOR SHALL REMOVE AND SALVAGE FOR REINSTALLATION ALL EXISTING GUTTERS AND DOWNSPOUTS, INCLUDING STRAPS, MOUNTINGS, AND OTHER ACCESSORIES. CLEAN THE GUTTERS OF TRASH AND DEBRIS.
  - J. CONTRACTOR SHALL DEMOLISH ALL EAVE AND RAKE TRIM.
  - K. CONTRACTOR SHALL DEMOLISH ALL FLASHINGS AND COUNTER FLASHINGS NOT OTHERWISE NOTED TO REMAIN. EXISTING STEPPED TRUSS-WALL FLASHING SHALL REMAIN IN PLACE AND SHALL BE REUSED.
  - L. CONTRACTOR SHALL DEMOLISH 5% OF THE EXISTING 5/8" CSDX ROOF DECK. AREAS TO BE DEMOLISHED WILL BE DETERMINED BY THE ARCHITECT IN THE FIELD. ADDITIONAL PENETRATIONS SHALL BE INCLUDED IN THE 5%.
  - M. CONTRACTOR SHALL PREPARE THE DECK FOR NEW WORK.
2. NOTE: ALL CURBS IN GOOD CONDITION SHALL REMAIN IN PLACE AND SHALL BE REUSED

### LEGEND

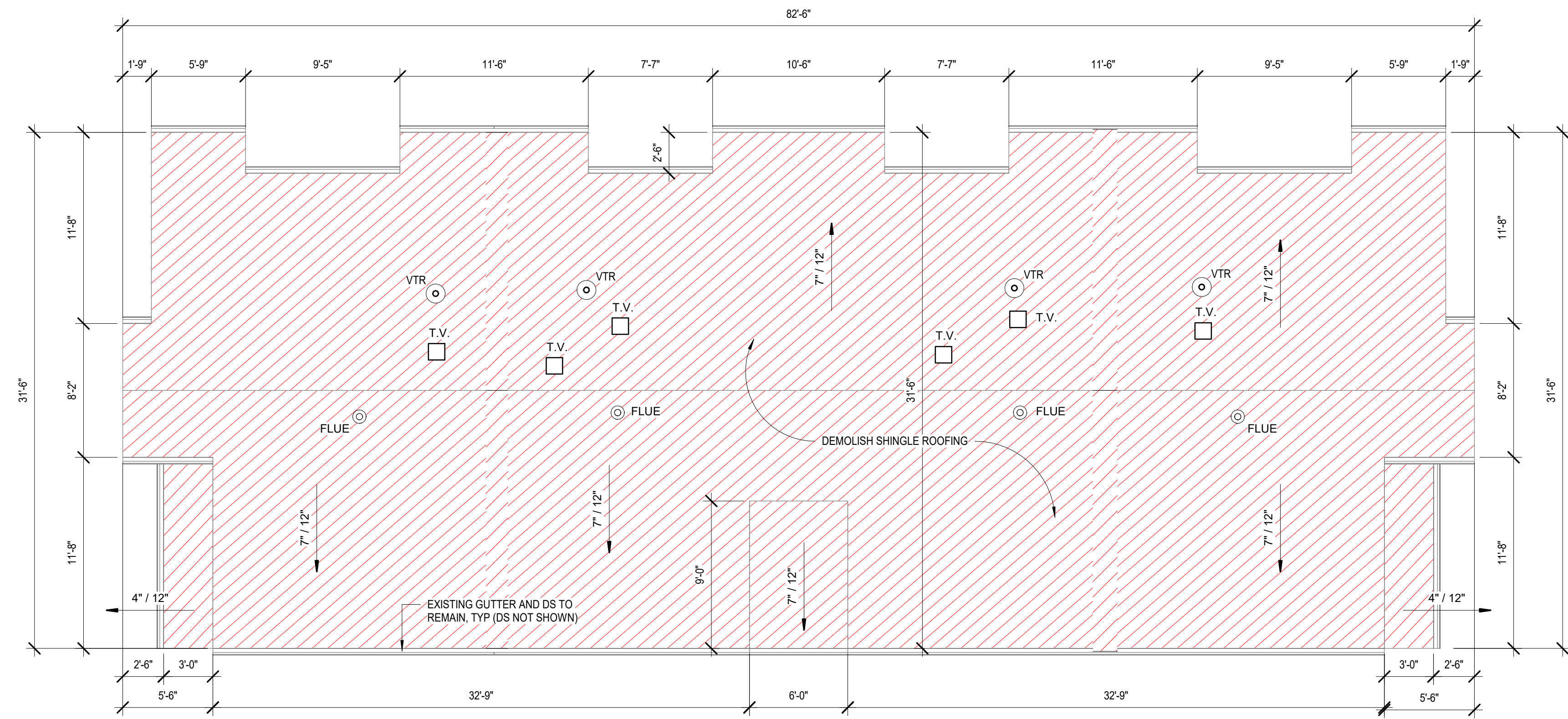
- |  |  |
|--|--|
|         | DEMOLITION MARK  |
|         | NEW SHINGLES   |
|  VTR    | VTR - EXISTING VENT THRU ROOF TO REMAIN. PROVIDE NEW BOOT.             |
|  FLUE  | FLUE - EXISTING FLUE WITH COWL TO REMAIN IN PLACE. PROVIDE NEW BOOT.   |
|  T.V. | TURBINE VENT-EXISTING DEMOLISH & PATCH ABANDONED DECK PENETRATION.     |
|  T.V. | TURTLE VENT - EXISTING. DEMOLISH AND PROVIDE NEW IN EXISTING LOCATION. |
|  G.V. | GABLE VENT - EXISTING. PROTECT AND RETAIN IN PLACE                     |

### SCOPE OF WORK BUILDINGS #6 & #8 - REROOF NOTES

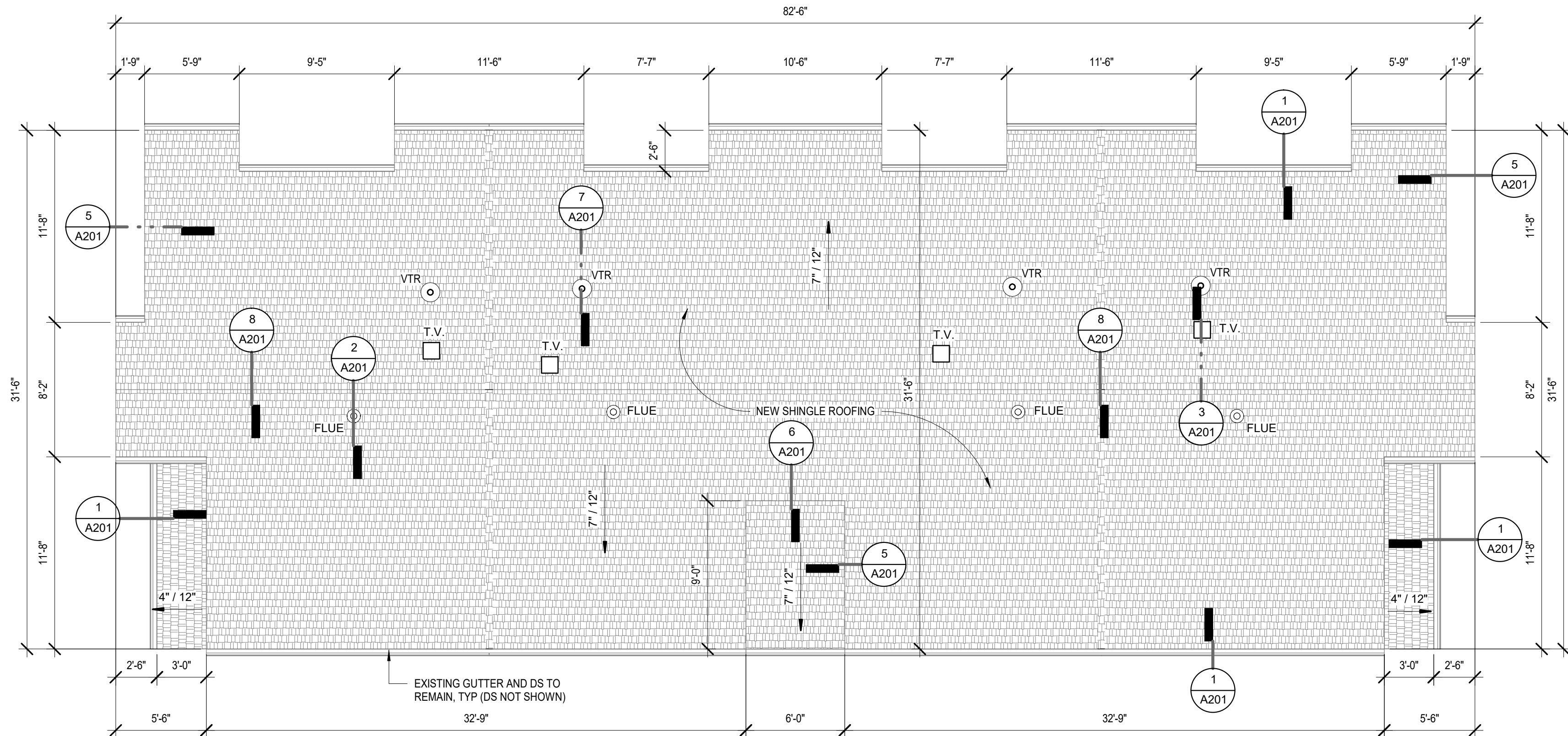
1. REROOF SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
- A. CONTRACTOR SHALL PROVIDE AND INSTALL NEW 5/8" CDX ROOF DECK OVER 5% OF THE EXISTING DECK AREA, WHERE EXISTING DECK HAS BEEN DEMOLISHED OR WHERE PENETRATIONS ARE ABANDONED.
  - B. CONTRACTOR SHALL PROVIDE AND INSTALL NEW UNDERLAYMENT AS SPECIFIED AND DETAILED.
  - C. CONTRACTOR SHALL PROVIDE AND INSTALL NEW TURTLE VENTS IN LOCATIONS DRAWN.
  - D. CONTRACTOR SHALL PROVIDE AND INSTALL NEW FLASHING AS SPECIFIED AND DETAILED.
  - E. CONTRACTOR SHALL PROVIDE AND INSTALL NEW ROOF SHINGLES AS SPECIFIED AND DETAILED.
  - F. CONTRACTOR SHALL PROVIDE AND INSTALL NEW RAKE AND EAVE TRIM.
  - G. CONTRACTOR SHALL PROVIDE AND INSTALL NEW DOWNSPOUTS WITH THROUGH-ROOF FLASHING.
  - H. CONTRACTOR SHALL REINSTALL SALVAGED GUTTERS AND DOWNSPOUTS.







1 BUILDING #9-DEMOLITION PLAN  
3/16" = 1'-0"



2 BUILDING #9-REROOF PLAN  
3/16" = 1'-0"

### SCOPE OF WORK BUILDING #9 - DEMOLITION NOTES

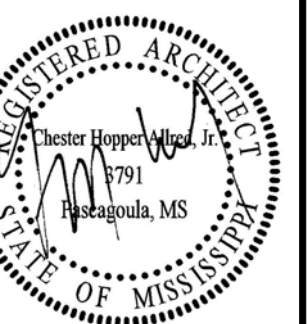
- DEMOLITION SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
  - CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE ROOFING MATERIAL.
  - CONTRACTOR SHALL DEMOLISH ALL EXISTING UNDERLAYMENTS.
  - CONTRACTOR SHALL DEMOLISH ALL PIPE BOOTS, CRICKETS AND OTHER PENETRATION FLASHINGS.
  - CONTRACTOR SHALL DEMOLISH ALL TURTLE VENTS, THEN PREP THE ROOF OPENING FOR A NEW VENT.
  - WHERE THERE IS MORE THAN 1 TURTLE VENT PER UNIT ATTIC AREA, CONTRACTOR SHALL DEMOLISH THE TURTLE VENT FARTHEST FROM THE RIDGE, ALONG WITH ALL ASSOCIATED CRICKETS AND CURBS, THEN ABANDON THE PENETRATION AND PATCH THE DECK.
  - CONTRACTOR SHALL RETAIN IN PLACE ALL EXISTING GAS FLUES AND VTR'S.
  - CONTRACTOR SHALL REMOVE AND SALVAGE FOR REINSTALLATION ALL EXISTING GUTTERS AND DOWNSPOUTS, INCLUDING STRAPS, MOUNTINGS, AND OTHER ACCESSORIES. CLEAN THE GUTTERS OF TRASH AND DEBRIS.
  - CONTRACTOR SHALL DEMOLISH ALL EAVE AND RAKE TRIM.
  - CONTRACTOR SHALL DEMOLISH ALL FLASHINGS AND COUNTER FLASHINGS NOT OTHERWISE NOTED TO REMAIN.
  - EXISTING STEPPED THRU-WALL FLASHING SHALL REMAIN IN PLACE AND SHALL BE REUSED.
  - CONTRACTOR SHALL DEMOLISH 5% OF THE EXISTING 5/8" CDX ROOF DECK. AREAS TO BE DEMOLISHED WILL BE DETERMINED BY THE ARCHITECT IN THE FIELD.
  - CONTRACTOR SHALL PREPARE THE DECK FOR NEW WORK.
- NOTE: ALL CURBS IN GOOD CONDITION SHALL REMAIN IN PLACE AND SHALL BE REUSED

### LEGEND

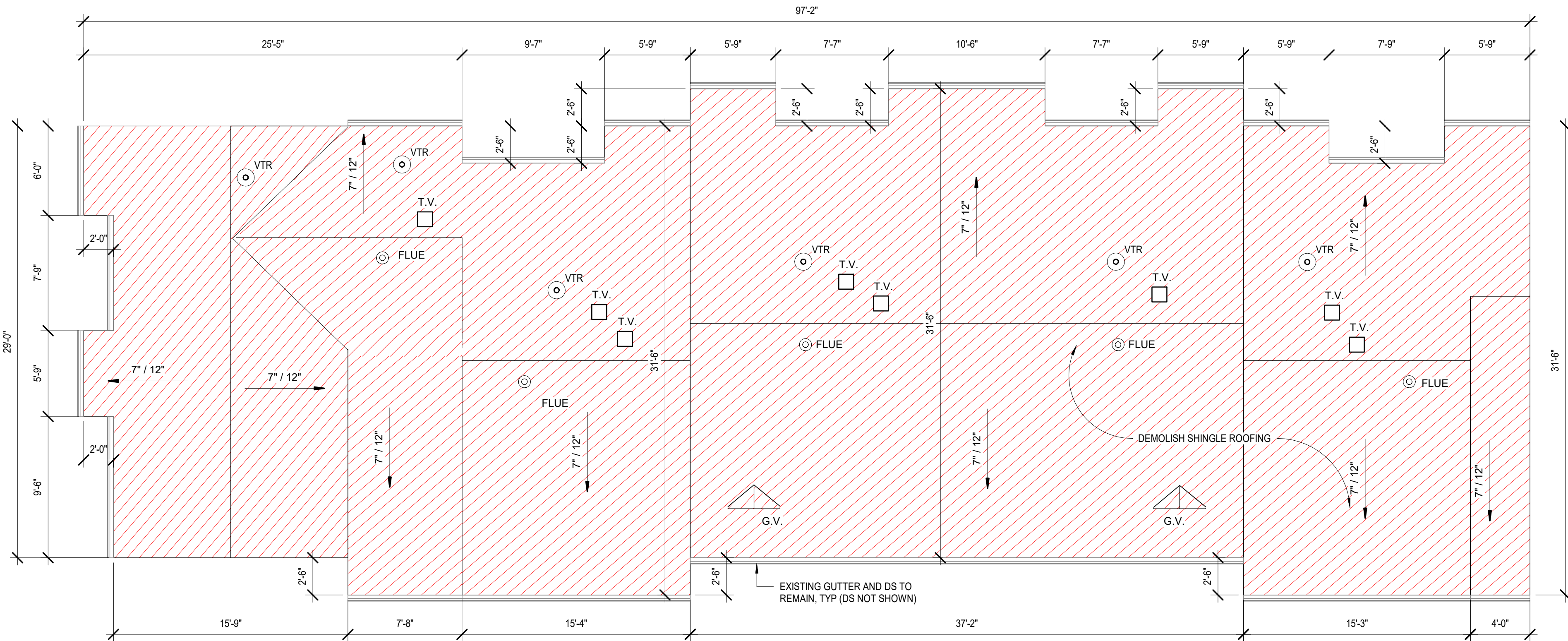
	DEMOLITION MARK
	NEW SHINGLES
	VTR - EXISTING VENT THRU ROOF TO REMAIN. PROVIDE NEW BOOT.
	FLUE - EXISTING FLUE WITH COWL TO REMAIN IN PLACE. PROVIDE NEW BOOT.
	TURBINE VENT-EXISTING DEMOLISH & PATCH ABANDONED DECK PENETRATION.
	TURTLE VENT - EXISTING. DEMOLISH AND PROVIDE NEW IN EXISTING LOCATION.
	GABLE VENT - EXISTING. PROTECT AND RETAIN IN PLACE

### SCOPE OF WORK BUILDING #9 - REROOF NOTES

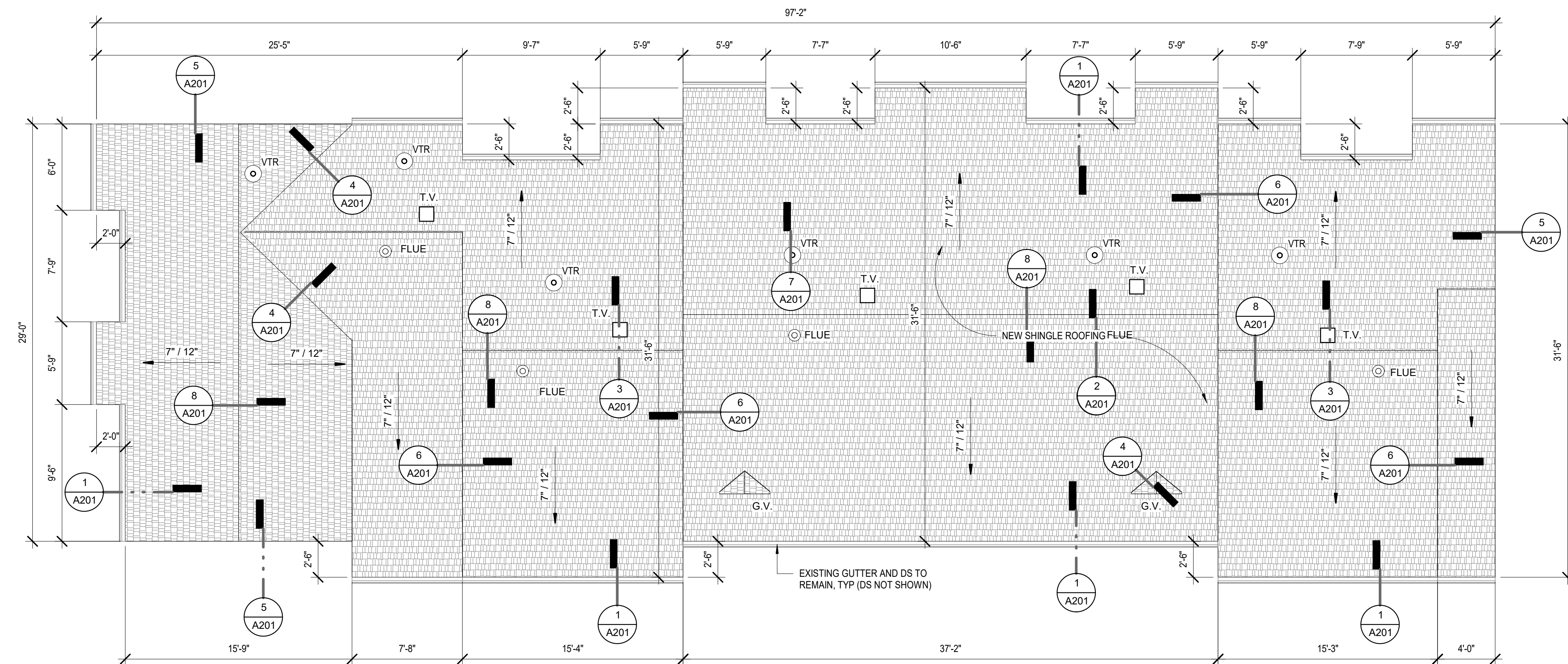
- REROOF SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
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  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW UNDERLAYMENT AS SPECIFIED AND DETAILED.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW TURTLE VENTS IN LOCATIONS DRAWN.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW FLASHING AT GAS FLUES AND VTR'S.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW ROOF SHINGLES AS SPECIFIED AND DETAILED.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW RAKE AND EAVE TRIM.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW COUNTERFLASHING / THRU-WALL FLASHING.
  - CONTRACTOR SHALL REINSTALL SALVAGED GUTTERS AND DOWNSPOUTS.







1 BUILDING #10-DEMOLITION PLAN  
3/16" = 1'-0"



2 BUILDING #10-RENOVATION PLAN  
3/16" = 1'-0"

## SCOPE OF WORK BUILDING #10 - DEMOLITION NOTES

- DEMOLITION SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
  - CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE ROOFING MATERIAL.
  - CONTRACTOR SHALL DEMOLISH ALL EXISTING UNDERLAYMENTS.
  - CONTRACTOR SHALL DEMOLISH ALL PIPE BOOTS, CRICKETS AND OTHER PENETRATION FLASHINGS.
  - CONTRACTOR SHALL DEMOLISH ALL TURTLE VENTS, THEN PREP THE ROOF OPENING FOR A NEW VENT.
  - WHERE THERE IS MORE THAN 1 TURTLE VENT PER UNIT ATTIC AREA, CONTRACTOR SHALL DEMOLISH THE TURTLE VENT FARTHEST FROM THE RIDGE, ALONG WITH ALL ASSOCIATED CRICKETS AND CURBS, THEN ABANDON THE PENETRATION AND PATCH THE DECK.
  - CONTRACTOR SHALL RETAIN IN PLACE ALL EXISTING GAS FLUES AND VTR'S.
  - CONTRACTOR SHALL RETAIN IN PLACE ALL GABLE VENTS.
  - CONTRACTOR SHALL REMOVE AND SALVAGE FOR REINSTALLATION ALL EXISTING GUTTERS AND DOWNSPOUTS, INCLUDING STRAPS, MOUNTINGS, AND OTHER ACCESSORIES. CLEAN THE GUTTERS OF TRASH AND DEBRIS.
  - CONTRACTOR SHALL DEMOLISH ALL EAVE AND RAKE TRIM.
  - CONTRACTOR SHALL DEMOLISH ALL FLASHINGS AND COUNTER FLASHINGS NOT OTHERWISE NOTED TO REMAIN. EXISTING STEPPED THRU-WALL FLASHING SHALL REMAIN IN PLACE AND SHALL BE REUSED.
  - CONTRACTOR SHALL DEMOLISH 5% OF THE EXISTING 5/8" CDX ROOF DECK. AREAS TO BE DEMOLISHED WILL BE DETERMINED BY THE ARCHITECT IN THE FIELD.
  - CONTRACTOR SHALL PREPARE THE DECK FOR NEW WORK.

## LEGEND

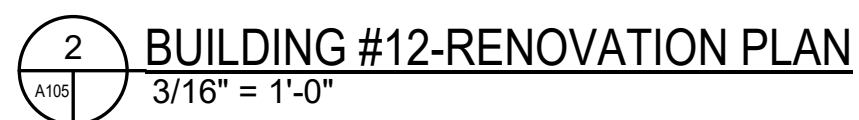
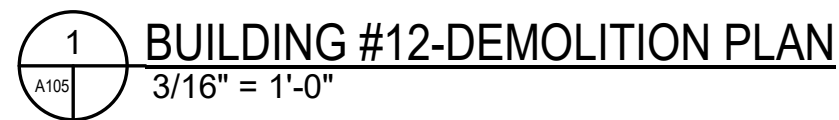
- |  |  |
|--|--|
|  | DEMOLITION MARK  |
|  | NEW SHINGLES   |
|  | VTR - EXISTING VENT THRU ROOF TO REMAIN. PROVIDE NEW BOOT.             |
|  | FLUE - EXISTING FLUE WITH COWL TO REMAIN IN PLACE. PROVIDE NEW BOOT.   |
|  | TURBINE VENT-EXISTING DEMOLISH & PATCH ABANDONED DECK PENETRATION.     |
|  | TURTLE VENT - EXISTING. DEMOLISH AND PROVIDE NEW IN EXISTING LOCATION. |
|  | GABLE VENT - EXISTING. PROTECT AND RETAIN IN PLACE                     |

## SCOPE OF WORK BUILDING #10 - REROOF NOTES

- REROOF SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW 5/8" CDX ROOF DECK OVER 5% OF THE EXISTING DECK AREA, WHERE EXISTING DECK HAS BEEN DEMOLISHED OR WHERE PENETRATIONS ARE ABANDONED.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW UNDERLAYMENT AS SPECIFIED AND DETAILED.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW TURTLE VENTS IN LOCATIONS DRAWN.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW FLASHING AT GAS FLUES AND VTR'S.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW ROOF SHINGLES AS SPECIFIED AND DETAILED.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW RAKE AND EAVE TRIM.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW COUNTERFLASHING / THRU-WALL FLASHING.
  - CONTRACTOR SHALL REINSTALL SALVAGED GUTTERS AND DOWNSPOUTS.














1. DEMOLITION SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
  - A. CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE ROOFING MATERIAL.
  - B. CONTRACTOR SHALL DEMOLISH ALL EXISTING UNDERLAYMENTS.
  - C. CONTRACTOR SHALL DEMOLISH ALL THE BOOTS, CRICKETS AND OTHER PENETRATION FLASHINGS.
  - D. CONTRACTOR SHALL REMOVE ALL CURBS, THURTS, THE PREP THE ROOF OPENING FOR A NEW VENT.
  - E. WHERE THERE IS MORE THAN 1 TURTLE VENT PER UNIT ATTIC AREA, CONTRACTOR SHALL DEMOLISH THE TURTLE VENT FARTHEST FROM THE RIDGE, ALONG WITH ALL ASSOCIATED CRICKETS AND CURBS, THEN ABANDON THE PENETRATION AND PATCH THE DECK.
  - F. CONTRACTOR SHALL RETAIN IN PLACE ALL EXISTING GAS FLUES AND VTRS.
  - G. CONTRACTOR SHALL REMOVE AND SALVAGE FOR REINSTALLATION ALL EXISTING GUTTERS AND DOWNSPOUTS, INCLUDING STRAPS, MOUNTINGS, AND OTHER ACCESSORIES. CLEAN THE GUTTERS OF TRASH AND DEBRIS.
  - H. CONTRACTOR SHALL DEMOLISH ALL EAVE AND RAKE TRIM.
  - I. CONTRACTOR SHALL DEMOLISH ALL FLASHINGS AND COUNTER FLASHINGS NOT OTHERWISE NOTED TO REMAIN. EXISTING STEPPED THRU-WALL FLASHINGS SHALL REMAIN IN PLACE AND SHALL BE REID.
  - J. CONTRACTOR SHALL DEMOLISH 8% OF THE EXISTING 3/8" CDX ROOF DECK AREAS TO BE DEMOLISHED WILL BE DETERMINED BY THE ARCHITECT IN THE FIELD.
  - K. CONTRACTOR SHALL PREPARE THE DECK FOR NEW WORK.

### LEGEND

- |  |  |
|--|--|
|         | DEMOLITION MARK  |
|         | NEW SHINGLES   |
|  VTR    | VTR - EXISTING VENT THRU ROOF TO REMAIN. PROVIDE NEW BOOT.             |
|  FLUE   | FLUE - EXISTING FLUE WITH COWL TO REMAIN IN PLACE. PROVIDE NEW BOOT.   |
|  T.V. | TURBINE VENT-EXISTING DEMOLISH & PATCH ABANDONED DECK PENETRATION.     |
|  T.V. | TURTLE VENT - EXISTING. DEMOLISH AND PROVIDE NEW IN EXISTING LOCATION. |
|  G.V. | GABLE VENT - EXISTING. PROTECT AND RETAIN IN PLACE                     |

## SCOPE OF WORK BUILDING #12 - REROOF NOTES

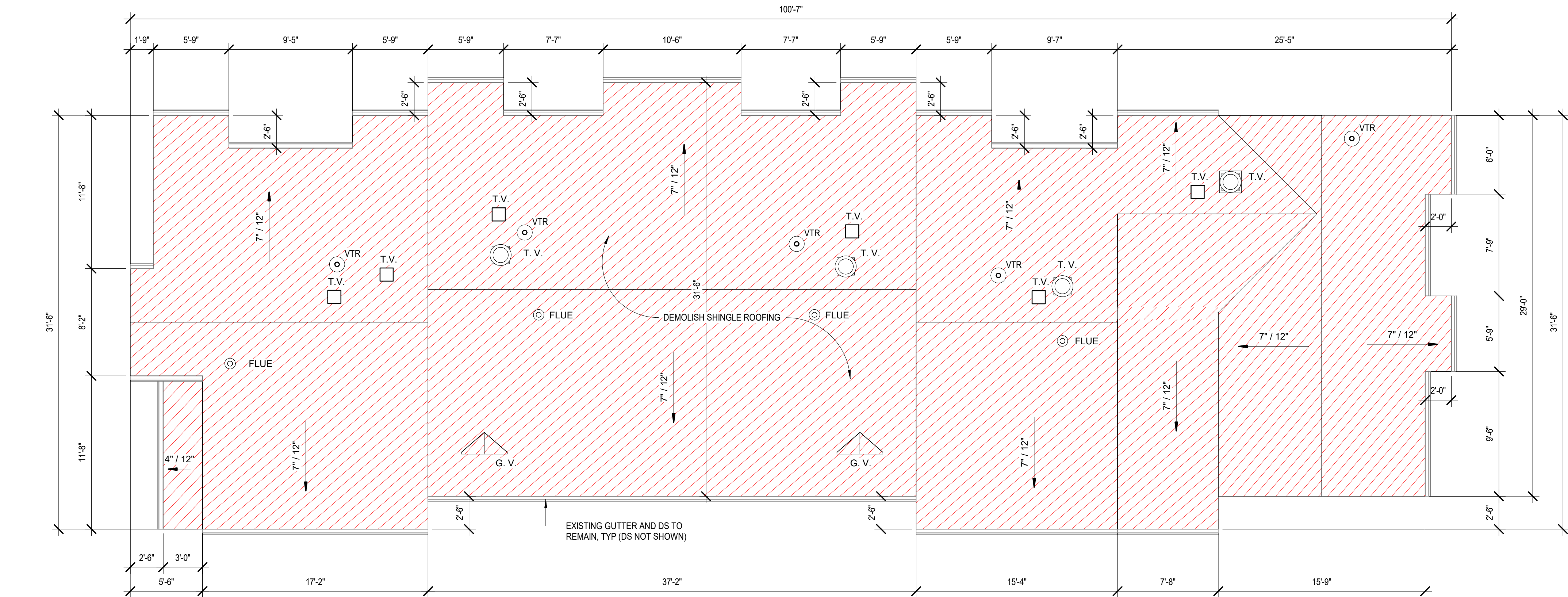
1. REROOF SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
- A. CONTRACTOR SHALL PROVIDE AND INSTALL NEW 5/8" CDX ROOF DECK OVER 5% OF THE EXISTING DECK AREA, WHERE EXISTING DECK HAS BEEN DEMOLISHED OR WHERE PENETRATIONS ARE ABANDONED.
  - B. CONTRACTOR SHALL PROVIDE AND INSTALL NEW UNDERLAYMENT AS SPECIFIED AND DETAILED.
  - C. CONTRACTOR SHALL PROVIDE AND INSTALL NEW TURTLE VENTS IN LOCATIONS DRAWN.
  - D. CONTRACTOR SHALL PROVIDE AND INSTALL NEW 1/2" THICK FIBERGLASS INSULATION.
  - E. CONTRACTOR SHALL PROVIDE AND INSTALL NEW ROOF SHINGLES AS SPECIFIED AND DETAILED.
  - F. CONTRACTOR SHALL PROVIDE AND INSTALL NEW RAKE AND EAVE TRIM.
  - G. CONTRACTOR SHALL PROVIDE AND INSTALL NEW TRIM FLASHING AND 1/2" THRU-WALL FLASHING.
  - H. CONTRACTOR SHALL REINSTALL SALVAGED GUTTERS AND DOWNSPOUTS.



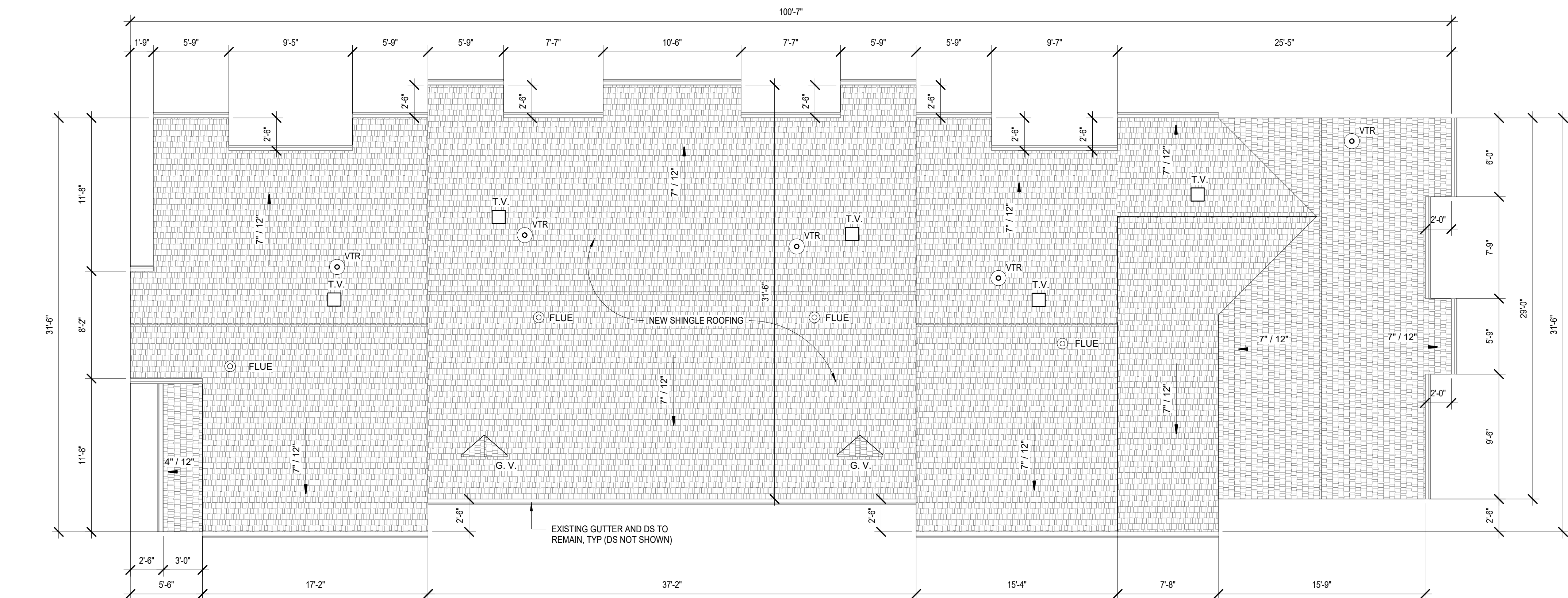
SHEET

A105





1 BUILDING #13-DEMOLITION PLAN  
3/16" = 1'-0"



2 BUILDING #13-RENOVATION PLAN  
3/16" = 1'-0"

## SCOPE OF WORK BUILDING #13 - DEMOLITION NOTES

- DEMOLITION SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
  - CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE ROOFING MATERIAL.
  - CONTRACTOR SHALL DEMOLISH ALL EXISTING UNDERLAYMENTS
  - CONTRACTOR SHALL DEMOLISH ALL PIPE BOOTS, CRICKETS AND OTHER PENETRATION FLASHINGS.
  - CONTRACTOR SHALL DEMOLISH ALL TURBINE VENTS, ASSOCIATED CRICKETS AND CURBS, THEN ABANDON THE PENETRATION AND PATCH THE DECK.
  - CONTRACTOR SHALL DEMOLISH ALL TURTLE VENTS, THEN PREP THE ROOF OPENING FOR A NEW VENT.
  - WHERE THERE IS MORE THAN 1 TURTLE VENT PER UNIT ATTIC AREA, CONTRACTOR SHALL DEMOLISH THE TURTLE VENT FARTHEST FROM THE RIDGE, ALONG WITH ALL ASSOCIATED CRICKETS AND CURBS, THEN ABANDON THE PENETRATION AND PATCH THE DECK.
  - CONTRACTOR SHALL RETAIN IN PLACE ALL EXISTING GAS FLUES AND VTR'S.
  - CONTRACTOR SHALL RETAIN IN PLACE ALL GABLE VENTS.
  - CONTRACTOR SHALL REMOVE AND SALVAGE FOR REINSTALLATION ALL EXISTING GUTTERS AND DOWNSPOUTS, INCLUDING STRAPS, MOUNTINGS, AND OTHER ACCESSORIES. CLEAN THE GUTTERS OF TRASH AND DEBRIS.
  - CONTRACTOR SHALL DEMOLISH ALL EAVE AND RAKE TRIM.
  - CONTRACTOR SHALL DEMOLISH ALL FLASHINGS AND COUNTER FLASHINGS NOT OTHERWISE NOTED TO REMAIN. EXISTING STEPPED THRU-WALL FLASHING SHALL REMAIN IN PLACE AND SHALL BE REUSED.
  - CONTRACTOR SHALL DEMOLISH 5% OF THE EXISTING 5/8" CDX ROOF DECK. AREAS TO BE DEMOLISHED WILL BE DETERMINED BY THE ARCHITECT IN THE FIELD.
  - CONTRACTOR SHALL PREPARE THE DECK FOR NEW WORK.
- NOTE: ALL CURBS IN GOOD CONDITION SHALL REMAIN IN PLACE AND SHALL BE REUSED

## LEGEND

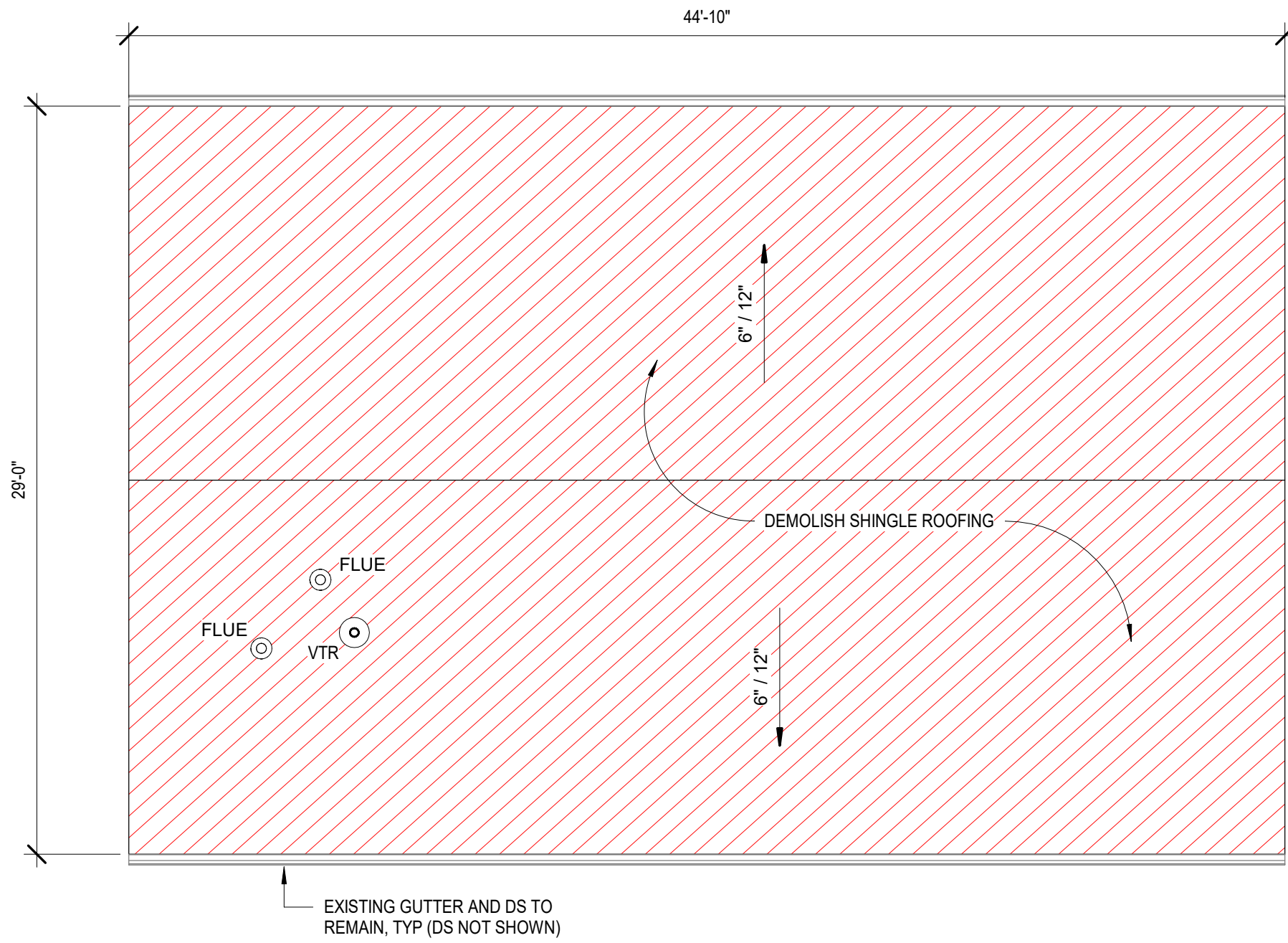
	DEMOLITION MARK
	NEW SHINGLES
	VTR - EXISTING VENT THRU ROOF TO REMAIN. PROVIDE NEW BOOT.
	FLUE - EXISTING FLUE WITH COWL TO REMAIN IN PLACE. PROVIDE NEW BOOT.
	TURBINE VENT-EXISTING DEMOLISH & PATCH ABANDONED DECK PENETRATION.
	TURTLE VENT - EXISTING. DEMOLISH AND PROVIDE NEW IN EXISTING LOCATION.
	GABLE VENT - EXISTING. PROTECT AND RETAIN IN PLACE

## SCOPE OF WORK BUILDINGS #13 - REROOF NOTES

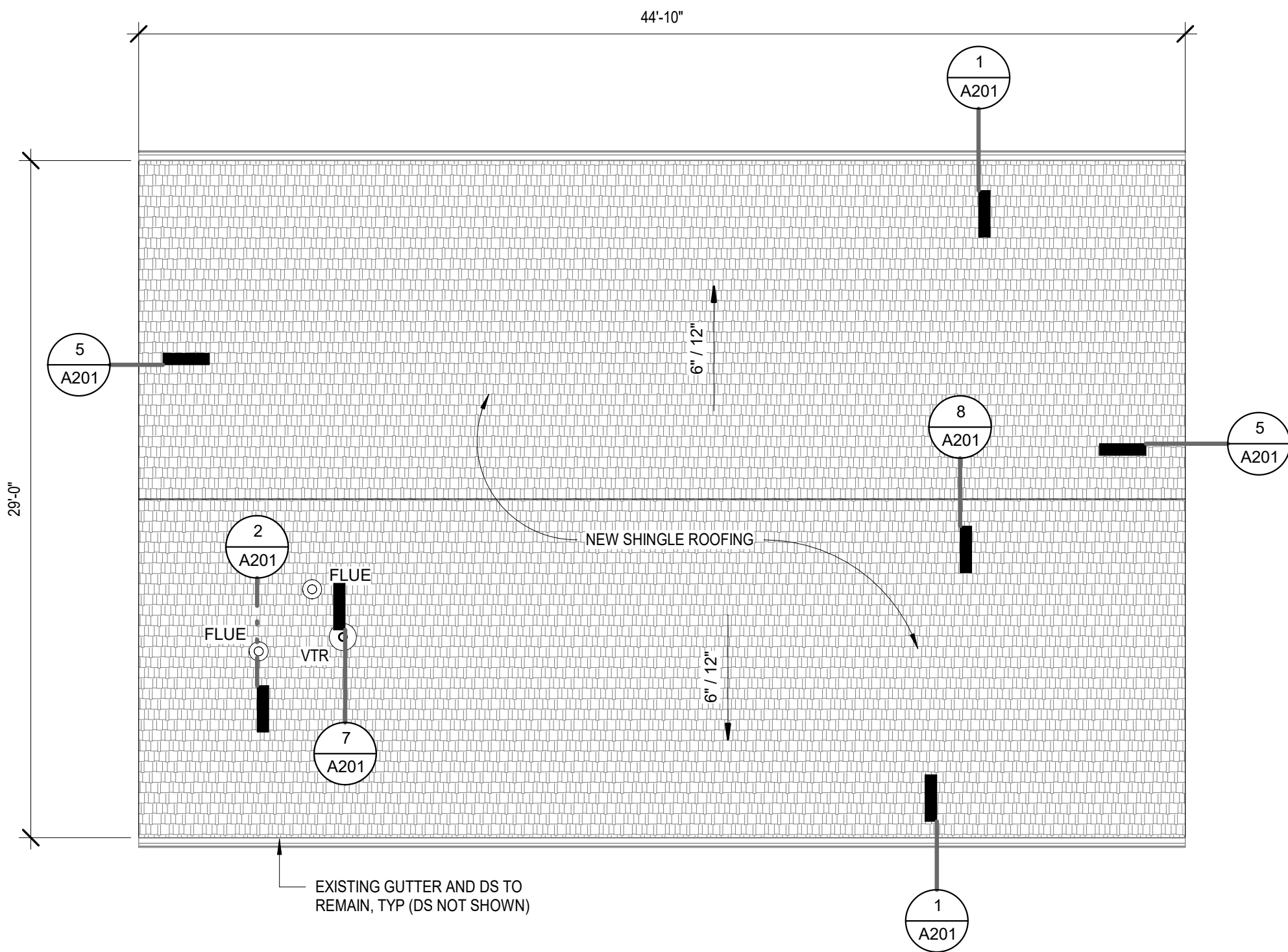
- REROOF SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW 5/8" CDX ROOF DECK OVER 5% OF THE EXISTING DECK AREA, WHERE EXISTING DECK HAS BEEN DEMOLISHED OR WHERE PENETRATIONS ARE ABANDONED.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW UNDERLAYMENT AS SPECIFIED AND DETAILED.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW TURTLE VENTS IN LOCATIONS DRAWN.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW FLASHING AT GAS FLUES AND VTR'S.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW ROOF SHINGLES AS SPECIFIED AND DETAILED.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW RAKE AND EAVE TRIM.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW COUNTERFLASHING / THRU-WALL FLASHING.
  - CONTRACTOR SHALL REINSTALL SALVAGED GUTTERS AND DOWNSPOUTS.







1 OFFICE-DEMOLITION PLAN  
3/16" = 1'-0"



2 OFFICE-REROOF PLAN  
3/16" = 1'-0"

### SCOPE OF WORK OFFICE BUILDING- DEMOLITION NOTES

- DEMOLITION SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
  - CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE ROOFING MATERIAL.
  - CONTRACTOR SHALL DEMOLISH ALL EXISTING UNDERLAYMENTS.
  - CONTRACTOR SHALL DEMOLISH ALL PIPE BOOTS, CRICKETS AND OTHER PENETRATION FLASHINGS.
  - CONTRACTOR SHALL RETAIN IN PLACE ALL EXISTING GAS FLUES AND VTR'S.
  - CONTRACTOR SHALL REMOVE AND SALVAGE FOR REINSTALLATION ALL EXISTING GUTTERS AND DOWNSPOUTS, INCLUDING STRAPS, MOUNTINGS, AND OTHER ACCESSORIES. CLEAN THE GUTTERS OF TRASH AND DEBRIS.
  - CONTRACTOR SHALL DEMOLISH ALL EAVE AND RAKE TRIM.
  - CONTRACTOR SHALL DEMOLISH ALL FLASHINGS AND COUNTER FLASHINGS NOT OTHERWISE NOTED TO REMAIN. EXISTING STEPPED THRU-WALL FLASHING SHALL REMAIN IN PLACE AND SHALL BE REUSED.
  - CONTRACTOR SHALL DEMOLISH 5% OF THE EXISTING 5/8" CDX ROOF DECK. AREAS TO BE DEMOLISHED WILL BE DETERMINED BY THE ARCHITECT IN THE FIELD.
  - CONTRACTOR SHALL PREPARE THE DECK FOR NEW WORK.

### LEGEND

- |  |   |
|--|---|
|  | DEMOLITION MARK   |
|  | NEW SHINGLES  |
|  | VTR - EXISTING VENT THRU ROOF TO REMAIN. PROVIDE NEW BOOT.                    |
|  | FLUE - EXISTING FLUE WITH COWL TO REMAIN IN PLACE. PROVIDE NEW BOOT.          |
|  | T.V. - TURBINE VENT-EXISTING DEMOLISH & PATCH ABANDONED DECK PENETRATION.     |
|  | T.V. - TURTLE VENT - EXISTING. DEMOLISH AND PROVIDE NEW IN EXISTING LOCATION. |
|  | G.V. - GABLE VENT - EXISTING. PROTECT AND RETAIN IN PLACE                     |

### SCOPE OF WORK OFFICE - REROOF NOTES

- REROOF SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW 5/8" CDX ROOF DECK OVER 5% OF THE EXISTING DECK AREA, WHERE EXISTING DECK HAS BEEN DEMOLISHED OR WHERE PENETRATIONS ARE ABANDONED.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW UNDERLAYMENT AS SPECIFIED AND DETAILED.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW FLASHING AT GAS FLUES AND VTR'S.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW ROOF SHINGLES AS SPECIFIED AND DETAILED.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW RAKE AND EAVE TRIM.
  - CONTRACTOR SHALL REINSTALL SALVAGED GUTTERS AND DOWNSPOUTS.

JOB NUMBER  
2021-23  
DATE  
02/28/2021  
REVISED  
DRAWN BY  
HA  
CHECKED BY  
Checker



SHEET

A107

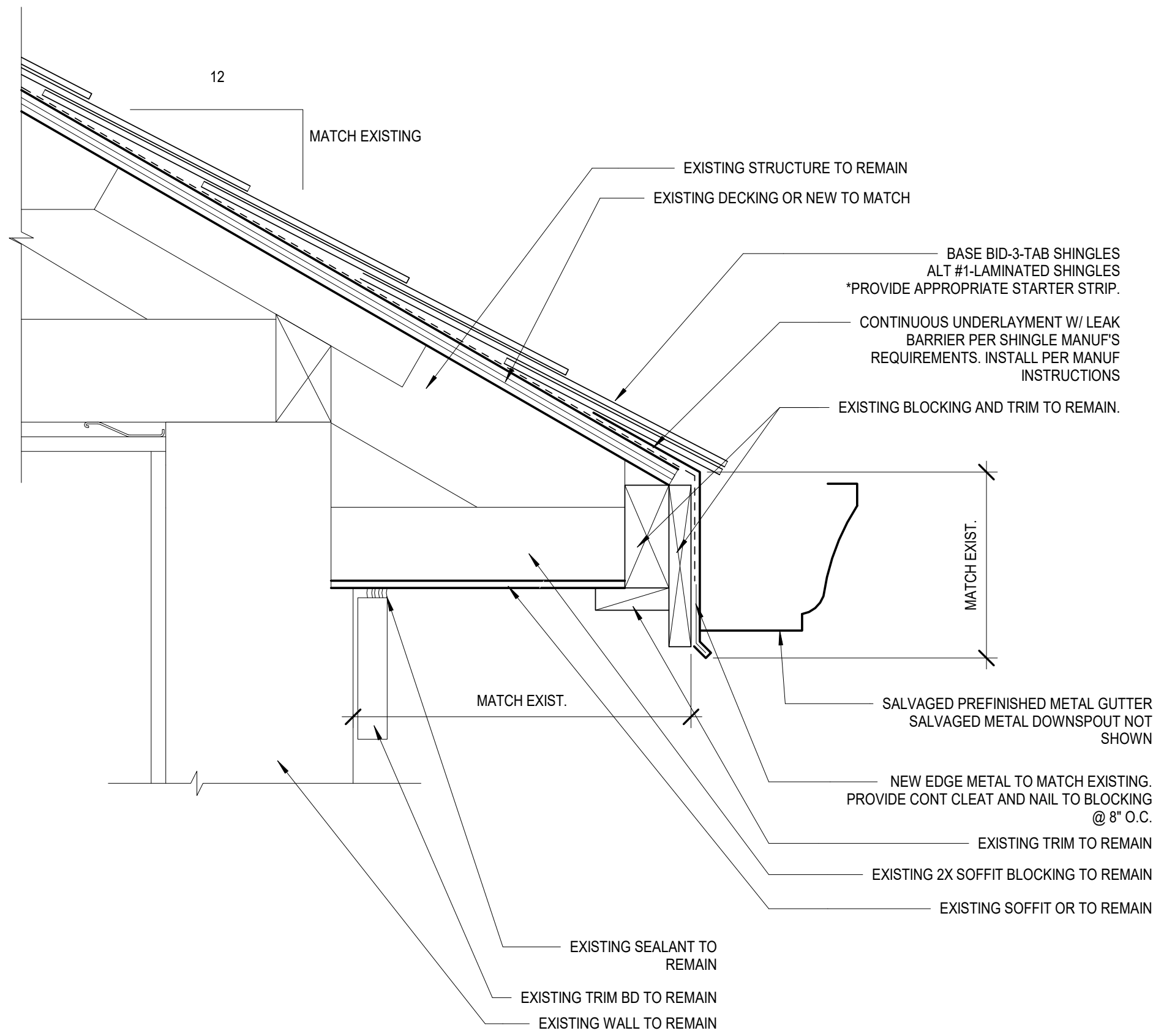
OFFICE DEMOLITION & REROOF PLANS  
IFB#RRP03.21 BHA ROOF REPLACEMENT PROJECT - HURRICANE  
ZETA REPAIRS - VOLUME 1 - COVENANT SQUARE APARTMENTS  
BILOXI HOUSING AUTHORITY  
330 BENACHI AVENUE BILOXI, MS 39530

alred  
stolarski  
architects

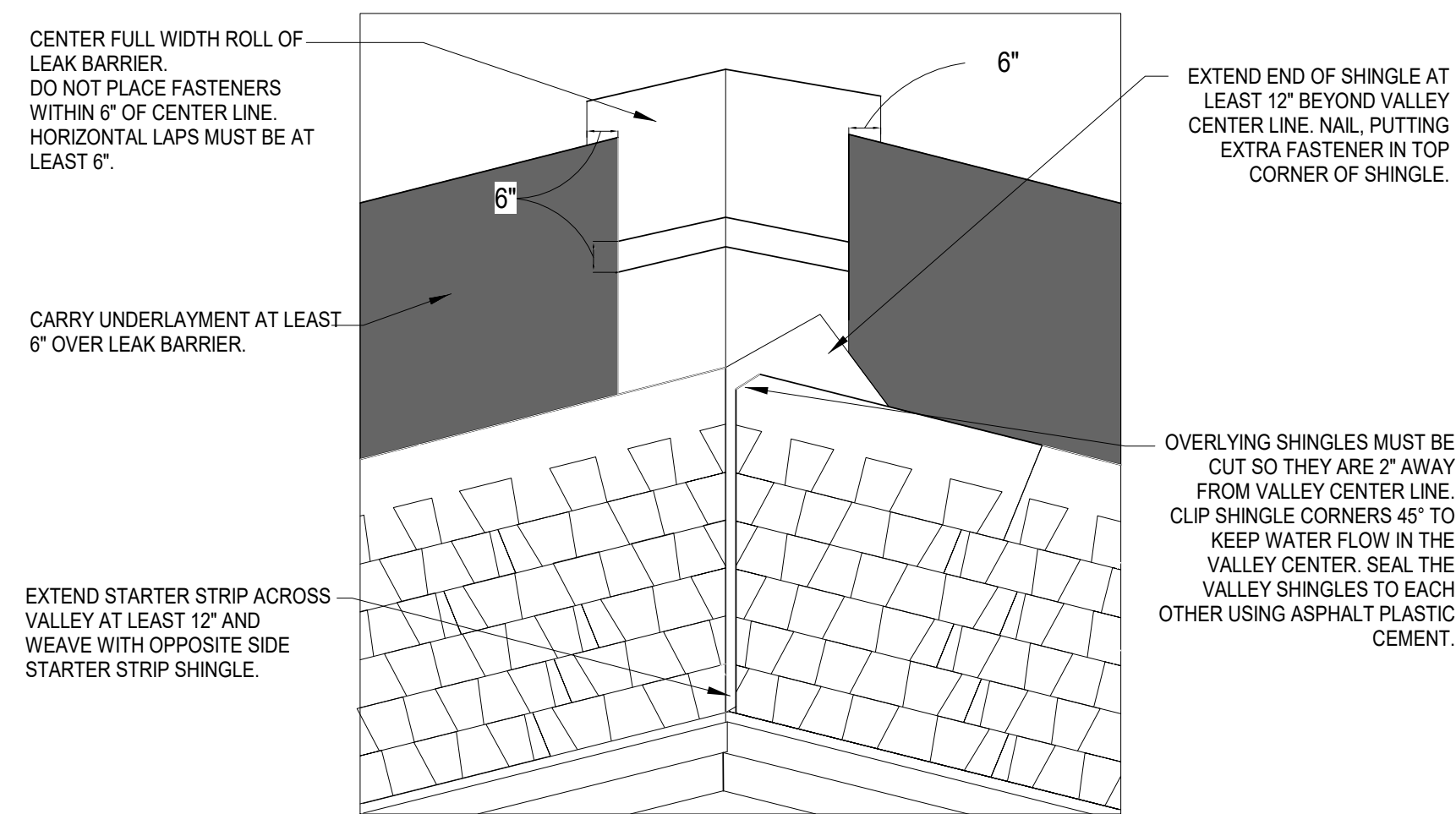
711 Church Street  
Ocean Springs, MS 39564

Phone: (228) 762-1975  
Email: [contact@alredstolarski.com](mailto:contact@alredstolarski.com)



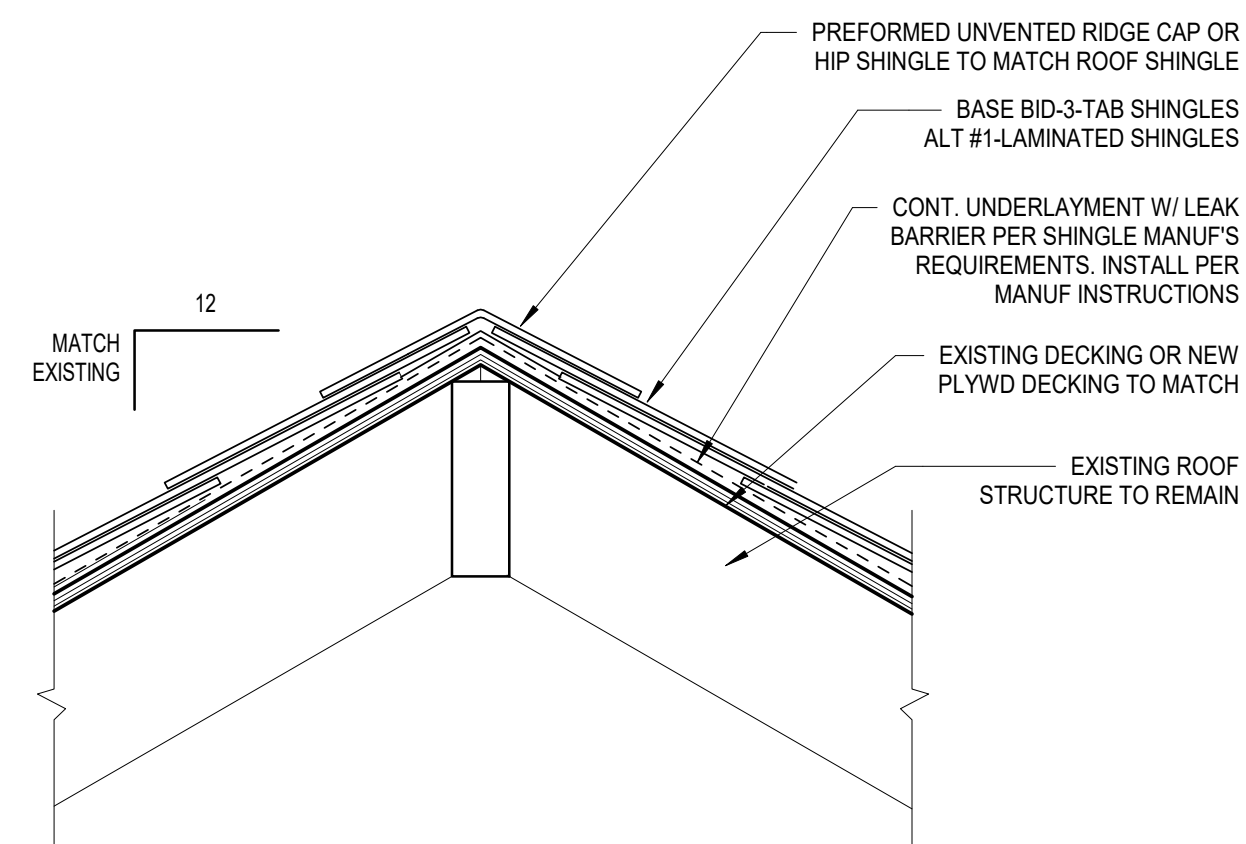


1 GUTTER  
3" = 1'-0"

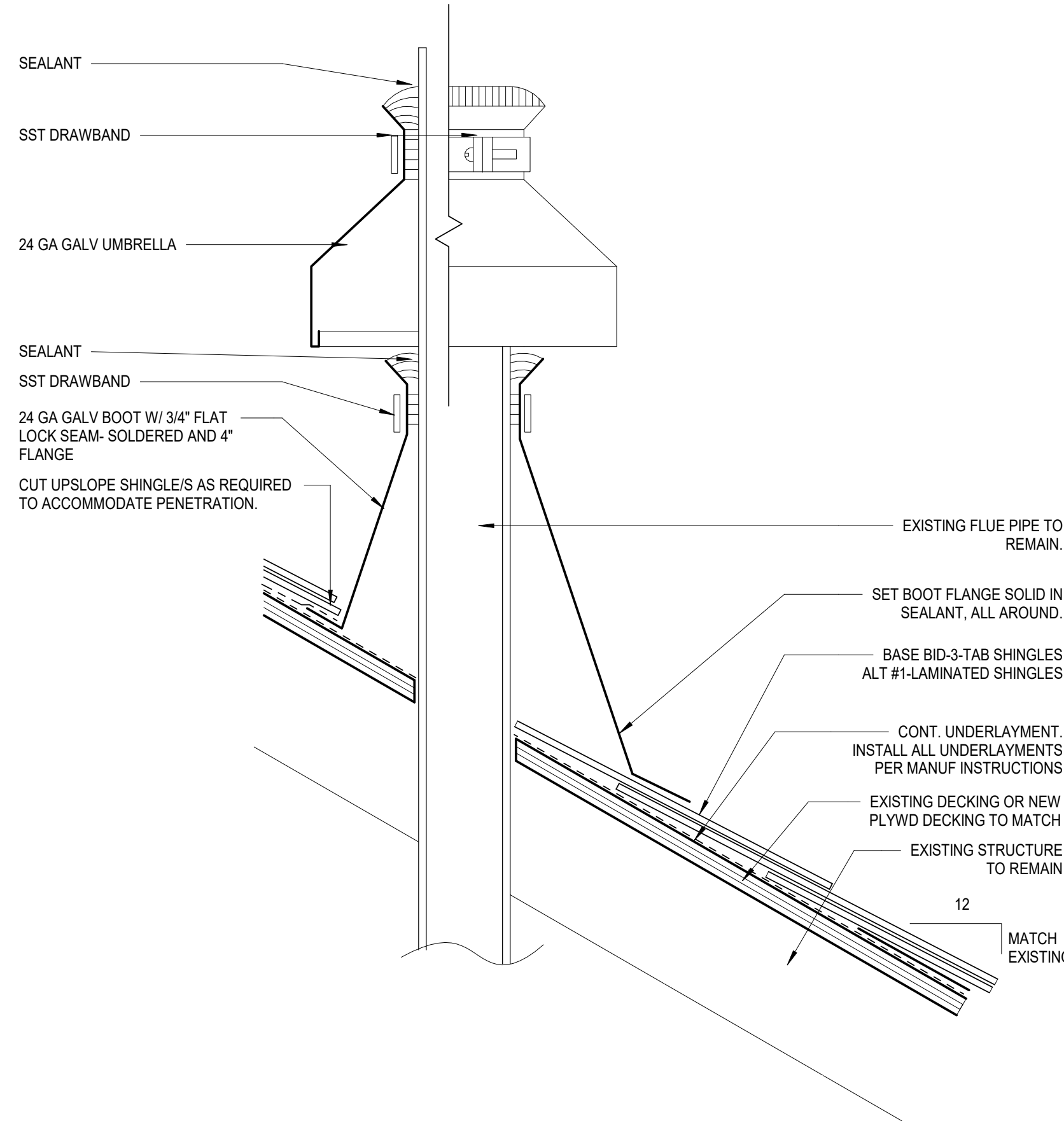


4 VALLEY FLASHING  
N.T.S.

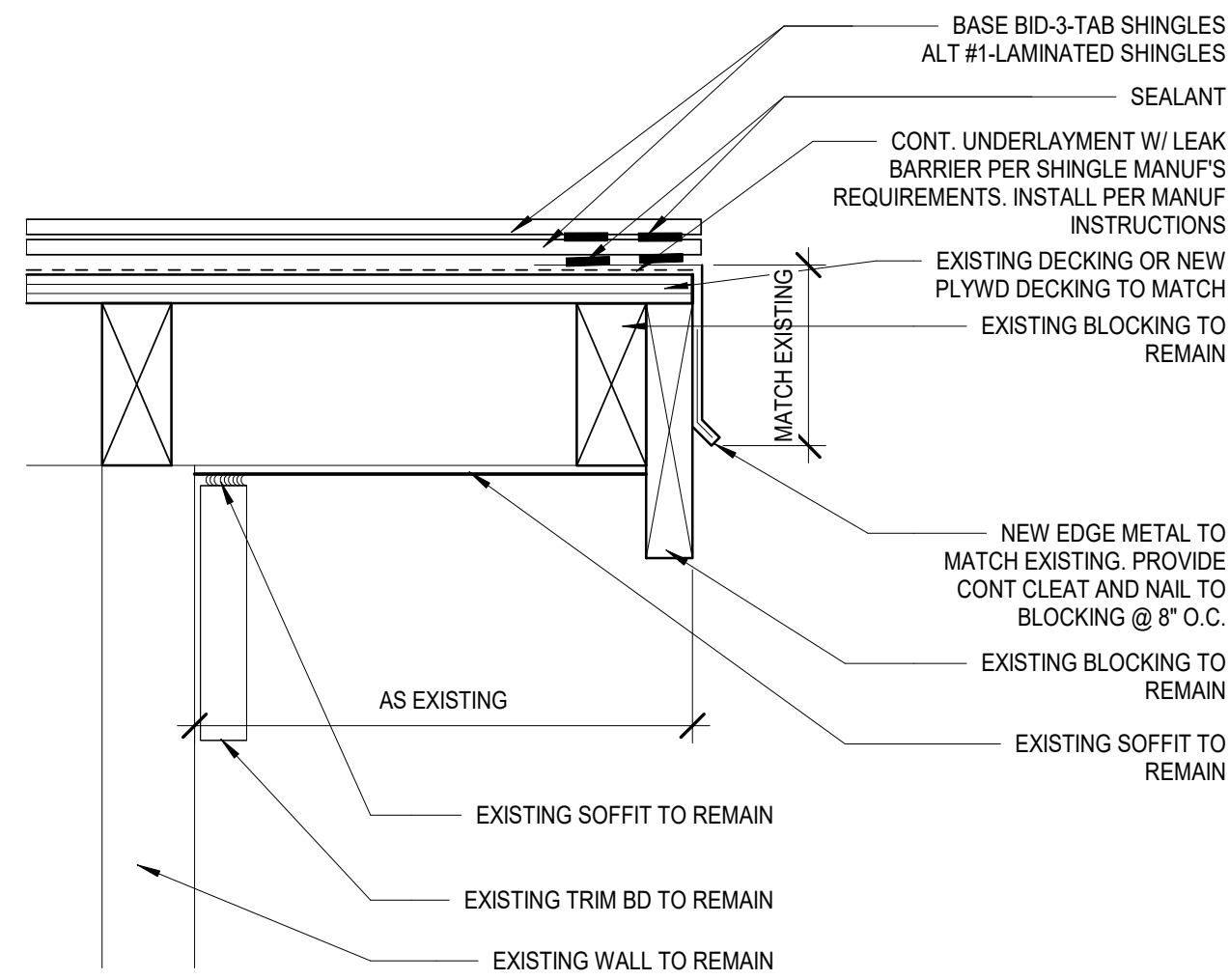
NOTE: THIS DETAIL APPLIES TO 3-TAB AND LAMINATE SHINGLES



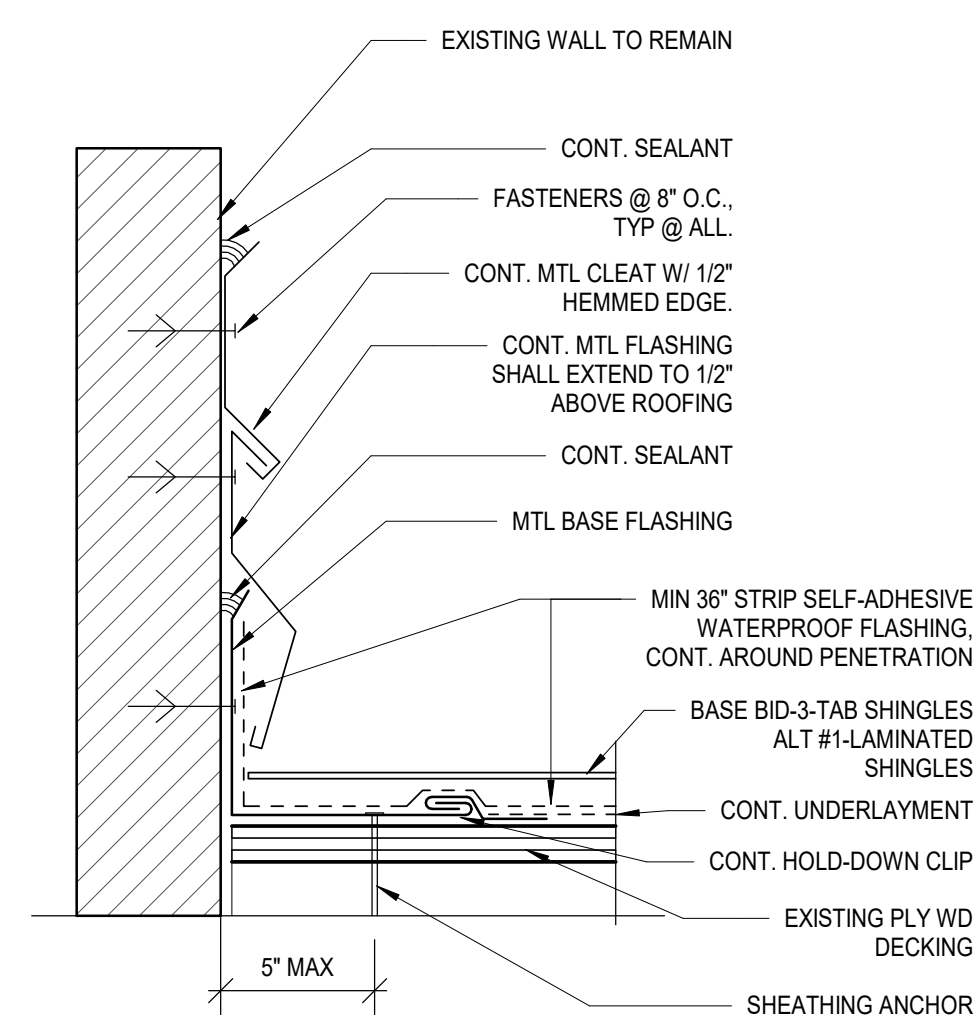
8 UNVENTED RIDGE OR HIP  
3" = 1'-0"



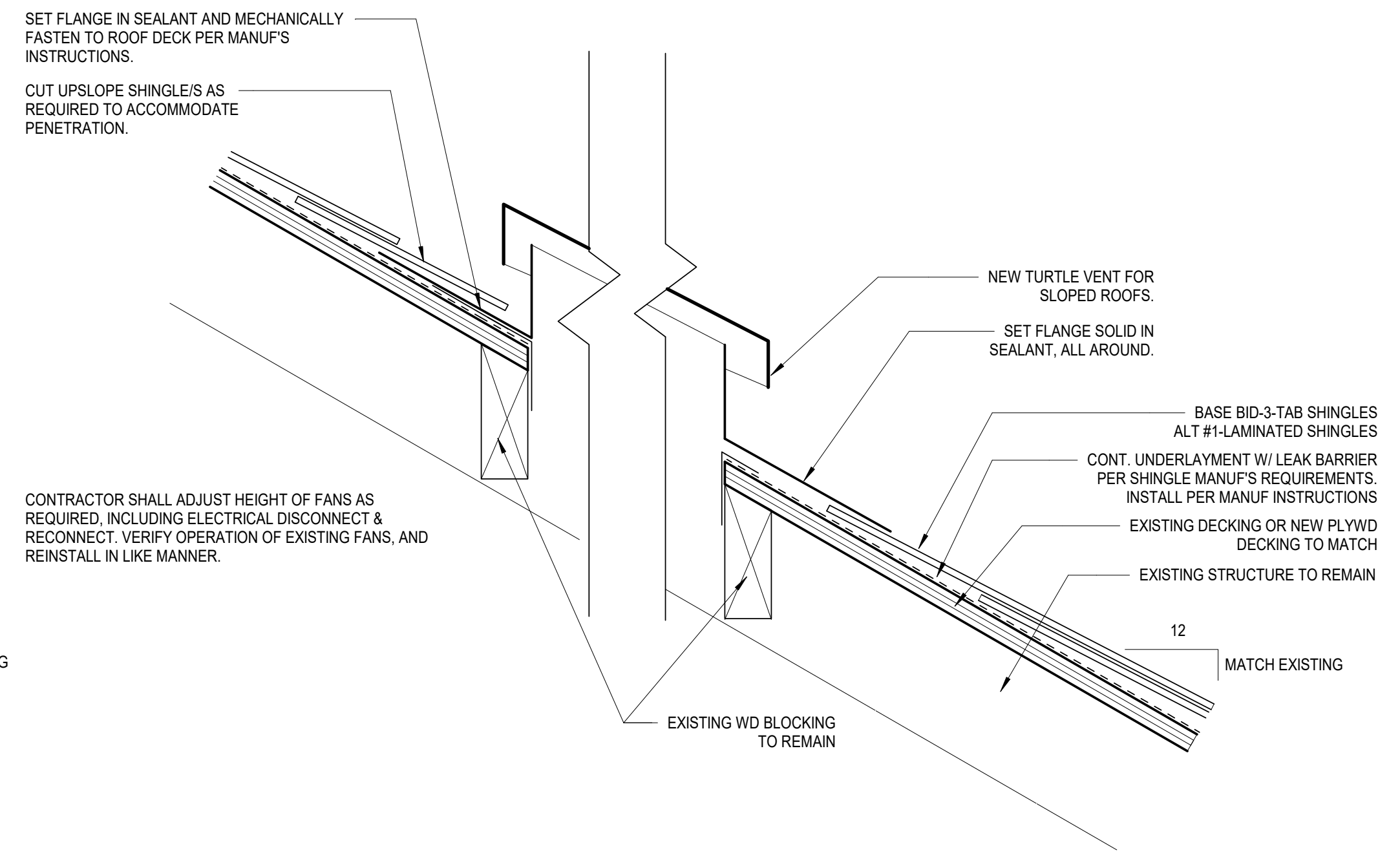
2 FLUE  
3" = 1'-0"



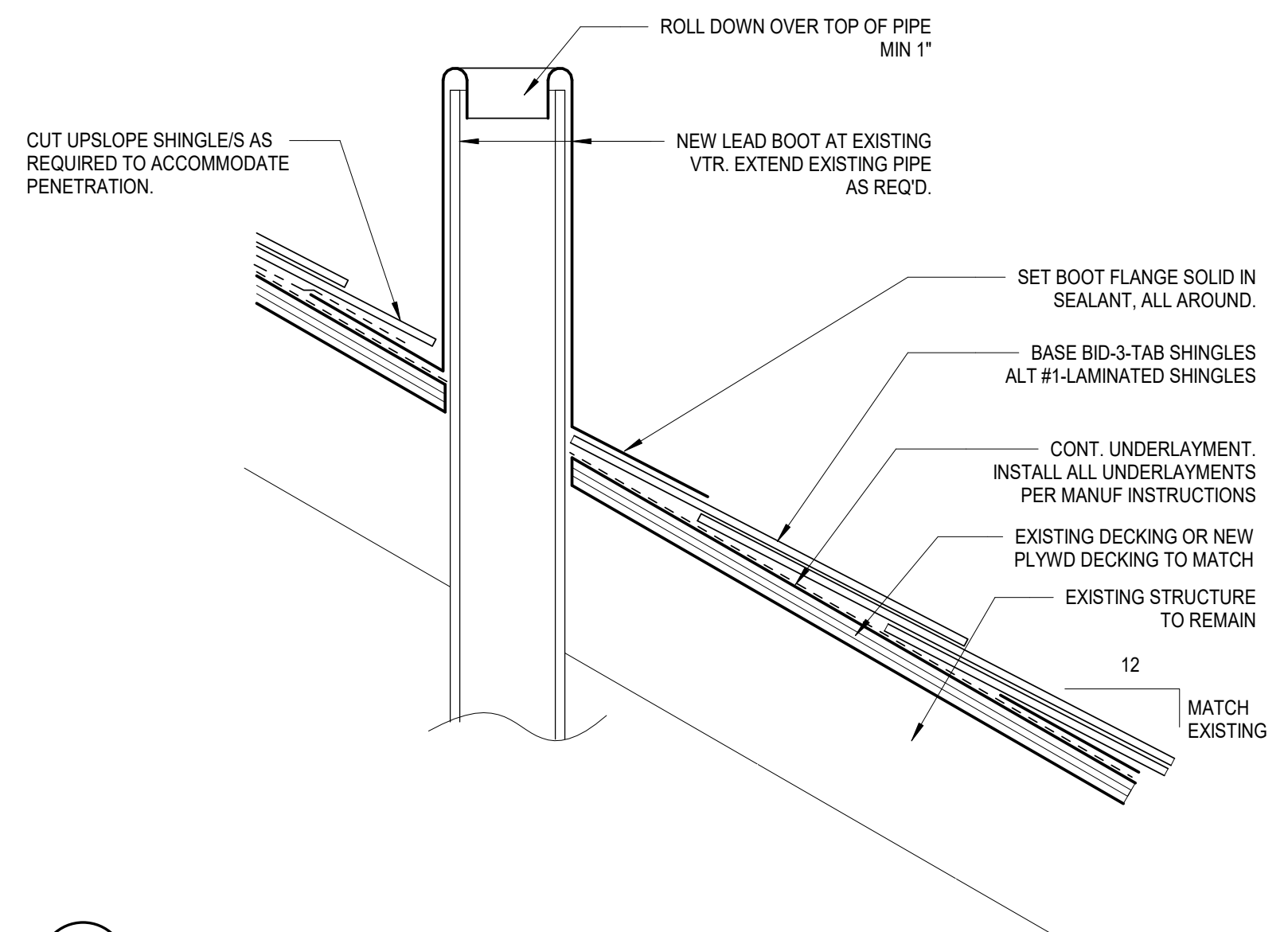
5 RAKE END  
3" = 1'-0"



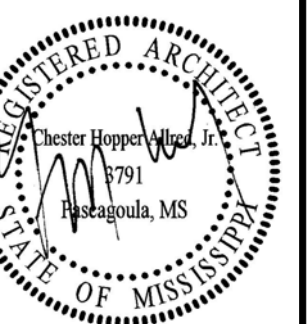
6 SHINGLE-PARAPET WALL FLASHING  
3" = 1'-0"



3 THRU-ROOF TURTLE VENT  
3" = 1'-0"



7 VTR  
3" = 1'-0"





# IFB#RRP03.21 BHA ROOF REPLACEMENT PROJECT - HURRICANE ZETA REPAIRS - VOLUME 2 - FERNWOOD PLACE APARTMENTS

BILOXI HOUSING AUTHORITY  
330 BENACHI AVENUE BILOXI, MS 39530

## VOLUME 2 DRAWING INDEX

INDEX - GENERAL	
G000	TITLE SHEET
INDEX - ARCHITECTURAL	
A100	REFERENCE SITE PLAN
A101	BUILDING 1 - DEMOLITION & REROOF PLANS
A102	BUILDINGS 2 & 3- DEMOLITION & REROOF PLANS
A103	BUILDING 4 - DEMOLITION & REROOF PLANS
A104	BUILDING 5 - DEMOLITION & REROOF PLANS
A105	BUILDINGS 6 & 7 - DEMOLITION & REROOF PLANS
A106	BUILDING 8 - DEMOLITION & REROOF PLANS
A107	BUILDING 9 & 10 - DEMOLITION & REROOF PLANS
A201	SHINGLE ROOF DETAILS

PROJ #: 2021-23

IFB#RRP03.21 BHA ROOF REPLACEMENT PROJECT -  
HURRICANE ZETA REPAIRS - VOLUME 2 - FERNWOOD  
PLACE APARTMENTS

BILOXI HOUSING AUTHORITY  
330 BENACHI AVENUE BILOXI, MS 39530

DATE: 02/28/2021

SET TYPE

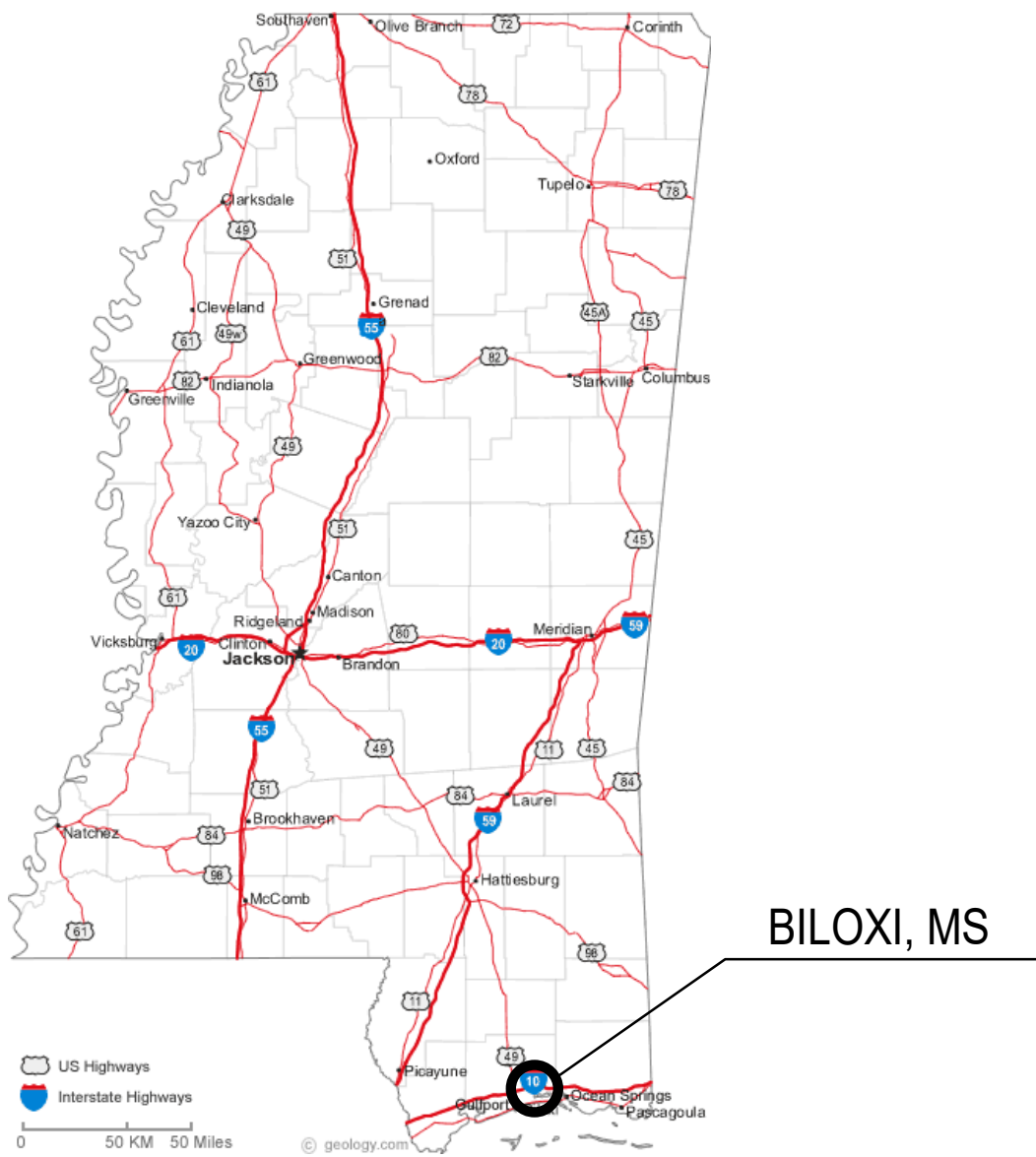
BID SET

### PROJECT TEAM

**ARCHITECT**  
**ALLRED STOLARSKI**  
**ARCHITECTS**

711 CHURCH STREET  
OCEAN SPRINGS, MS 39564  
T (228) 762-1975  
HOPPY ALLRED, AIA, PRINCIPAL  
ARCHITECT  
hoppy@allredstolarski.com

### LOCATION MAP NTS



### VICINITY MAP NTS

FERNWOOD PLACE  
APARTMENTS  
2775 FERNWOOD ROAD



### ALTERNATES

ALTERNATE #1: AN ADDITIVE ALTERNATE FOR ALL LABOR, MATERIALS, AND EQUIPMENT NECESSARY TO REROOF BUILDINGS AT BAYVIEW OAKS. COMPLETE AS INDICATED ON THE DRAWINGS AND IN ACCORDANCE WITH THE SPECIFICATIONS.

ALTERNATE #2: AN ADDITIVE ALTERNATE FOR ALL LABOR, MATERIALS, AND EQUIPMENT NECESSARY TO INSTALL A LAMINATED SHINGLE ROOF IN LIEU OF THE BASE BID 3-TAB SHINGLE ROOF. COMPLETE AS INDICATED ON THE DRAWINGS AND IN ACCORDANCE WITH THE SPECIFICATIONS.



**allred**  
**stolarski**  
**architects**



711 Church Street  
Ocean Springs, MS 39564

Phone: (228) 762-1975  
Email: [contact@allredstolarski.com](mailto:contact@allredstolarski.com)



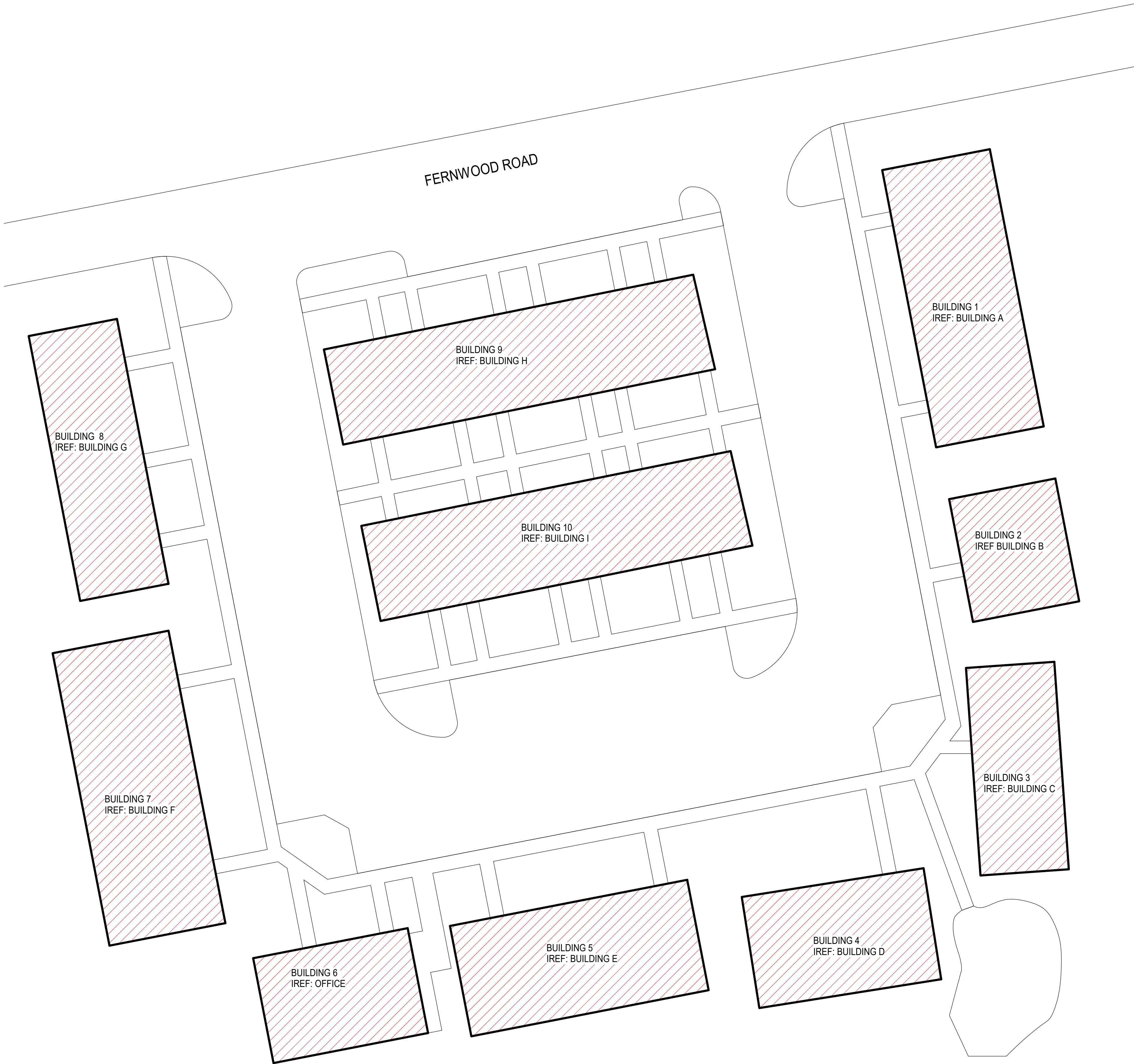
GENERAL WORK NOTES

1. SITE ADDRESS: 2775 FERNWOOD ROAD, BILOXI, MS 39531
2. ALL INFORMATION REGARDING EXISTING CONDITIONS IS BASED ON OWNER SUPPLIED DOCUMENTS AND MAY NOT REFLECT ACTUAL FIELD CONDITIONS. UPON DISCOVERY OF ANY DISCREPANCIES BETWEEN FIELD CONDITIONS AND DRAWINGS DEPICTING EXISTING CONDITIONS OR UPON DISCOVERY OF UNKNOWN CONDITIONS DETRIMENTAL TO THE COMPLETION OF THE WORK AS INDICATED ON THE DRAWINGS, CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT IN WRITING.
3. CONTRACTOR IS RESPONSIBLE FOR ALL SHORING AND BRACING NECESSARY TO MAINTAIN STRUCTURAL INTEGRITY. AT NO TIME SHALL THE EXISTING STRUCTURAL MEMBERS BE SUBJECTED TO CUTTING, DRILLING, OR ANY MODIFICATION PROCESS THAT MAY INTERFERE WITH ITS STRUCTURAL INTEGRITY.
4. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL DIMENSIONS AND CONDITIONS IN FIELD PRIOR TO BIDDING.
5. SALVAGE IS DEFINED AS THE CAREFUL REMOVAL AND RETAINING OF ITEMS AS SHOWN IN DRAWINGS FOR POSSIBLE REUSE OR DELIVERY TO OWNER.
6. CARE SHOULD BE TAKEN AT THE INTERFACE BETWEEN DEMOLITION AND EXISTING CONSTRUCTION TO REMAIN, TO AVOID ANY DAMAGE TO EXISTING CONSTRUCTION. AFTER REMOVAL OF EXISTING ROOFING OR CONSTRUCTION, PATCH AND REPAIR DAMAGE TO ANY EXISTING, WALLS, SIDEWALKS, PAVING, CURBS, LANDSCAPING, ETC. TO A LIKE NEW CONDITION.
7. THE CONTRACTOR SHALL NOTIFY, COORDINATE, SCHEDULE, AND RECEIVE PRIOR PERMISSION FROM THE USING AGENCY PRIOR TO ANY SHUT DOWN OF BUILDING SERVICES AS REQUIRED TO COMPLETE THE WORK. NOTIFICATION SHALL INCLUDE LENGTH OF TIME REQUIRED TO SHUT DOWN, LENGTH OF TIME SERVICE WILL BE DISCONNECTED, AND TIME REQUIRED TO RECONNECT SERVICES. SHUT DOWN SHALL NOT OCCUR DURING BUSINESS HOURS.
8. THE EXISTING BUILDING ENVELOPE SHALL BE MAINTAINED IN A WATERTIGHT CONDITION AT ALL TIMES.
9. THE CONTRACTOR SHALL PROVIDE TEMPORARY PROTECTION AS NECESSARY AND AS REQUIRED TO SEAL OFF THE REST OF THE EXISTING BUILDING AND MAINTAIN BUILDING DURING DEMOLITION.
10. ALL DEMOLITION WORK SHALL BE EXECUTED IN CONFORMANCE WITH ALL CODES AND ORDINANCES AS SET FORTH BY ALL GOVERNING AUTHORITIES.

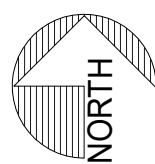
LEGEND

- ###  
IREF

STREET OR BUILDING NUMBER  
IREF: INSURANCE REFERENCE
- NO WORK THIS LOCATION.



1  
A100  
REFERENCE SITE PLAN  
1" = 20'-0"



JOB NUMBER  
2021-23  
DATE  
02/28/2021  
REVISION  
DRAWN BY  
SCN  
CHECKED BY  
HA



SHEET

A100

REFERENCE SITE PLAN  
IFB#RRP03.21 BHA ROOF REPLACEMENT PROJECT - HURRICANE  
ZETA REPAIRS - VOLUME 2 - FERNWOOD PLACE APARTMENTS  
BILOXI HOUSING AUTHORITY  
330 BENACHI AVENUE BILOXI, MS 39530

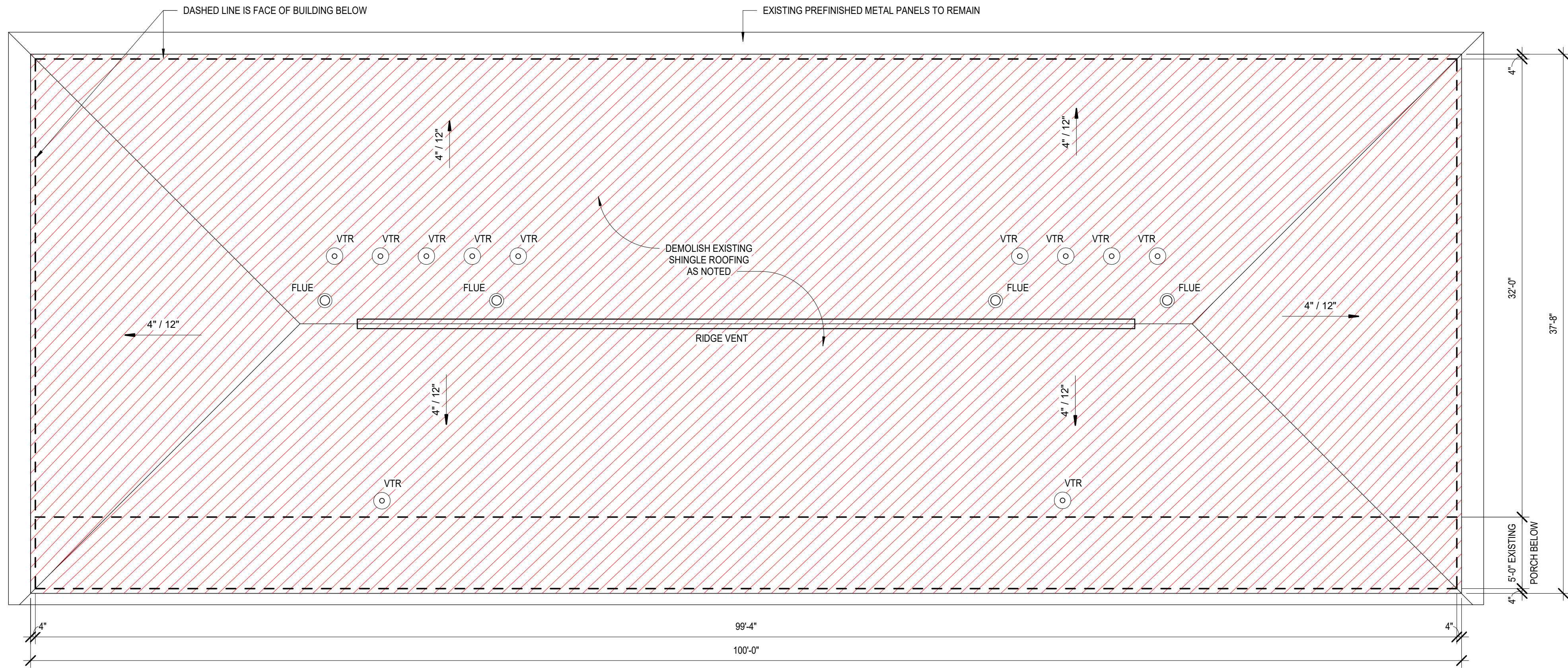
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stolarski  
architects

711 Church Street  
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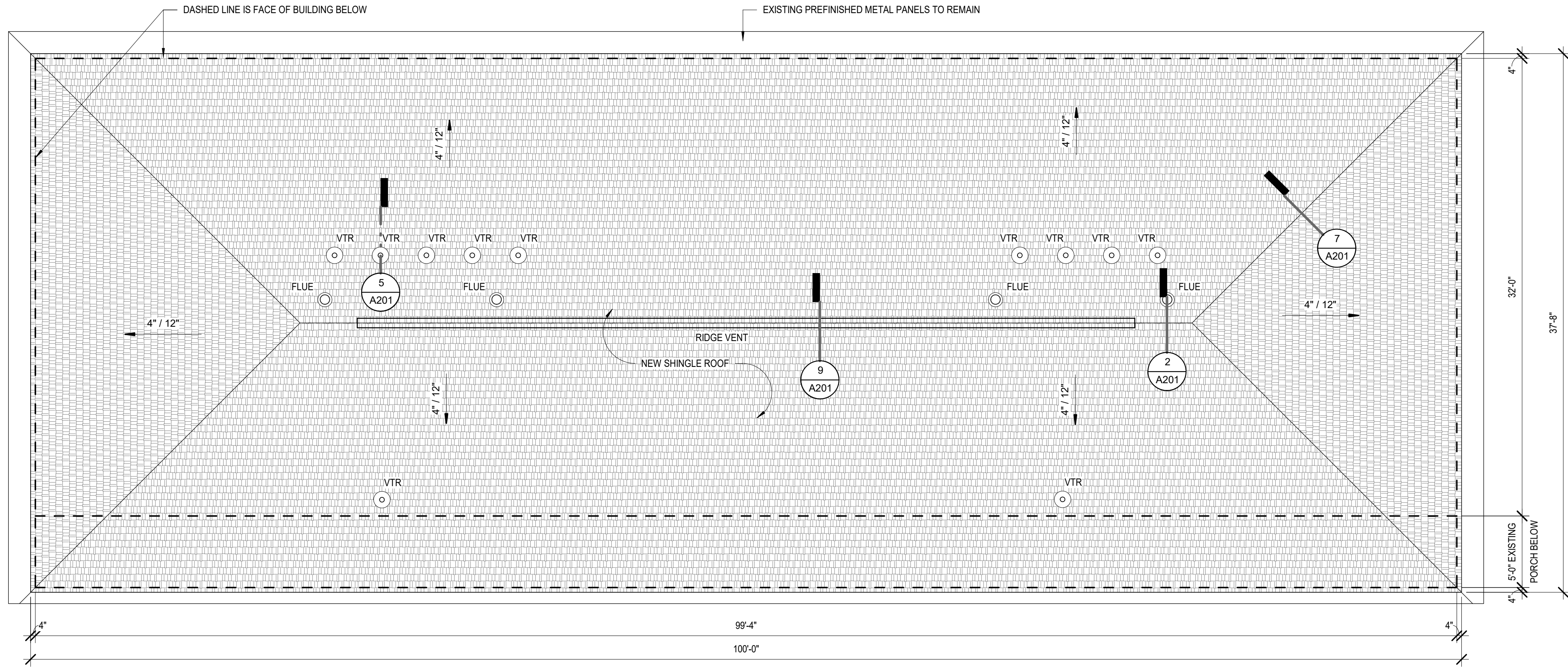
Phone: (228) 762-1975  
Email: [contact@alredstolarski.com](mailto:contact@alredstolarski.com)



1  
A101  
BUILDING 1- DEMOLITION PLAN  
3/16" = 1'-0"



2  
A101  
BUILDING 1- REROOF PLAN  
3/16" = 1'-0"



**SCOPE OF WORK  
BUILDING 1 - DEMOLITION NOTES**

- DEMOLITION SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
  - CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE ROOFING MATERIAL.
  - CONTRACTOR SHALL DEMOLISH ALL EXISTING UNDERLAYMENTS.
  - CONTRACTOR SHALL DEMOLISH ALL PIPE BOOTS, CRICKETS AND OTHER PENETRATION FLASHINGS.
  - CONTRACTOR SHALL RETAIN IN PLACE ALL EXISTING GAS FLUES AND VTR'S.
  - CONTRACTOR SHALL RETAIN IN PLACE ALL GABLE VENTS.
  - CONTRACTOR SHALL DEMOLISH ALL METAL EAVE AND RAKE TRIM.
  - CONTRACTOR SHALL DEMOLISH ALL FLASHINGS AND COUNTER FLASHINGS NOT OTHERWISE NOTED TO REMAIN. EXISTING STEPPED THRU-WALL FLASHING SHALL REMAIN IN PLACE AND SHALL BE REUSED.
  - CONTRACTOR SHALL DEMOLISH 5% OF THE EXISTING 5/8" CDX ROOF DECK. AREAS TO BE DEMOLISHED WILL BE DETERMINED BY THE ARCHITECT IN THE FIELD.
  - CONTRACTOR SHALL PREPARE THE DECK FOR NEW WORK.
- NOTE: CONTRACTOR SHALL PROTECT EXISTING METAL PANELS TO REMAIN.

**LEGEND**

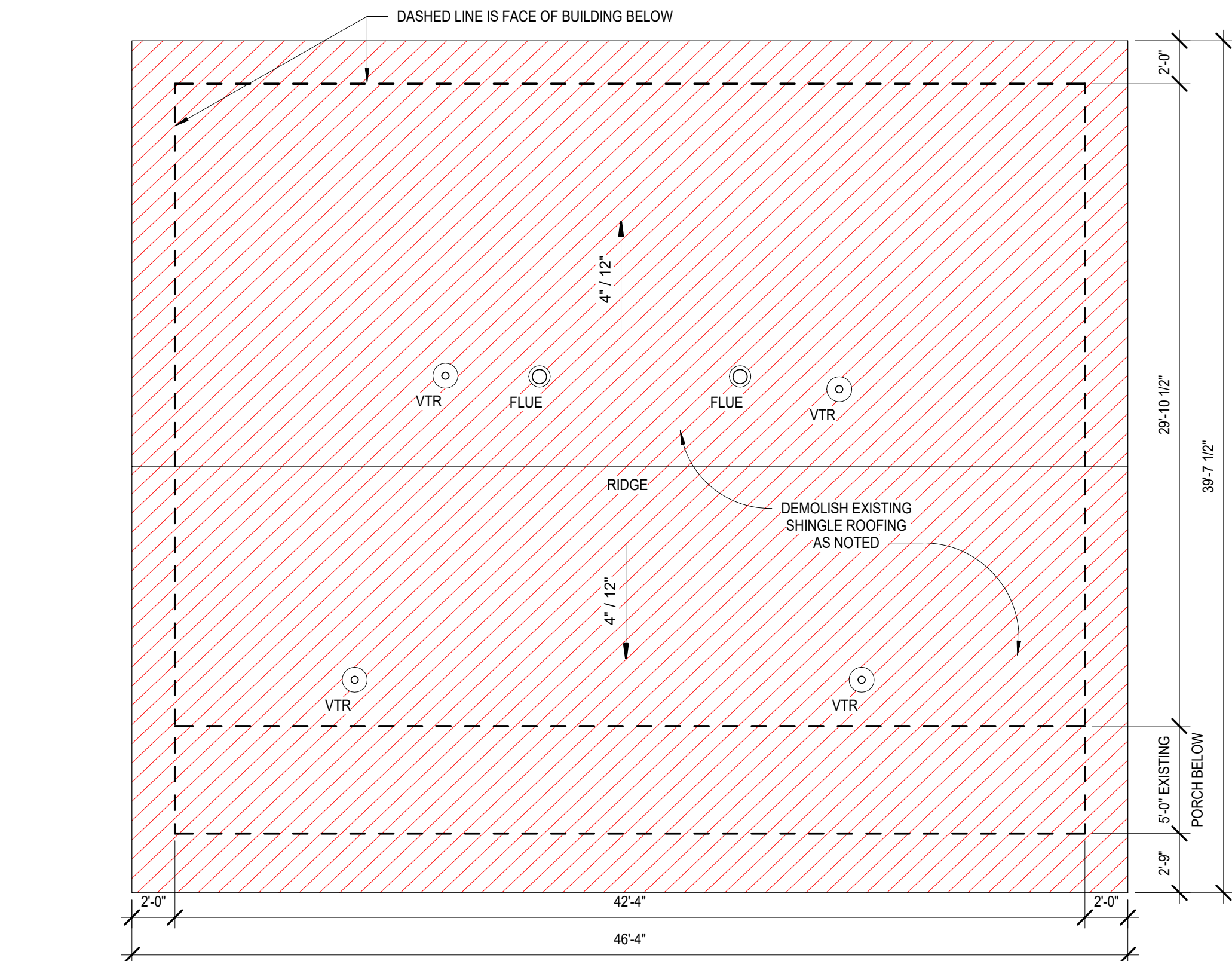
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|--|--|
|  | DEMOLITION MARK  |
|  | NEW SHINGLES   |
|  | RIDGE VENT   |
|  | VTR - EXISTING VENT THRU ROOF TO REMAIN. PROVIDE NEW BOOT.             |
|  | FLUE - EXISTING FLUE WITH COWL TO REMAIN IN PLACE. PROVIDE NEW BOOT.   |
|  | TURTLE VENT - EXISTING. DEMOLISH AND PROVIDE NEW IN EXISTING LOCATION. |

**SCOPE OF WORK  
BUILDING 1 - REROOF NOTES**

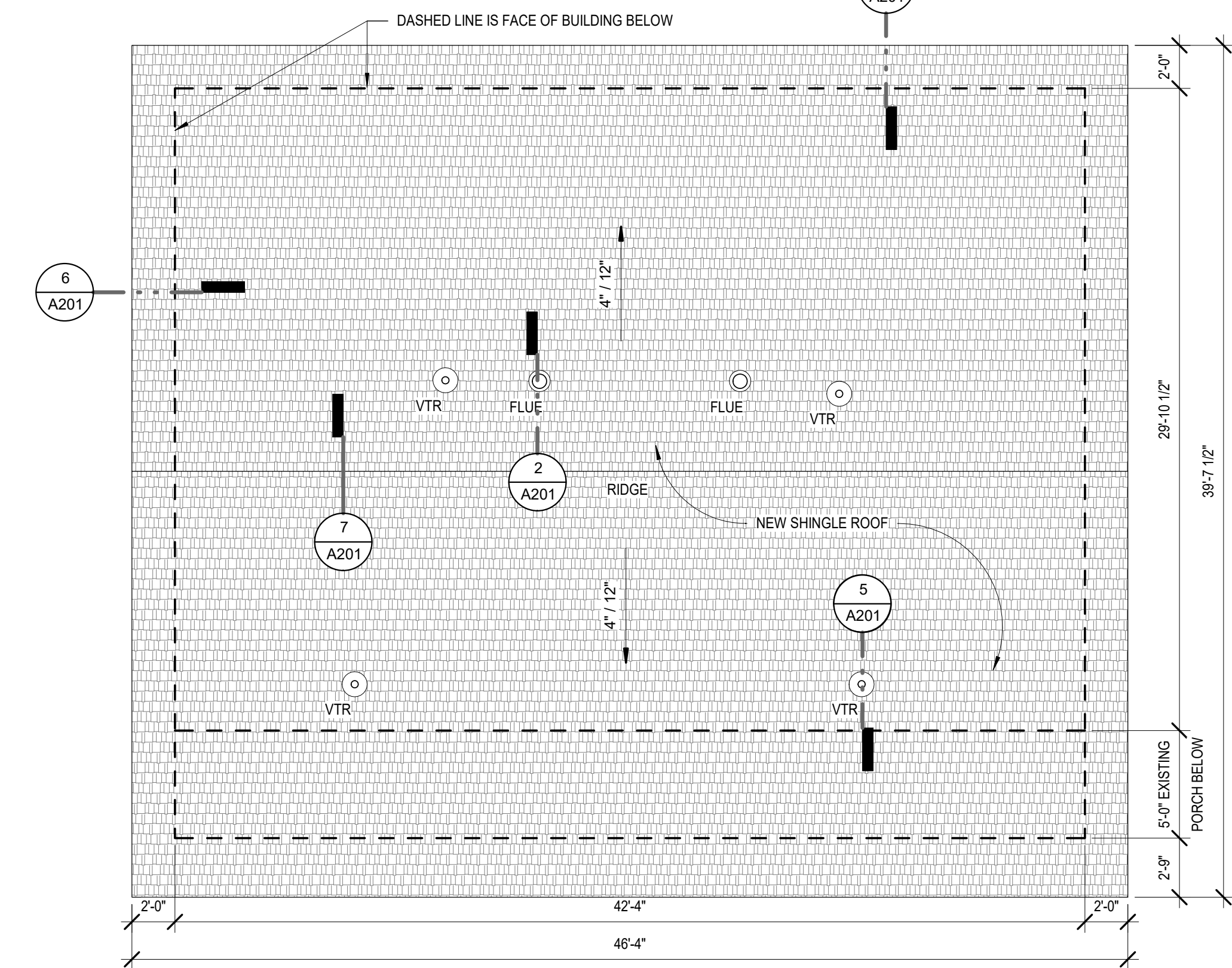
- REROOF SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW 5/8" CDX ROOF DECK OVER 5% OF THE EXISTING DECK AREA. WHERE EXISTING DECK HAS BEEN DEMOLISHED OR WHERE PENETRATIONS ARE ABANDONED.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW UNDERLAYMENT AS SPECIFIED AND DETAILED.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW FLASHING AT GAS FLUES AND VTR'S.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW ROOF SHINGLES AS SPECIFIED AND DETAILED.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW METAL RAKE AND EAVE TRIM.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW COUNTERFLASHING / THRU-WALL FLASHING.







1 BUILDING 2-DEMOLITION PLAN  
3/16" = 1'-0"



2 BUILDING 2-REROOF PLAN  
3/16" = 1'-0"

### SCOPE OF WORK BUILDING 2 - DEMOLITION NOTES

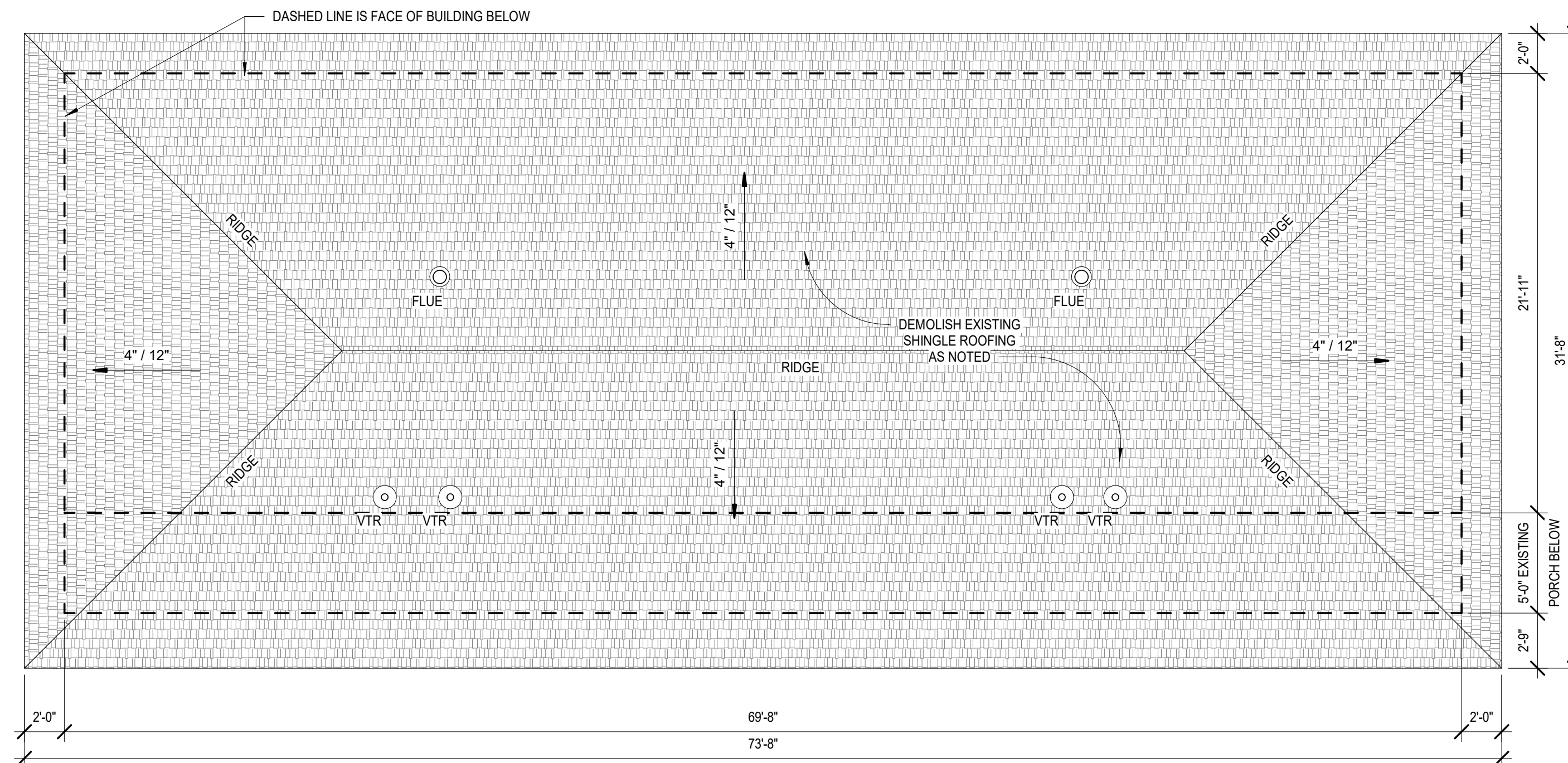
- DEMOLITION SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
  - CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE ROOFING MATERIAL.
  - CONTRACTOR SHALL DEMOLISH ALL EXISTING UNDERLAYMENTS.
  - CONTRACTOR SHALL DEMOLISH ALL PIPE BOOTS, CRICKETS AND OTHER PENETRATION FLASHINGS.
  - CONTRACTOR SHALL RETAIN IN PLACE ALL EXISTING GAS FLUES AND VTR'S.
  - CONTRACTOR SHALL RETAIN IN PLACE ALL GABLE VENTS.
  - CONTRACTOR SHALL DEMOLISH ALL METAL EAVE AND RAKE TRIM.
  - CONTRACTOR SHALL DEMOLISH ALL FLASHINGS AND COUNTER FLASHINGS NOT OTHERWISE NOTED TO REMAIN. EXISTING STEPPED THRU-WALL FLASHING SHALL REMAIN IN PLACE AND SHALL BE REUSED.
  - CONTRACTOR SHALL DEMOLISH 5% OF THE EXISTING 5/8" CDX ROOF DECK. AREAS TO BE DEMOLISHED WILL BE DETERMINED BY THE ARCHITECT IN THE FIELD.
  - CONTRACTOR SHALL PREPARE THE DECK FOR NEW WORK.

### SCOPE OF WORK BUILDING 2 - REROOF NOTES

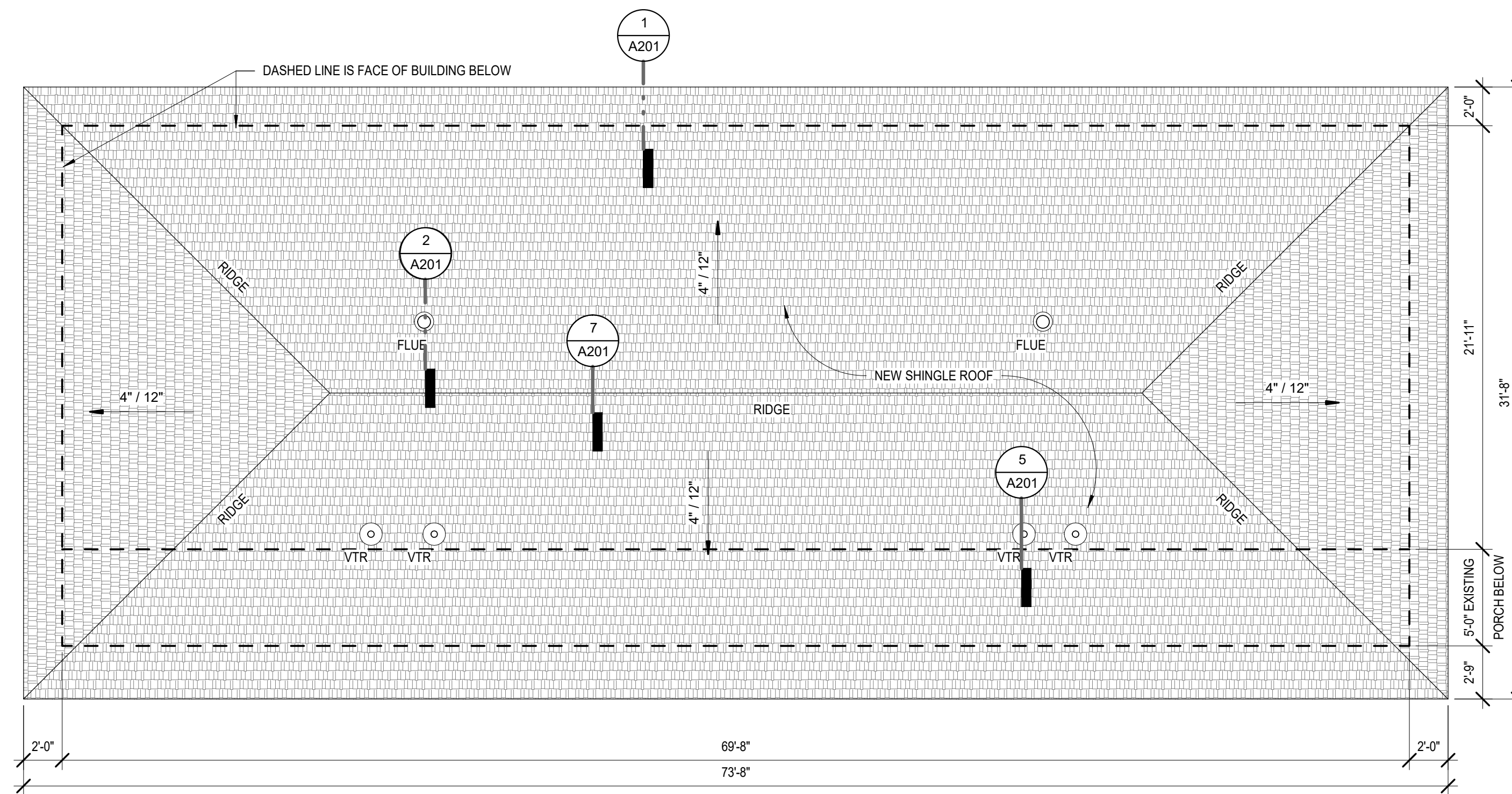
- REROOF SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW 5/8" CDX ROOF DECK OVER 5% OF THE EXISTING DECK AREA, WHERE EXISTING DECK HAS BEEN DEMOLISHED OR WHERE PENETRATIONS ARE ABANDONED.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW UNDERLAYMENT AS SPECIFIED AND DETAILED.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW FLASHING AT GAS FLUES AND VTR'S.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW ROOF SHINGLES AS SPECIFIED AND DETAILED.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW METAL RAKE AND EAVE TRIM.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW COUNTERFLASHING / THRU-WALL FLASHING.

### LEGEND

	DEMOLITION MARK
	NEW SHINGLES
	RIDGE VENT
	VTR - EXISTING VENT THRU ROOF TO REMAIN. PROVIDE NEW BOOT.
	FLUE - EXISTING FLUE WITH COWL TO REMAIN IN PLACE. PROVIDE NEW BOOT.
	T.V. - TURTLE VENT - EXISTING. DEMOLISH AND PROVIDE NEW IN EXISTING LOCATION.



3 BUILDING 3-DEMOLITION PLAN  
3/16" = 1'-0"



4 BUILDING 3-REROOF PLAN  
3/16" = 1'-0"

### SCOPE OF WORK BUILDING 3 - DEMOLITION NOTES

- DEMOLITION SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
  - CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE ROOFING MATERIAL.
  - CONTRACTOR SHALL DEMOLISH ALL EXISTING UNDERLAYMENTS.
  - CONTRACTOR SHALL DEMOLISH ALL PIPE BOOTS, CRICKETS AND OTHER PENETRATION FLASHINGS.
  - CONTRACTOR SHALL RETAIN IN PLACE ALL EXISTING GAS FLUES AND VTR'S.
  - CONTRACTOR SHALL RETAIN IN PLACE ALL GABLE VENTS.
  - CONTRACTOR SHALL DEMOLISH ALL METAL EAVE AND RAKE TRIM.
  - CONTRACTOR SHALL DEMOLISH ALL FLASHINGS AND COUNTER FLASHINGS NOT OTHERWISE NOTED TO REMAIN. EXISTING STEPPED THRU-WALL FLASHING SHALL REMAIN IN PLACE AND SHALL BE REUSED.
  - CONTRACTOR SHALL DEMOLISH 5% OF THE EXISTING 5/8" CDX ROOF DECK. AREAS TO BE DEMOLISHED WILL BE DETERMINED BY THE ARCHITECT IN THE FIELD.
  - CONTRACTOR SHALL PREPARE THE DECK FOR NEW WORK.

### SCOPE OF WORK BUILDING 3 - REROOF NOTES

- REROOF SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW 5/8" CDX ROOF DECK OVER 5% OF THE EXISTING DECK AREA, WHERE EXISTING DECK HAS BEEN DEMOLISHED OR WHERE PENETRATIONS ARE ABANDONED.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW UNDERLAYMENT AS SPECIFIED AND DETAILED.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW FLASHING AT GAS FLUES AND VTR'S.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW ROOF SHINGLES AS SPECIFIED AND DETAILED.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW METAL RAKE AND EAVE TRIM.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW COUNTERFLASHING / THRU-WALL FLASHING.

JOB NUMBER  
2021-23  
DATE  
02/28/2021  
REVIEWED  
DRAWN BY  
SCN  
CHECKED BY  
HA



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BUILDINGS 2 & 3- DEMOLITION & REROOF  
PLANS

IFB#RRP03.21 BHA ROOF REPLACEMENT PROJECT - HURRICANE  
ZETA REPAIRS - VOLUME 2 - FERNWOOD PLACE APARTMENTS

BILOXI HOUSING AUTHORITY  
330 BENACHI AVENUE BILOXI, MS 39530

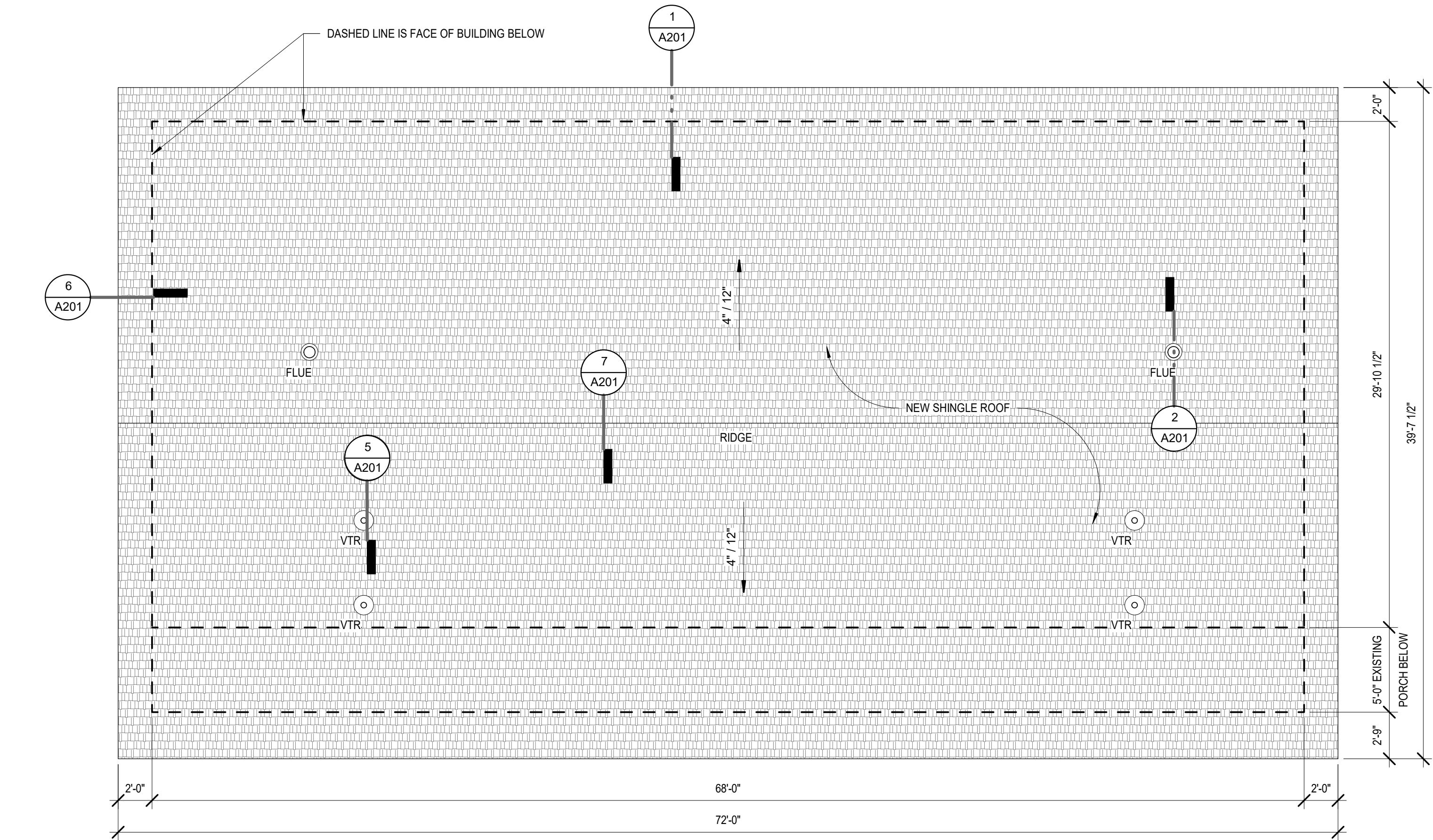
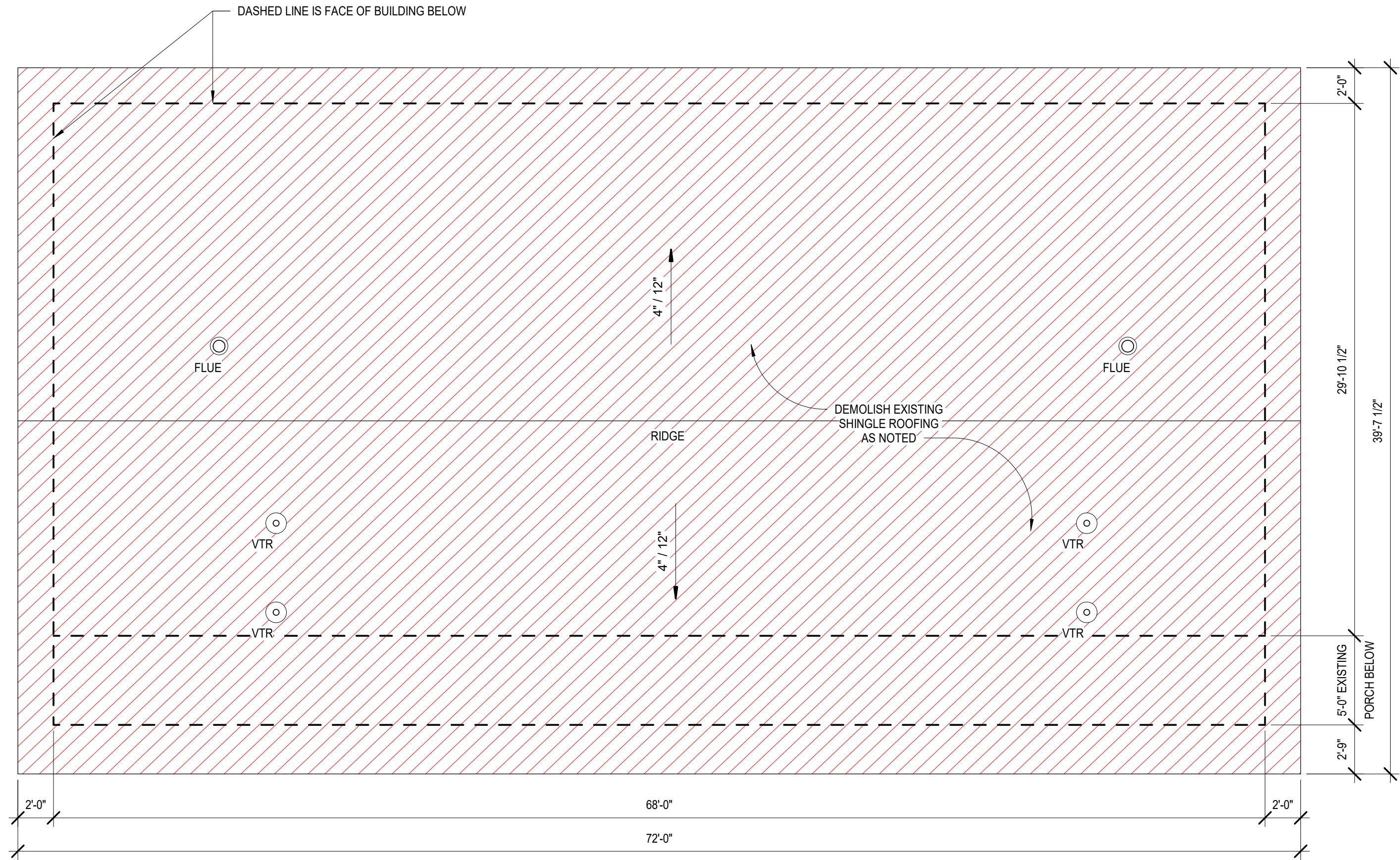
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alred  
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Phone: (228) 762-1975  
Email: [contact@alredstolarski.com](mailto:contact@alredstolarski.com)



1 BUILDING 4-DEMOLITION PLAN  
3/16" = 1'-0"



2 BUILDING 4-REROOF PLAN  
3/16" = 1'-0"

### SCOPE OF WORK BUILDING 4 - DEMOLITION NOTES

- DEMOLITION SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
  - CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE ROOFING MATERIAL.
  - CONTRACTOR SHALL DEMOLISH ALL EXISTING UNDERLAYMENTS.
  - CONTRACTOR SHALL DEMOLISH ALL PIPE BOOTS, CRICKETS AND OTHER PENETRATION FLASHINGS.
  - CONTRACTOR SHALL RETAIN IN PLACE ALL EXISTING GAS FLUES AND VTR'S.
  - CONTRACTOR SHALL RETAIN IN PLACE ALL GABLE VENTS.
  - CONTRACTOR SHALL DEMOLISH ALL METAL EAVE AND RAKE TRIM.
  - CONTRACTOR SHALL DEMOLISH ALL FLASHINGS AND COUNTER FLASHINGS NOT OTHERWISE NOTED TO REMAIN. EXISTING STEPPED THRU-WALL FLASHING SHALL REMAIN IN PLACE AND SHALL BE REUSED.
  - CONTRACTOR SHALL DEMOLISH 5% OF THE EXISTING 5/8" CDX ROOF DECK. AREAS TO BE DEMOLISHED WILL BE DETERMINED BY THE ARCHITECT IN THE FIELD.
  - CONTRACTOR SHALL PREPARE THE DECK FOR NEW WORK.

### LEGEND

	DEMOLITION MARK
	NEW SHINGLES
	RIDGE VENT
	VTR - EXISTING VENT THRU ROOF TO REMAIN. PROVIDE NEW BOOT.
	FLUE - EXISTING FLUE WITH COWL TO REMAIN IN PLACE. PROVIDE NEW BOOT.
	TURTLE VENT - EXISTING. DEMOLISH AND PROVIDE NEW IN EXISTING LOCATION.

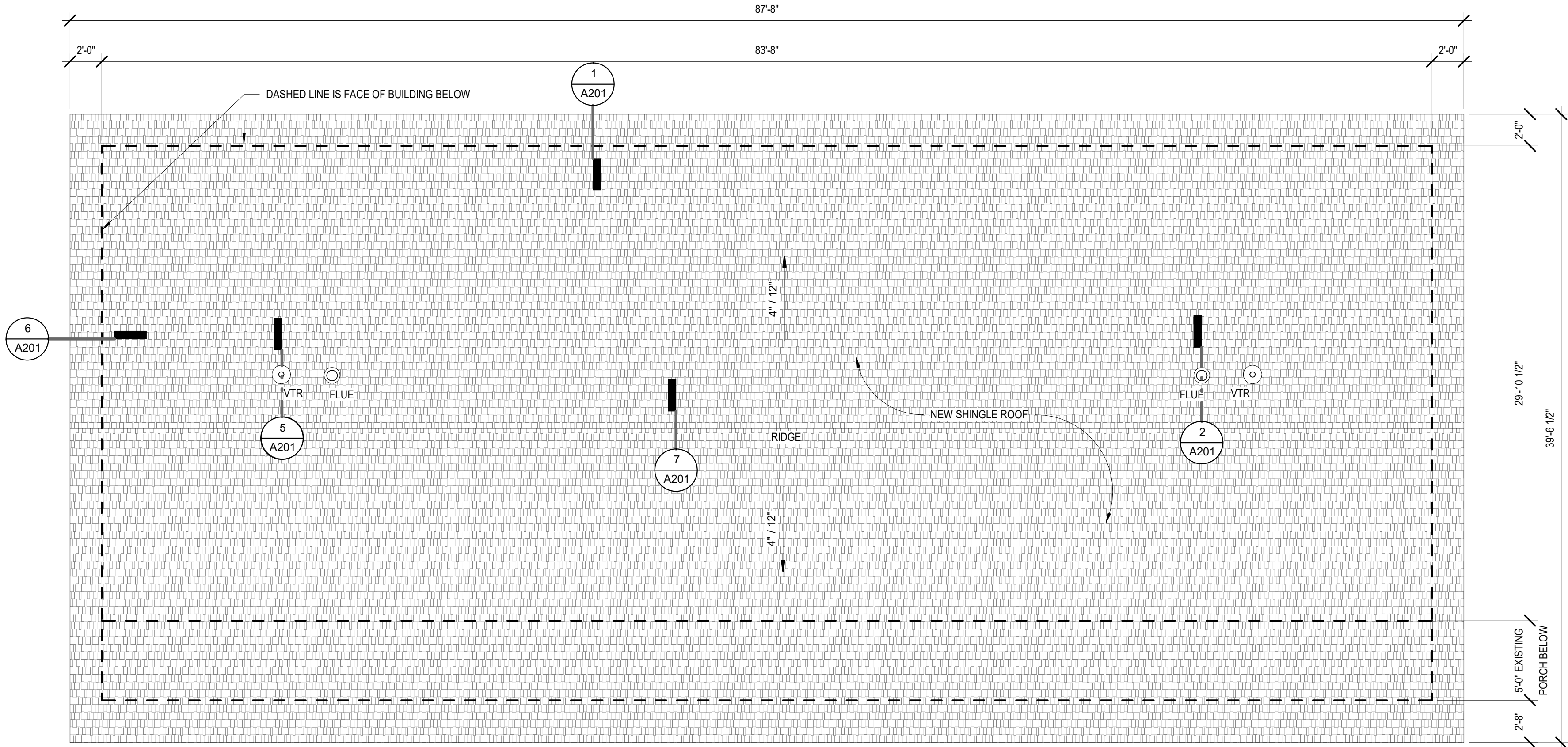
### SCOPE OF WORK BUILDING 4 - REROOF NOTES

- REROOF SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW 5/8" CDX ROOF DECK OVER 5% OF THE EXISTING DECK AREA, WHERE EXISTING DECK HAS BEEN DEMOLISHED OR WHERE PENETRATIONS ARE ABANDONED.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW UNDERLAYMENT AS SPECIFIED AND DETAILED.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW FLASHING AT GAS FLUES AND VTR'S.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW ROOF SHINGLES AS SPECIFIED AND DETAILED.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW METAL RAKE AND EAVE TRIM.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW COUNTERFLASHING / THRU-WALL FLASHING.

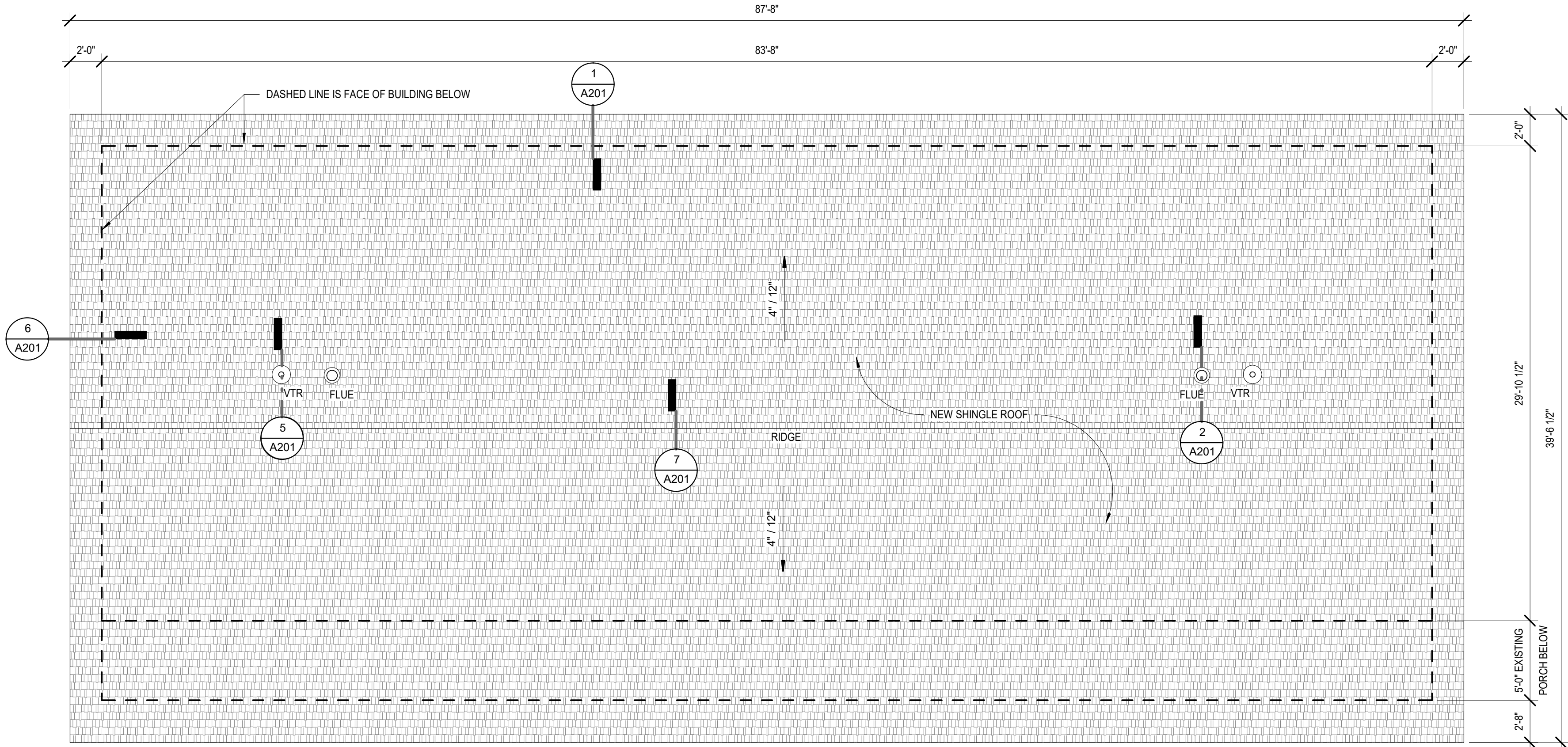




1 BUILDING 5-DEMOLITION PLAN  
3/16" = 1'-0"



2 BUILDING 5-REROOF PLAN  
3/16" = 1'-0"



## SCOPE OF WORK BUILDING 5 - DEMOLITION NOTES

- DEMOLITION SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
  - CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE ROOFING MATERIAL.
  - CONTRACTOR SHALL DEMOLISH ALL EXISTING UNDERLAYMENTS.
  - CONTRACTOR SHALL DEMOLISH ALL PIPE BOOTS, CRICKETS AND OTHER PENETRATION FLASHINGS.
  - CONTRACTOR SHALL DEMOLISH ALL TURTLE VENTS, THEN PREP THE ROOF OPENING FOR A NEW VENT.
  - CONTRACTOR SHALL RETAIN IN PLACE ALL EXISTING GAS FLUES AND VTR'S.
  - CONTRACTOR SHALL RETAIN IN PLACE ALL GABLE VENTS.
  - CONTRACTOR SHALL DEMOLISH ALL METAL EAVE AND RAKE TRIM.
  - CONTRACTOR SHALL DEMOLISH ALL FLASHINGS AND COUNTER FLASHINGS NOT OTHERWISE NOTED TO REMAIN. EXISTING STEPPED THRU-WALL FLASHING SHALL REMAIN IN PLACE AND SHALL BE REUSED.
  - CONTRACTOR SHALL DEMOLISH 5% OF THE EXISTING 5/8" CDX ROOF DECK. AREAS TO BE DEMOLISHED WILL BE DETERMINED BY THE ARCHITECT IN THE FIELD.
  - CONTRACTOR SHALL PREPARE THE DECK FOR NEW WORK.

## LEGEND

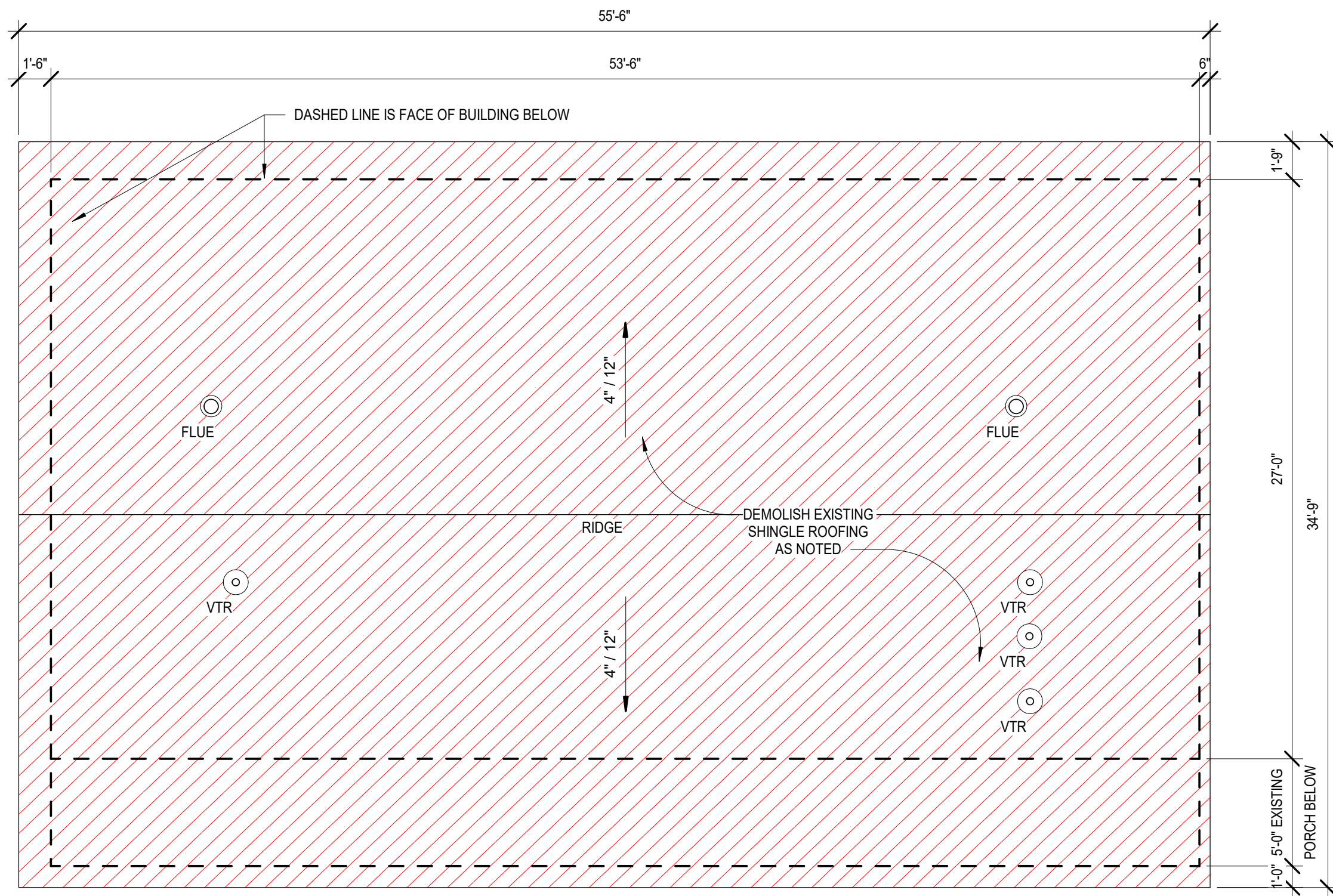
- |  |   |
|--|---|
|  | DEMOLITION MARK   |
|  | NEW SHINGLES  |
|  | RIDGE VENT  |
|  | VTR - EXISTING VENT THRU ROOF TO REMAIN. PROVIDE NEW BOOT.                    |
|  | FLUE - EXISTING FLUE WITH COWL TO REMAIN IN PLACE. PROVIDE NEW BOOT.          |
|  | T.V. - TURTLE VENT - EXISTING. DEMOLISH AND PROVIDE NEW IN EXISTING LOCATION. |

## SCOPE OF WORK BUILDING 5 - REROOF NOTES

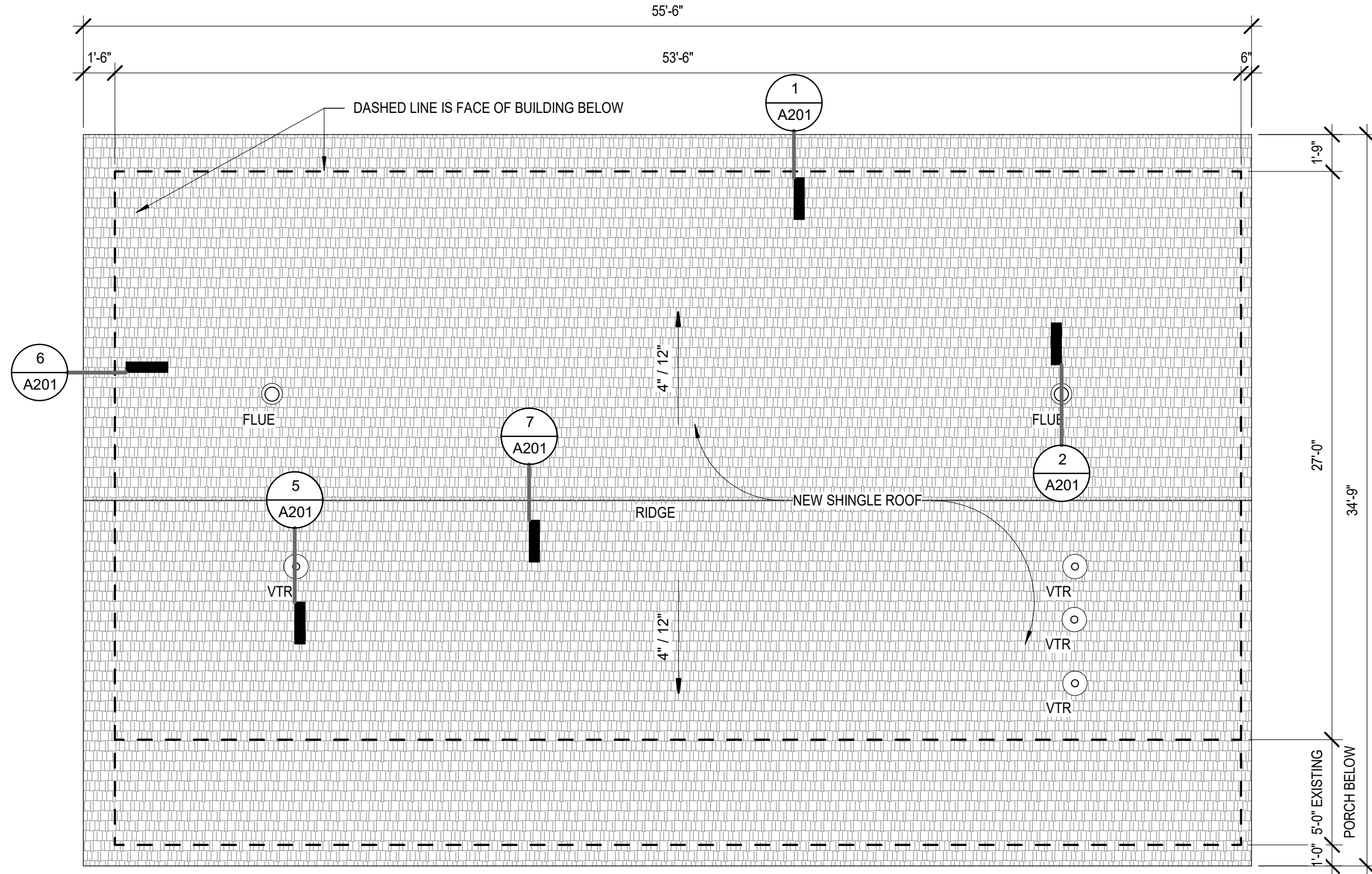
- REROOF SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW 5/8" CDX ROOF DECK OVER 5% OF THE EXISTING DECK AREA, WHERE EXISTING DECK HAS BEEN DEMOLISHED OR WHERE PENETRATIONS ARE ABANDONED.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW UNDERLAYMENT AS SPECIFIED AND DETAILED.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW TURTLE VENTS IN LOCATIONS DRAWN.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW FLASHING AT GAS FLUES AND VTR'S.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW ROOF SHINGLES AS SPECIFIED AND DETAILED.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW METAL RAKE AND EAVE TRIM.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW COUNTERFLASHING / THRU-WALL FLASHING.







**1 BUILDING 6-DEMOLITION PLAN**  
3/16" = 1'-0"



**2 BUILDING 6-REROOF PLAN**  
3/16" = 1'-0"

### SCOPE OF WORK BUILDING 6 - DEMOLITION NOTES

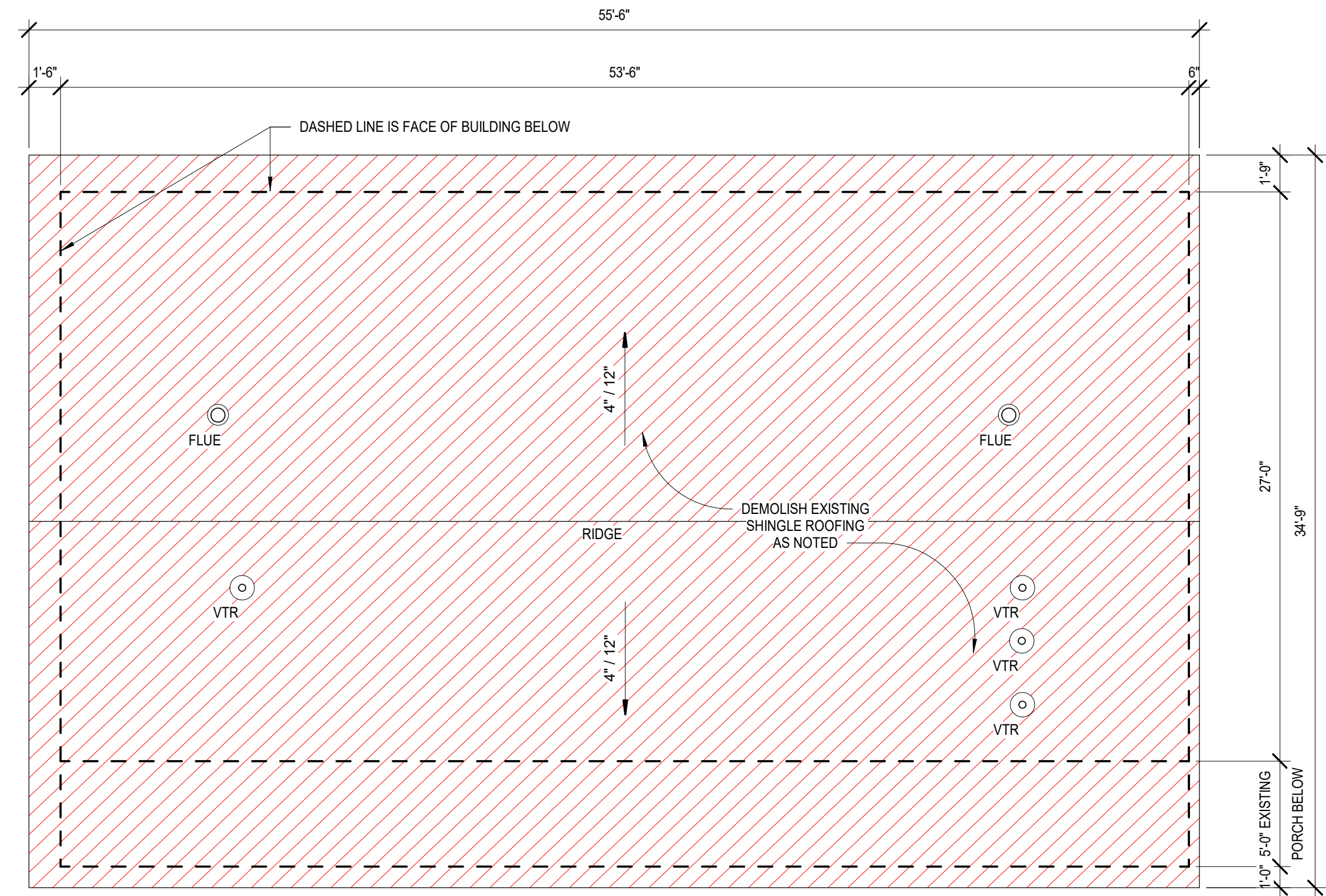
- DEMOLITION SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
  - CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE ROOFING MATERIAL.
  - CONTRACTOR SHALL DEMOLISH ALL EXISTING UNDERLAYMENTS.
  - CONTRACTOR SHALL DEMOLISH ALL PIPE BOOTS, CRICKETS AND OTHER PENETRATION FLASHINGS.
  - CONTRACTOR SHALL RETAIN IN PLACE ALL EXISTING GAS FLUES AND VTR'S.
  - CONTRACTOR SHALL RETAIN IN PLACE ALL GABLE VENTS.
  - CONTRACTOR SHALL DEMOLISH ALL METAL EAVE AND RAKE TRIM.
  - CONTRACTOR SHALL DEMOLISH ALL FLASHINGS AND COUNTER FLASHINGS NOT OTHERWISE NOTED TO REMAIN. EXISTING STEPPED THRU-WALL FLASHING SHALL REMAIN IN PLACE AND SHALL BE REUSED.
  - CONTRACTOR SHALL DEMOLISH 5% OF THE EXISTING 5/8" CDX ROOF DECK. AREAS TO BE DEMOLISHED WILL BE DETERMINED BY THE ARCHITECT IN THE FIELD.
  - CONTRACTOR SHALL PREPARE THE DECK FOR NEW WORK.

### SCOPE OF WORK BUILDING 6 - REROOF NOTES

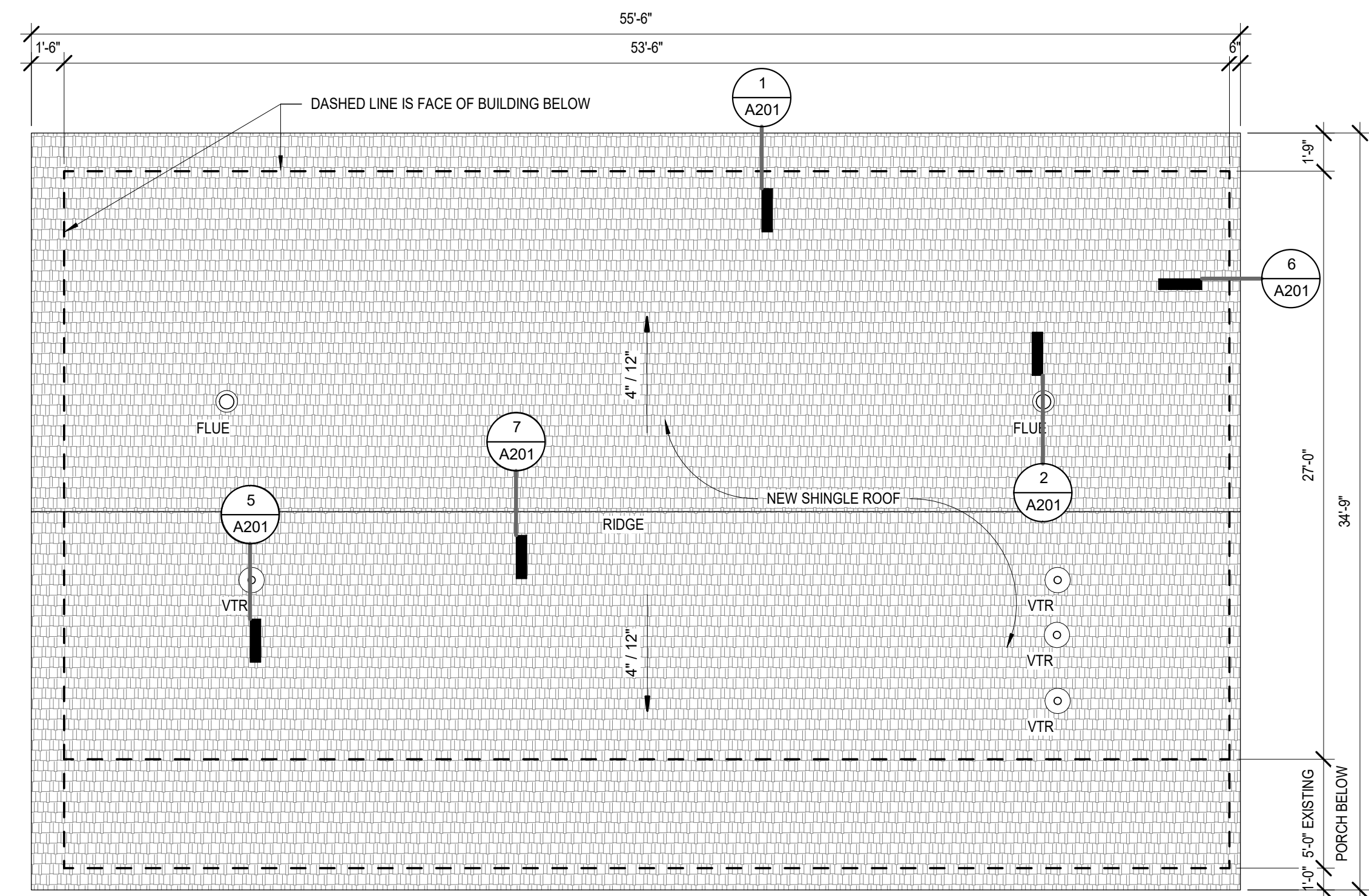
- REROOF SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW 5/8" CDX ROOF DECK OVER 5% OF THE EXISTING DECK AREA, WHERE EXISTING DECK HAS BEEN DEMOLISHED OR WHERE PENETRATIONS ARE ABANDONED.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW UNDERLAYMENT AS SPECIFIED AND DETAILED.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW FLASHING AT GAS FLUES AND VTR'S.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW ROOF SHINGLES AS SPECIFIED AND DETAILED.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW METAL RAKE AND EAVE TRIM.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW COUNTERFLASHING / THRU-WALL FLASHING.

### LEGEND

	DEMOLITION MARK
	NEW SHINGLES
	RIDGE VENT
	VTR - EXISTING VENT THRU ROOF TO REMAIN. PROVIDE NEW BOOT.
	FLUE - EXISTING FLUE WITH COWL TO REMAIN IN PLACE. PROVIDE NEW BOOT.
	T.V. - TURTLE VENT - EXISTING. DEMOLISH AND PROVIDE NEW IN EXISTING LOCATION.



**3 BUILDING 7-DEMOLITION PLAN**  
3/16" = 1'-0"



**4 BUILDING 7-REROOF PLAN**  
3/16" = 1'-0"

### SCOPE OF WORK BUILDING 7 - DEMOLITION NOTES

- DEMOLITION SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
  - CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE ROOFING MATERIAL.
  - CONTRACTOR SHALL DEMOLISH ALL EXISTING UNDERLAYMENTS.
  - CONTRACTOR SHALL DEMOLISH ALL PIPE BOOTS, CRICKETS AND OTHER PENETRATION FLASHINGS.
  - CONTRACTOR SHALL RETAIN IN PLACE ALL EXISTING GAS FLUES AND VTR'S.
  - CONTRACTOR SHALL RETAIN IN PLACE ALL GABLE VENTS.
  - CONTRACTOR SHALL DEMOLISH ALL METAL EAVE AND RAKE TRIM.
  - CONTRACTOR SHALL DEMOLISH ALL FLASHINGS AND COUNTER FLASHINGS NOT OTHERWISE NOTED TO REMAIN. EXISTING STEPPED THRU-WALL FLASHING SHALL REMAIN IN PLACE AND SHALL BE REUSED.
  - CONTRACTOR SHALL DEMOLISH 5% OF THE EXISTING 5/8" CDX ROOF DECK. AREAS TO BE DEMOLISHED WILL BE DETERMINED BY THE ARCHITECT IN THE FIELD.
  - CONTRACTOR SHALL PREPARE THE DECK FOR NEW WORK.

### SCOPE OF WORK BUILDING 7 - REROOF NOTES

- REROOF SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW 5/8" CDX ROOF DECK OVER 5% OF THE EXISTING DECK AREA, WHERE EXISTING DECK HAS BEEN DEMOLISHED OR WHERE PENETRATIONS ARE ABANDONED.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW UNDERLAYMENT AS SPECIFIED AND DETAILED.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW FLASHING AT GAS FLUES AND VTR'S.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW ROOF SHINGLES AS SPECIFIED AND DETAILED.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW METAL RAKE AND EAVE TRIM.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW COUNTERFLASHING / THRU-WALL FLASHING.

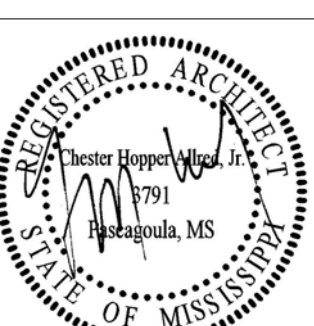
JOB NUMBER  
2021-23

DATE  
02/28/2021

REVISION  
1791

DRAWN BY  
SCN

CHECKED BY  
HA



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**BUILDINGS 6 & 7 - DEMOLITION & REROOF PLANS**

IFB#RRP03.21 BHA ROOF REPLACEMENT PROJECT - HURRICANE ZETA REPAIRS - VOLUME 2 - FERNWOOD PLACE APARTMENTS

BILOXI HOUSING AUTHORITY  
330 BENACHI AVENUE BILOXI, MS 39530

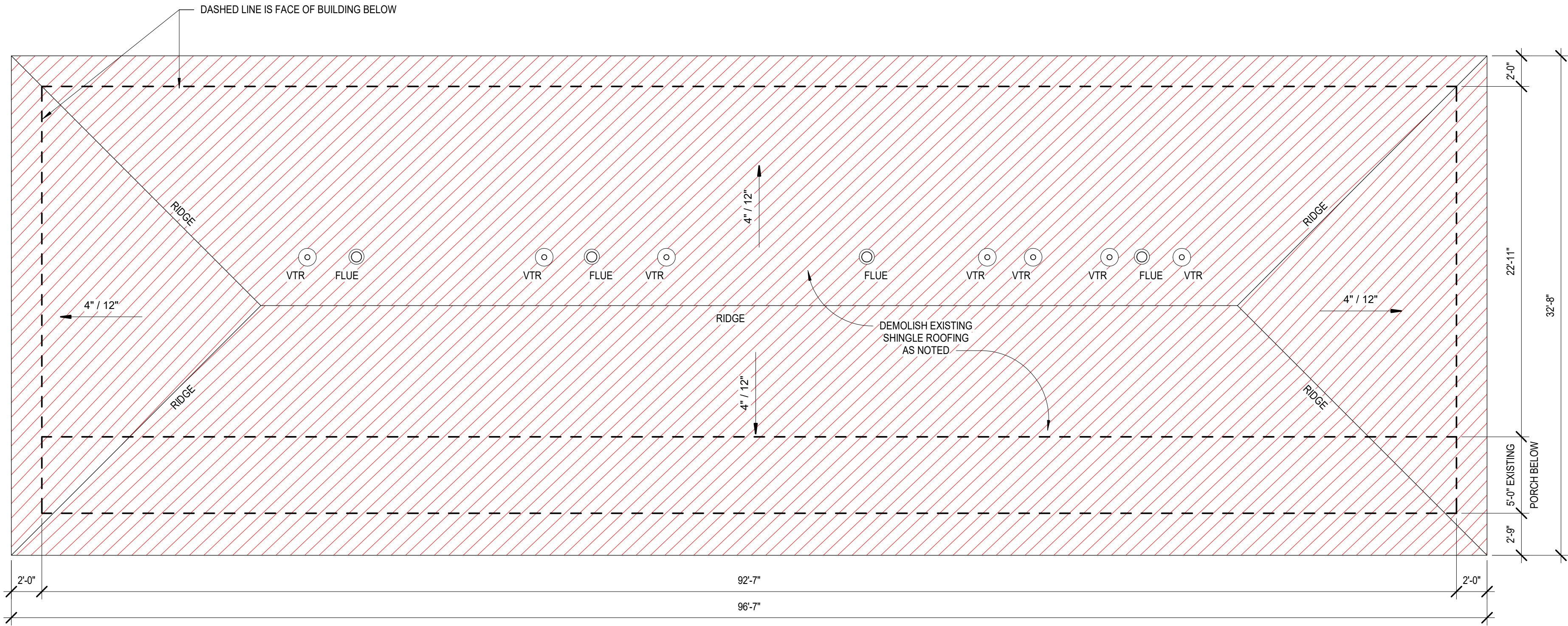
711 Church Street  
Ocean Springs, MS 39564

**alred stolarski architects**

Phone: (228) 762-1975  
Email: [contact@alredstolarski.com](mailto:contact@alredstolarski.com)



1 BUILDING 8-DEMOLITION PLAN  
3/16" = 1'-0"



SCOPE OF WORK  
BUILDING 8 - DEMOLITION NOTES

- DEMOLITION SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
  - CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE ROOFING MATERIAL.
  - CONTRACTOR SHALL DEMOLISH ALL EXISTING UNDERLAYMENTS.
  - CONTRACTOR SHALL DEMOLISH ALL PIPE BOOTS, CRICKETS AND OTHER PENETRATION FLASHINGS.
  - CONTRACTOR SHALL RETAIN IN PLACE ALL EXISTING GAS FLUES AND VTRS.
  - CONTRACTOR SHALL RETAIN IN PLACE ALL GABLE VENTS.
  - CONTRACTOR SHALL DEMOLISH ALL METAL EAVE AND RAKE TRIM.
  - CONTRACTOR SHALL DEMOLISH ALL FLASHINGS AND COUNTER FLASHINGS NOT OTHERWISE NOTED TO REMAIN. EXISTING STEPPED THRU-WALL FLASHING SHALL REMAIN IN PLACE AND SHALL BE REUSED.
  - CONTRACTOR SHALL DEMOLISH 5% OF THE EXISTING 5/8" CDX ROOF DECK. AREAS TO BE DEMOLISHED WILL BE DETERMINED BY THE ARCHITECT IN THE FIELD.
  - CONTRACTOR SHALL PREPARE THE DECK FOR NEW WORK.

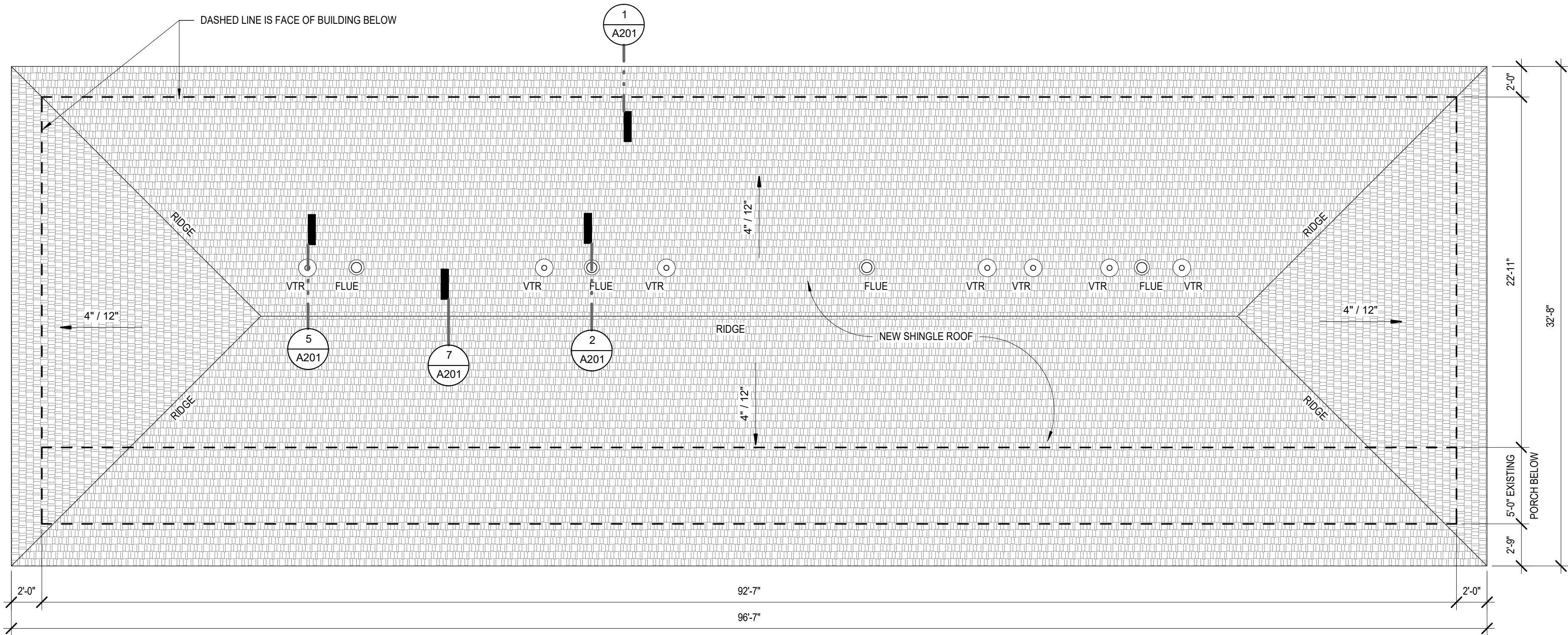
LEGEND

	DEMOLITION MARK
	NEW SHINGLES
	RIDGE VENT
	VTR - EXISTING VENT THRU ROOF TO REMAIN. PROVIDE NEW BOOT.
	FLUE - EXISTING FLUE WITH COWL TO REMAIN IN PLACE. PROVIDE NEW BOOT.
	T.V. - EXISTING. DEMOLISH AND PROVIDE NEW IN EXISTING LOCATION.

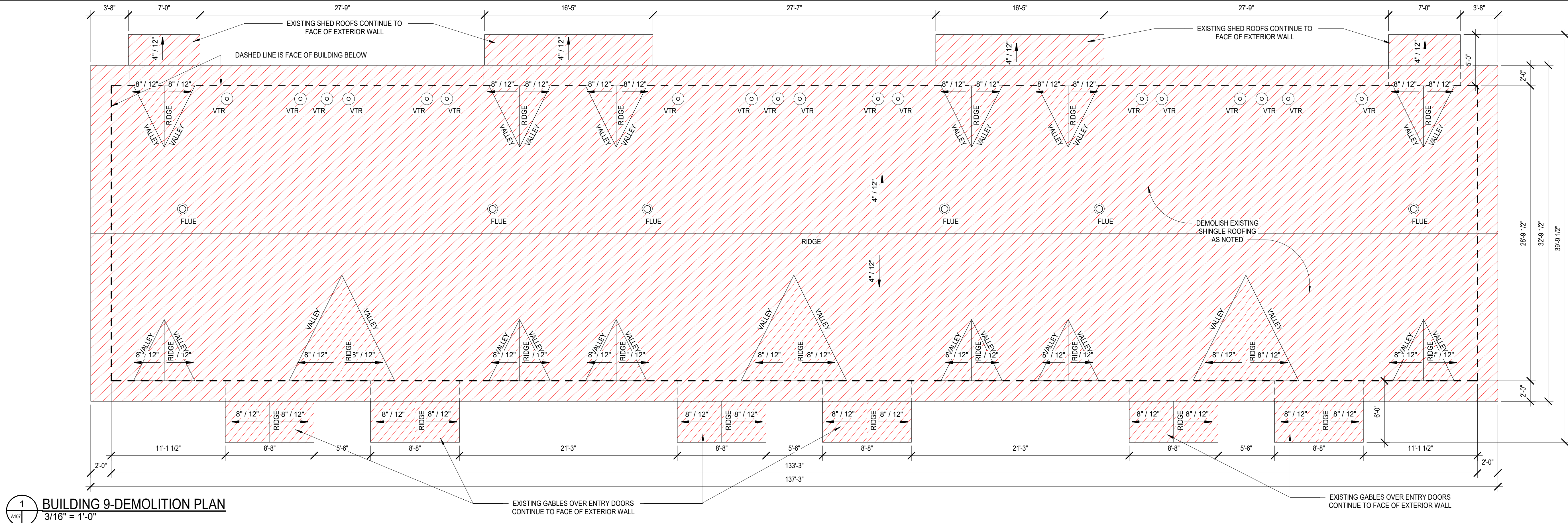
SCOPE OF WORK  
BUILDING 8 - REROOF NOTES

- REROOF SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW 5/8" CDX ROOF DECK OVER 5% OF THE EXISTING DECK AREA. WHERE EXISTING DECK HAS BEEN DEMOLISHED OR WHERE PENETRATIONS ARE ABANDONED.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW UNDERLAYMENT AS SPECIFIED AND DETAILED.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW FLASHING AT GAS FLUES AND VTRS.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW ROOF SHINGLES AS SPECIFIED AND DETAILED.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW METAL RAKE AND EAVE TRIM.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW COUNTERFLASHING / THRU-WALL FLASHING.

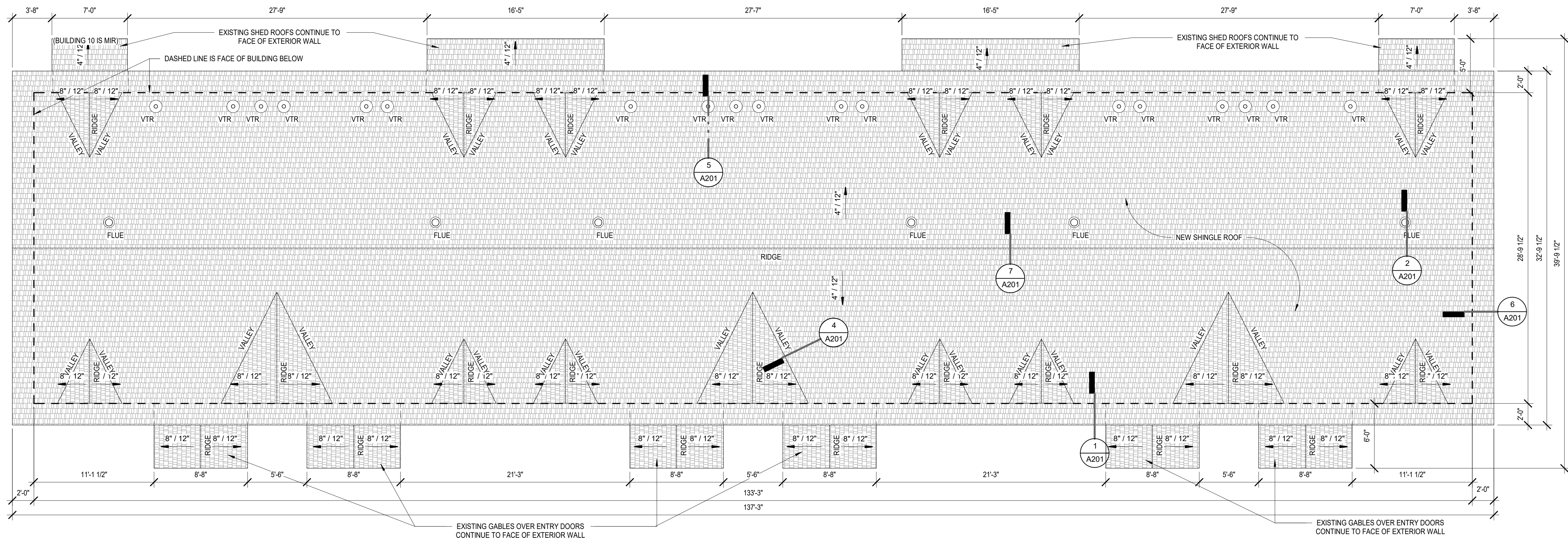
2 BUILDING 8-REROOF PLAN  
3/16" = 1'-0"







1 BUILDING 9-DEMOLITION PLAN  
3/16" = 1'-0"



2 BUILDING 9-REROOF PLAN  
3/16" = 1'-0"

### SCOPE OF WORK BUILDING 9 - DEMOLITION NOTES

- BUILDING 9 SHOWN. BUILDING 10 IS MIR.
- DEMOLITION SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
  - CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE ROOFING MATERIAL.
  - CONTRACTOR SHALL DEMOLISH ALL EXISTING UNDERLAYMENTS.
  - CONTRACTOR SHALL DEMOLISH ALL PIPE BOOTS, CRICKETS AND OTHER PENETRATION FLASHINGS.
  - CONTRACTOR SHALL RETAIN IN PLACE ALL EXISTING GAS FLUES AND VTR'S.
  - CONTRACTOR SHALL RETAIN IN PLACE ALL CABLE VENTS.
  - CONTRACTOR SHALL DEMOLISH ALL METAL EAVE AND RAKE TRIM.
  - CONTRACTOR SHALL DEMOLISH ALL FLASHINGS AND COUNTER FLASHINGS NOT OTHERWISE NOTED TO REMAIN. EXISTING STEPPED THRU-WALL FLASHING SHALL REMAIN IN PLACE AND SHALL BE REUSED.
  - CONTRACTOR SHALL DEMOLISH 5% OF THE EXISTING 5/8" CDX ROOF DECK. AREAS TO BE DEMOLISHED WILL BE DETERMINED BY THE ARCHITECT IN THE FIELD.
  - CONTRACTOR SHALL PREPARE THE DECK FOR NEW WORK.

### LEGEND

- |  |  |
|--|--|
|  | DEMOLITION MARK  |
|  | NEW SHINGLES   |
|  | RIDGE VENT   |
|  | VTR - EXISTING VENT THRU ROOF TO REMAIN. PROVIDE NEW BOOT.             |
|  | FLUE - EXISTING FLUE WITH COWL TO REMAIN IN PLACE. PROVIDE NEW BOOT.   |
|  | TURTLE VENT - EXISTING. DEMOLISH AND PROVIDE NEW IN EXISTING LOCATION. |

### SCOPE OF WORK BUILDING 9 - REROOF NOTES

- BUILDING 9 SHOWN. BUILDING 10 IS SIM.
- REROOF SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW 5/8" CDX ROOF DECK OVER 5% OF THE EXISTING DECK AREA, WHERE EXISTING DECK HAS BEEN DEMOLISHED OR WHERE PENETRATIONS ARE ABANDONED.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW UNDERLAYMENT AS SPECIFIED AND DETAILED.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW FLASHING AT GAS FLUES AND VTR'S.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW ROOF SHINGLES AS SPECIFIED AND DETAILED.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW METAL RAKE AND EAVE TRIM.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW COUNTERFLASHING / THRU-WALL FLASHING.

## BUILDING 9 & 10 - DEMOLITION & REROOF PLANS

IFB#RRP03.21 BHA ROOF REPLACEMENT PROJECT - HURRICANE ZETA REPAIRS - VOLUME 2 - FERNWOOD PLACE APARTMENTS  
BILOXI HOUSING AUTHORITY  
330 BENACHI AVENUE BILOXI, MS 39530

JOB NUMBER  
2021-23

DATE  
02/28/2021

REVISION  
REVISED

DRAWN BY  
SCN

CHECKED BY  
HA



SHEET

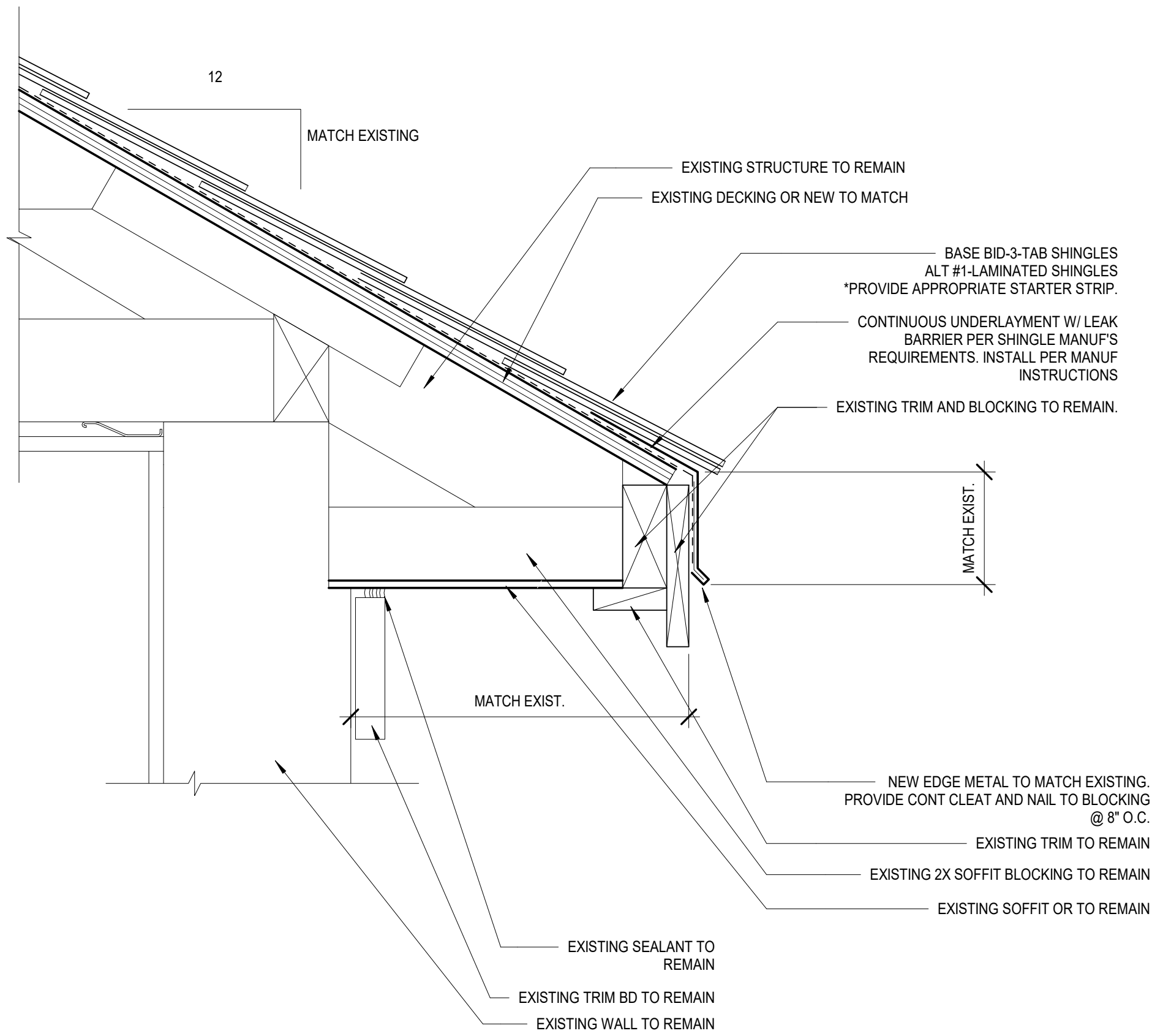
A107

711 Church Street  
Ocean Springs, MS 39564

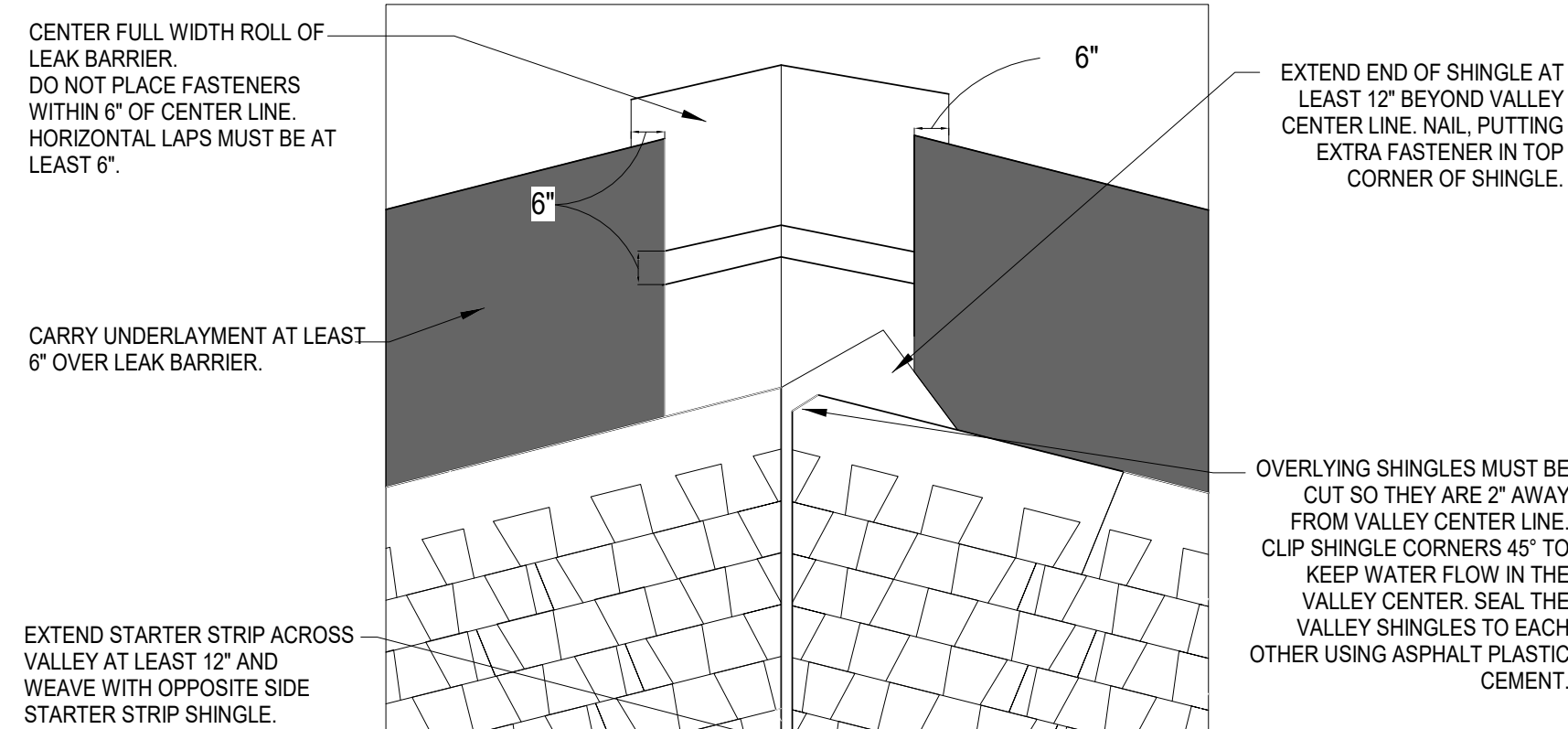
alred  
stolarski  
architects

Phone: (228) 762-1975  
Email: [contact@alredstolarski.com](mailto:contact@alredstolarski.com)



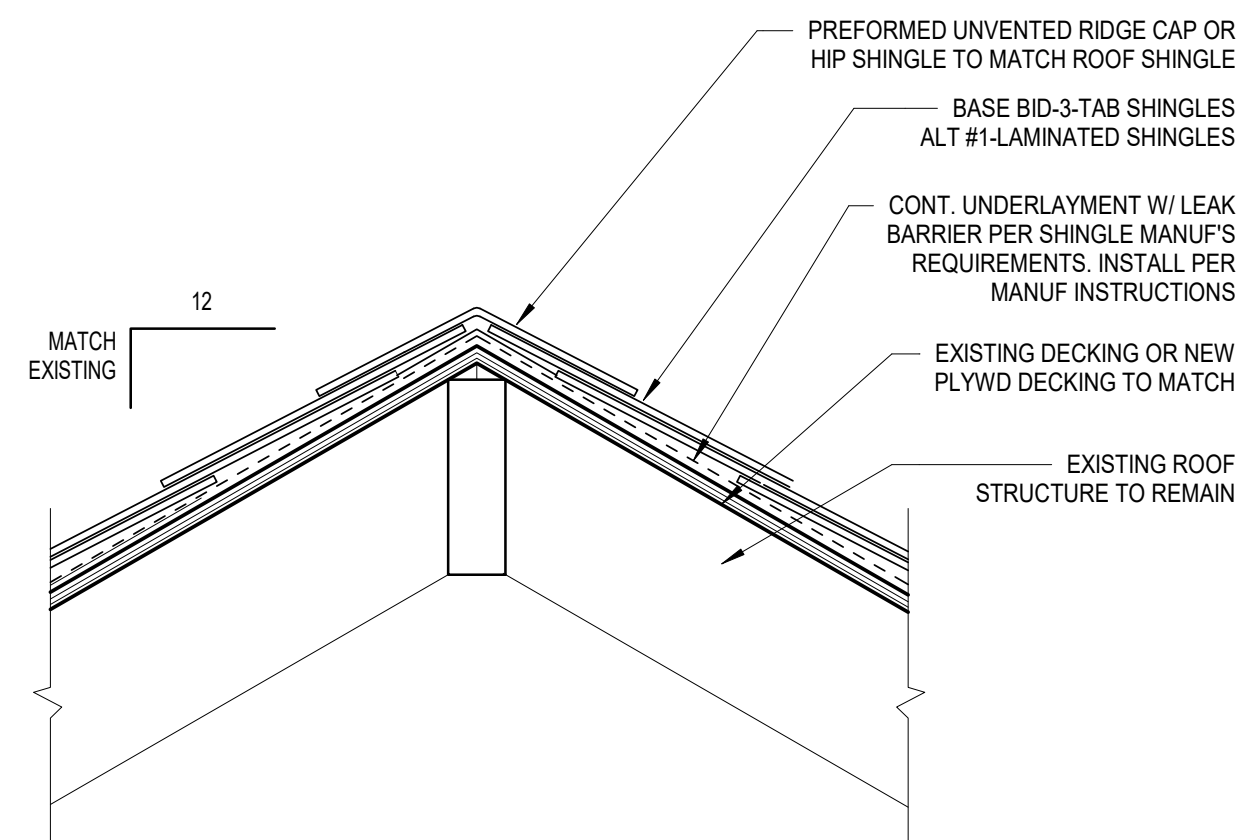


1 EAVE  
3" = 1'-0"

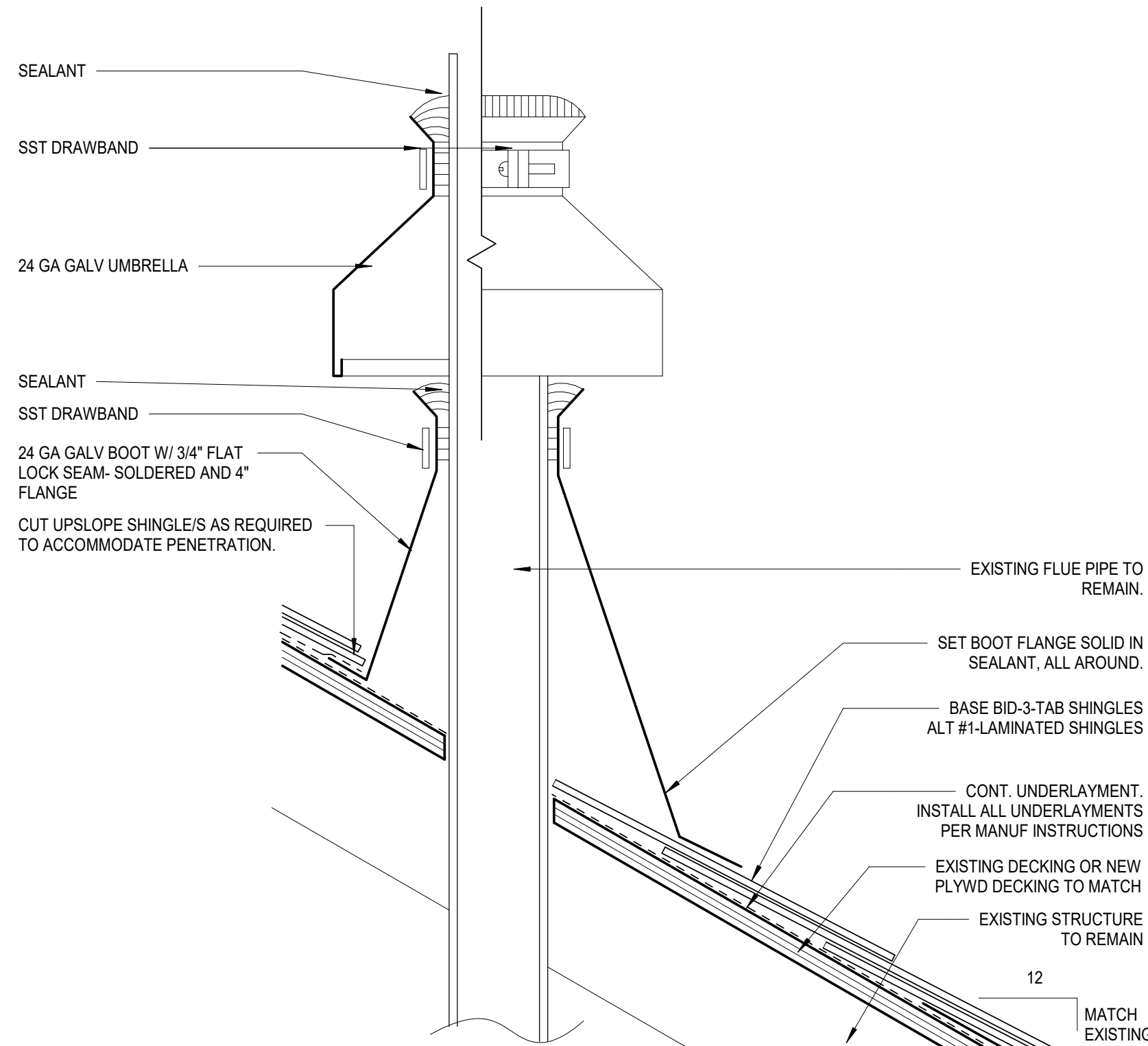


NOTE: THIS DETAIL APPLIES TO 3-TAB AND LAMINATE SHINGLES

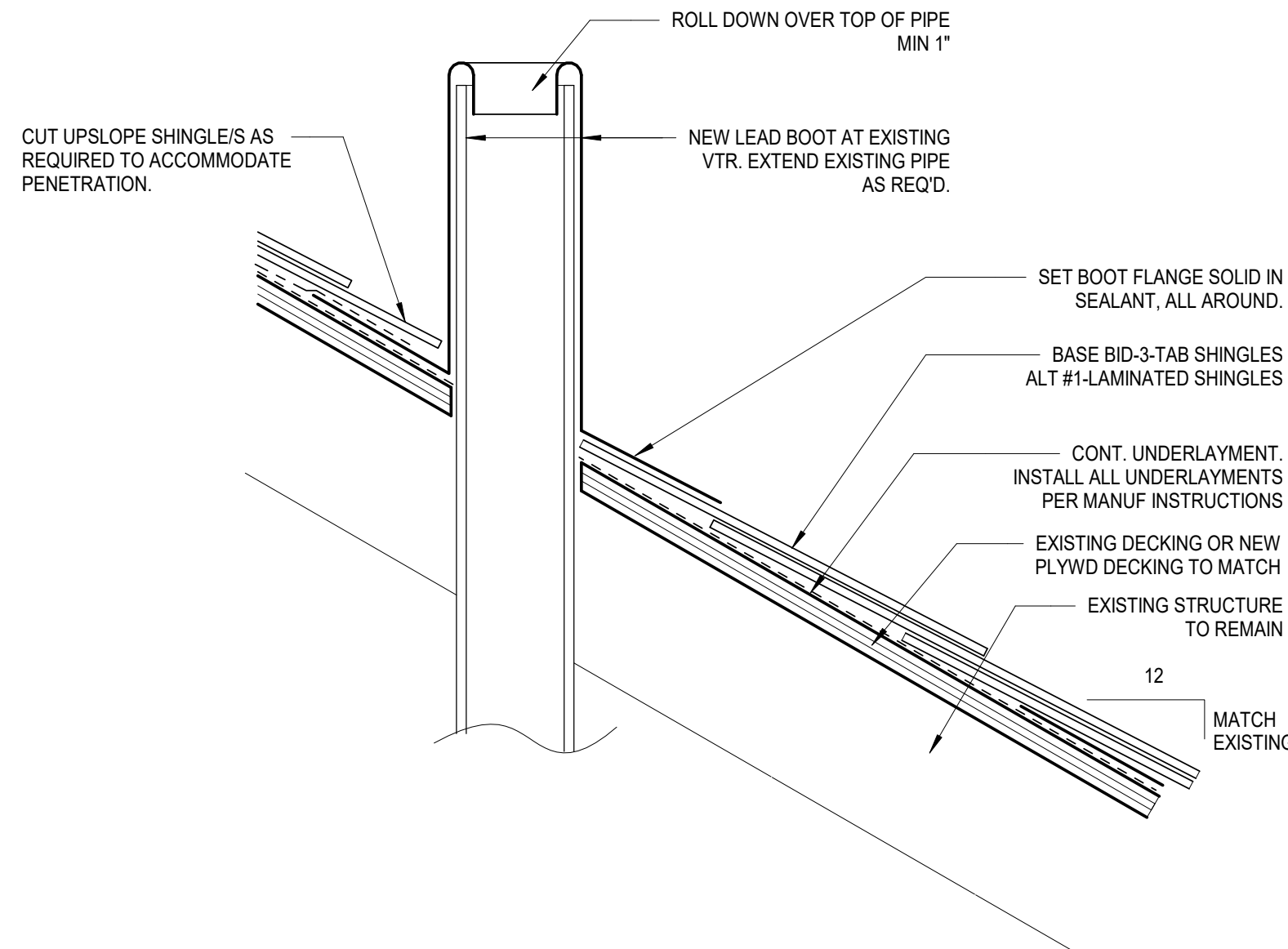
4 VALLEY FLASHING  
N.T.S.



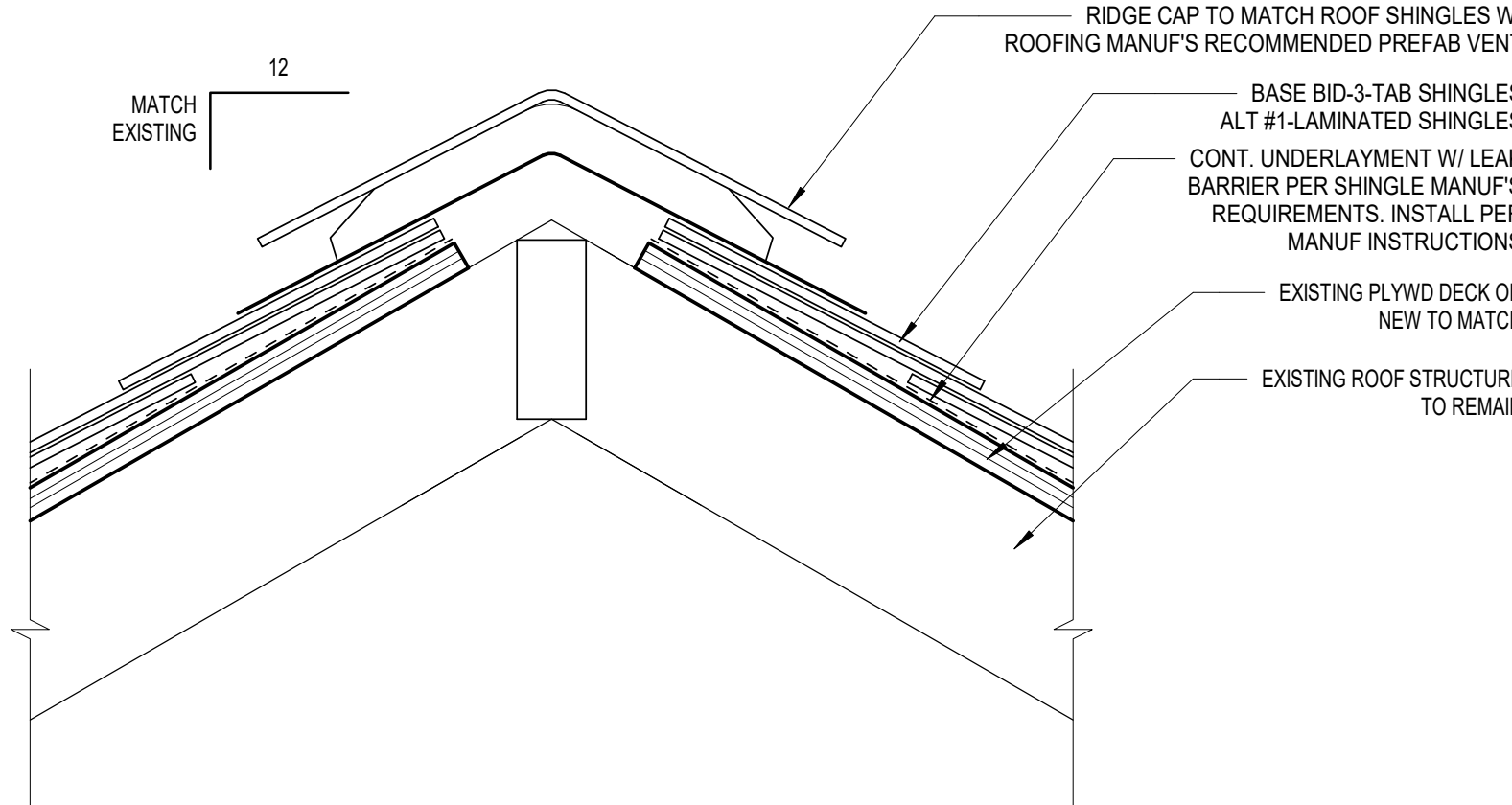
7 UNVENTED RIDGE OR HIP  
3" = 1'-0"



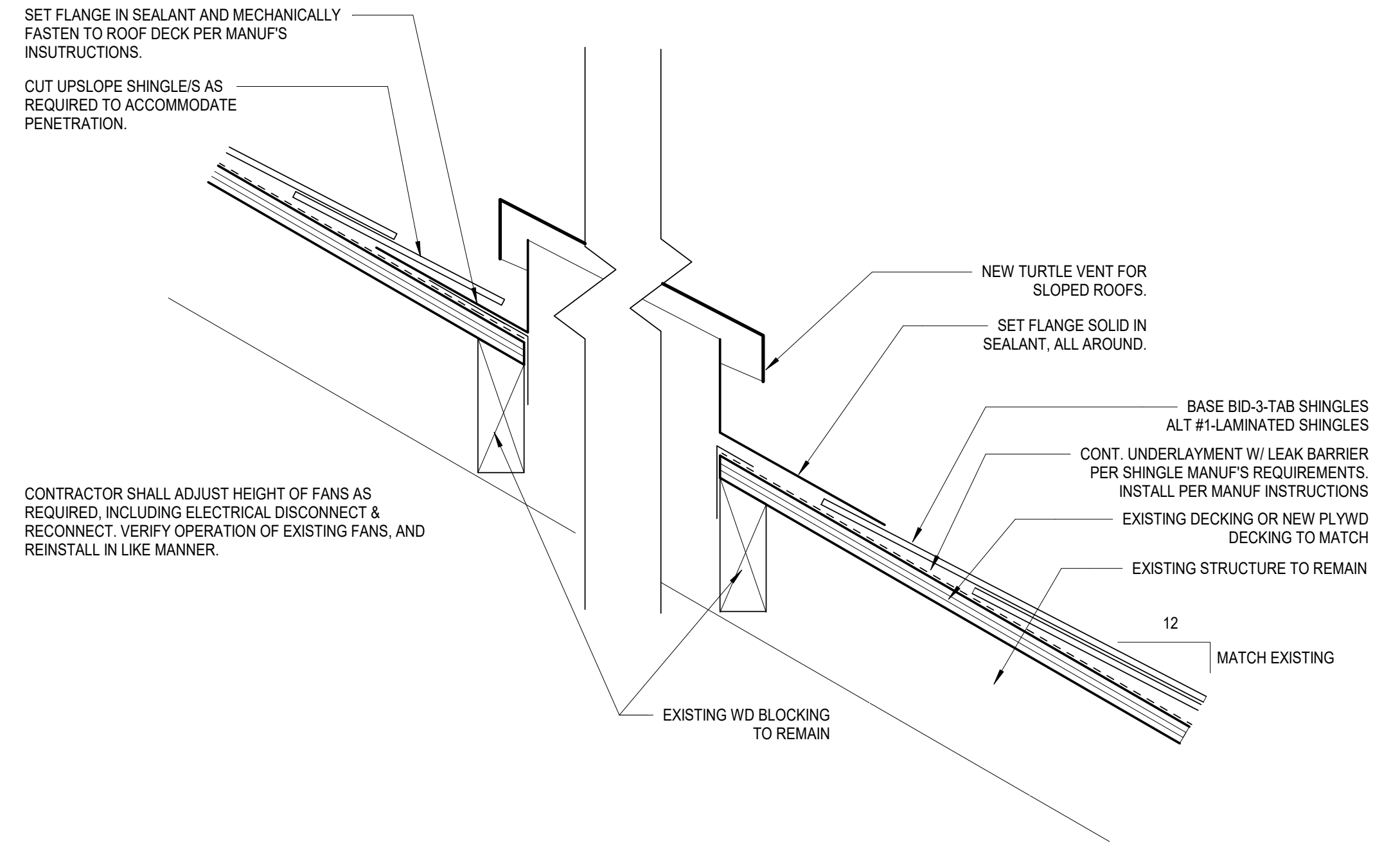
2 FLUE  
3" = 1'-0"



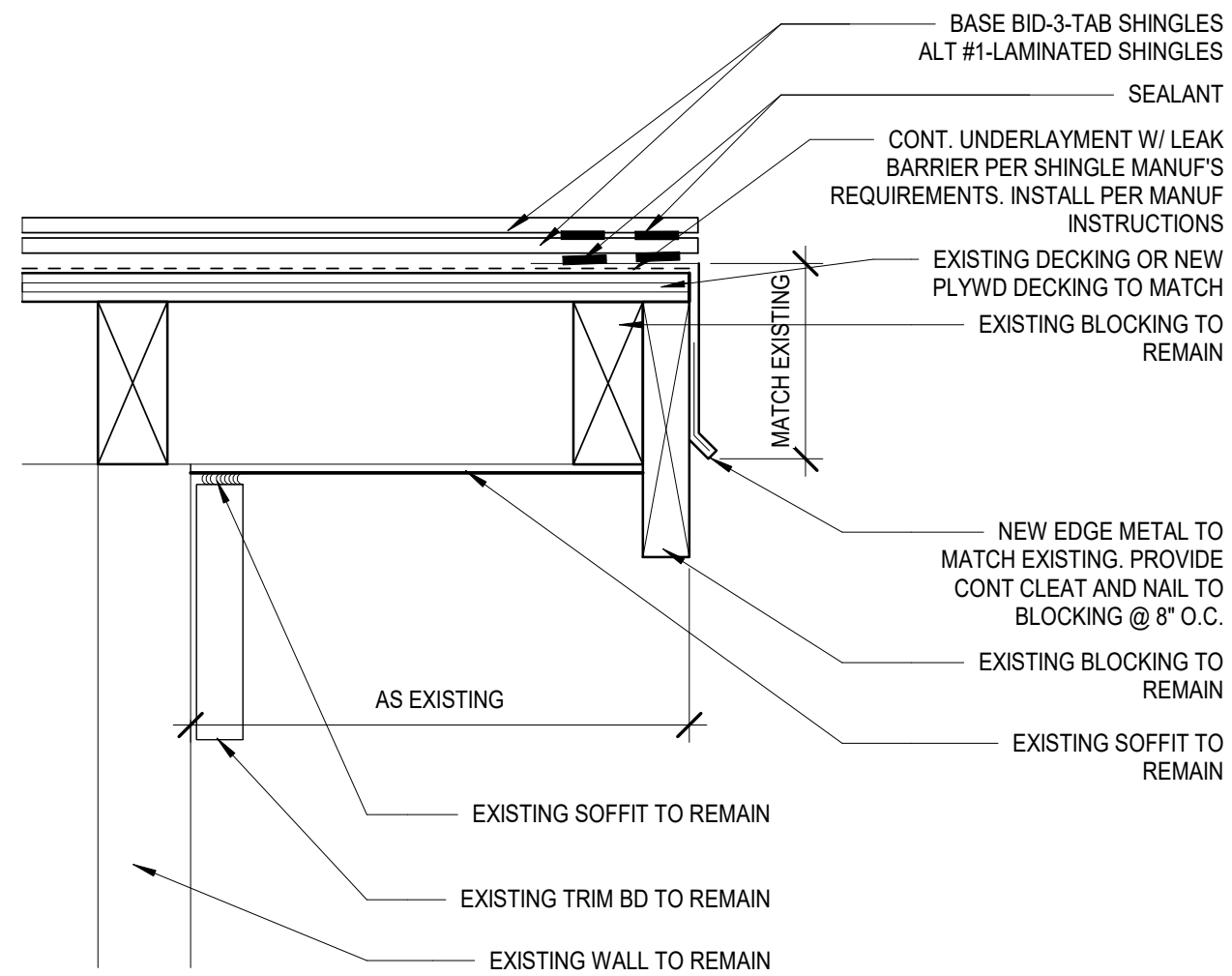
5 VTR  
3" = 1'-0"



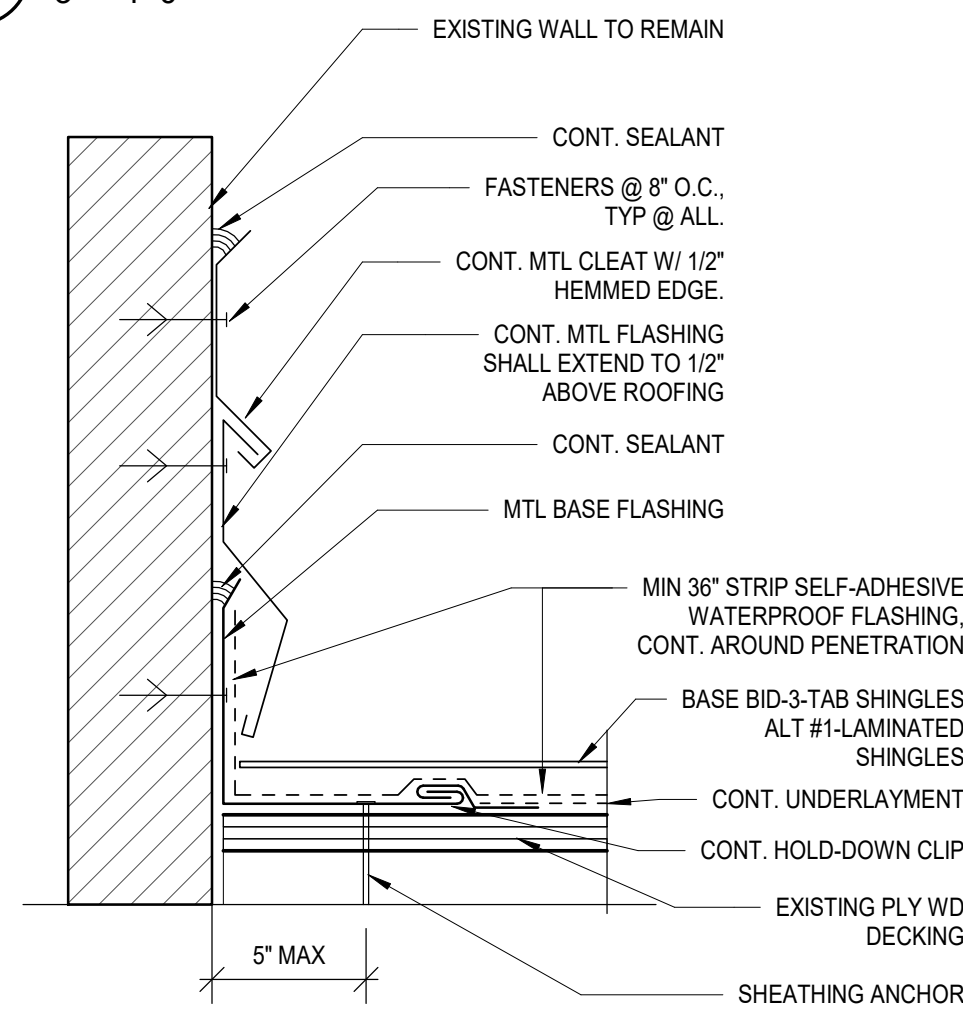
9 VENTED RIDGE  
3" = 1'-0"



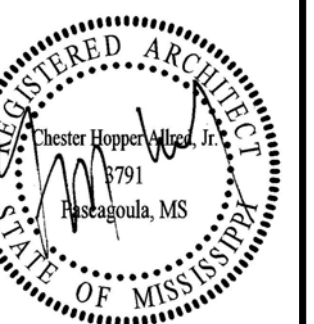
3 THRU-ROOF TURTLE VENT  
3" = 1'-0"



6 RAKE  
3" = 1'-0"



8 ROOF/WALL FLASHING  
3" = 1'-0"





# IFB#RRP03.21 BHA ROOF REPLACEMENT PROJECT - HURRICANE ZETA REPAIRS - VOLUME 3 - GULF SHORE VILLAS

BILOXI HOUSING AUTHORITY  
330 BENACHI AVENUE BILOXI, MS 39530

## VOLUME 3 DRAWING INDEX

INDEX - GENERAL	
G000	TITLE SHEET
INDEX - ARCHITECTURAL	
A100	REFERENCE SITE PLAN
A101	BUILDINGS #1, 2, & 24 - DEMOLITION & REROOF PLANS
A102	BUILDINGS # 3, 12, 18, 21, 22, & 23 - DEMOLITION & REROOF PLANS
A103	BUILDINGS #4, 9, 11, & 17 - DEMOLITION & REROOF PLANS
A104	BUILDINGS #5, 6, 7, 8, 13, & 14 - DEMOLITION & REROOF PLANS
A105	BUILDING 10 - DEMOLITION & REROOF PLANS
A106	BUILDING #15 - DEMOLITION & REROOF PLANS
A107	BUILDING #16 - DEMOLITION & REROOF PLANS
A108	BUILDING #19 - DEMOLITION & REROOF PLANS
A109	BUILDING #20 - DEMOLITION & REROOF PLANS
A110	LAUNDRY BUILDING - DEMOLITION & REROOF PLANS
A201	SHINGLE ROOF DETAILS

PROJ #: 2021-23

IFB#RRP03.21 BHA ROOF REPLACEMENT PROJECT -  
HURRICANE ZETA REPAIRS - VOLUME 3 - GULF SHORE  
VILLAS  
  
BILOXI HOUSING AUTHORITY  
330 BENACHI AVENUE BILOXI, MS 39530

DATE: 02/28/2021

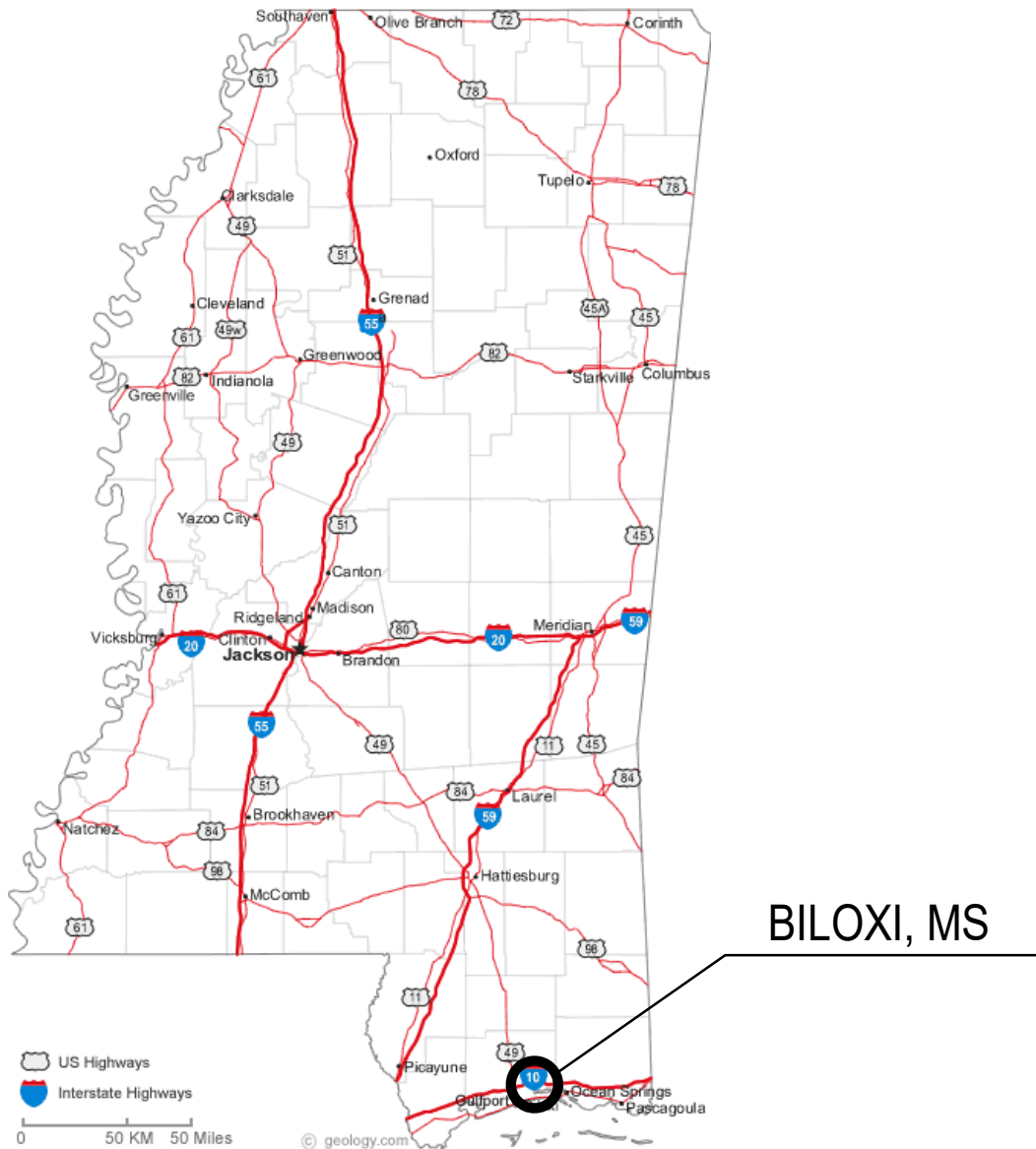
SET TYPE  
BID SET

### PROJECT TEAM

ARCHITECT  
ALLRED STOLARSKI  
ARCHITECTS

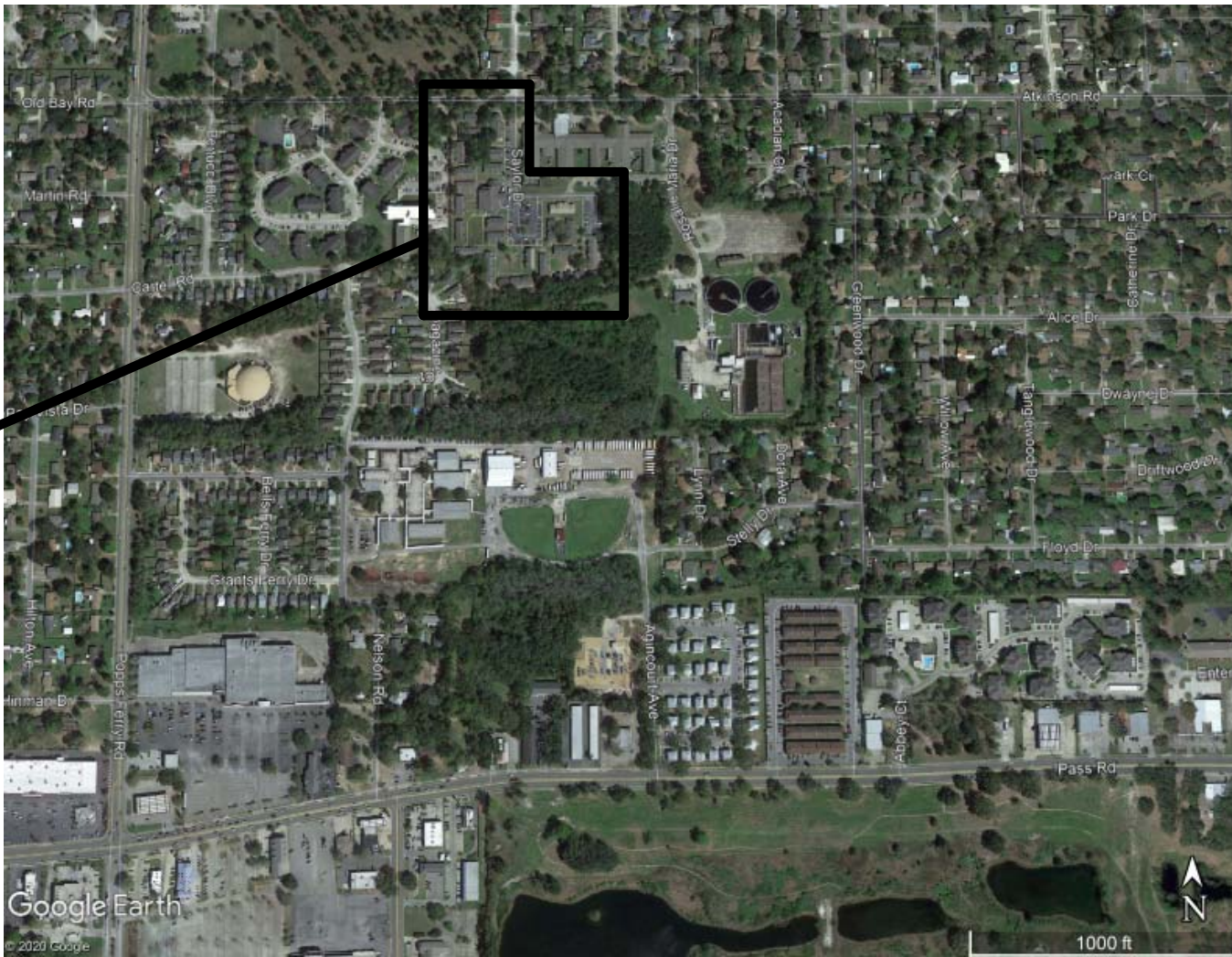
711 CHURCH STREET  
OCEAN SPRINGS, MS 39564  
T (228) 762-1975  
HOPPY ALLRED, AIA, PRINCIPAL  
ARCHITECT  
hoppy@allredstolarski.com

### LOCATION MAP NTS



### VICINITY MAP NTS

GULF SHORE VILLAS  
2301 ATKINSON ROAD



### ALTERNATES

ALTERNATE #1: AN ADDITIVE ALTERNATE FOR ALL LABOR, MATERIALS, AND EQUIPMENT NECESSARY TO REROOF BUILDINGS AT BAYVIEW OAKS, COMPLETE AS INDICATED ON THE DRAWINGS AND IN ACCORDANCE WITH THE SPECIFICATIONS.

ALTERNATE #2: AN ADDITIVE ALTERNATE FOR ALL LABOR, MATERIALS, AND EQUIPMENT NECESSARY TO INSTALL A LAMINATED SHINGLE ROOF IN LIEU OF THE BASE BID 3-TAB SHINGLE ROOF, COMPLETE AS INDICATED ON THE DRAWINGS AND IN ACCORDANCE WITH THE SPECIFICATIONS.

### PRIORITY WORK

THE FOLLOWING LOCATIONS SHALL HAVE PRIORITY IN SCHEDULING:

1. BUILDING 1



allred  
stolarski  
architects



711 Church Street  
Ocean Springs, MS 39564

Phone: (228) 762-1975  
Email: [contact@allredstolarski.com](mailto:contact@allredstolarski.com)

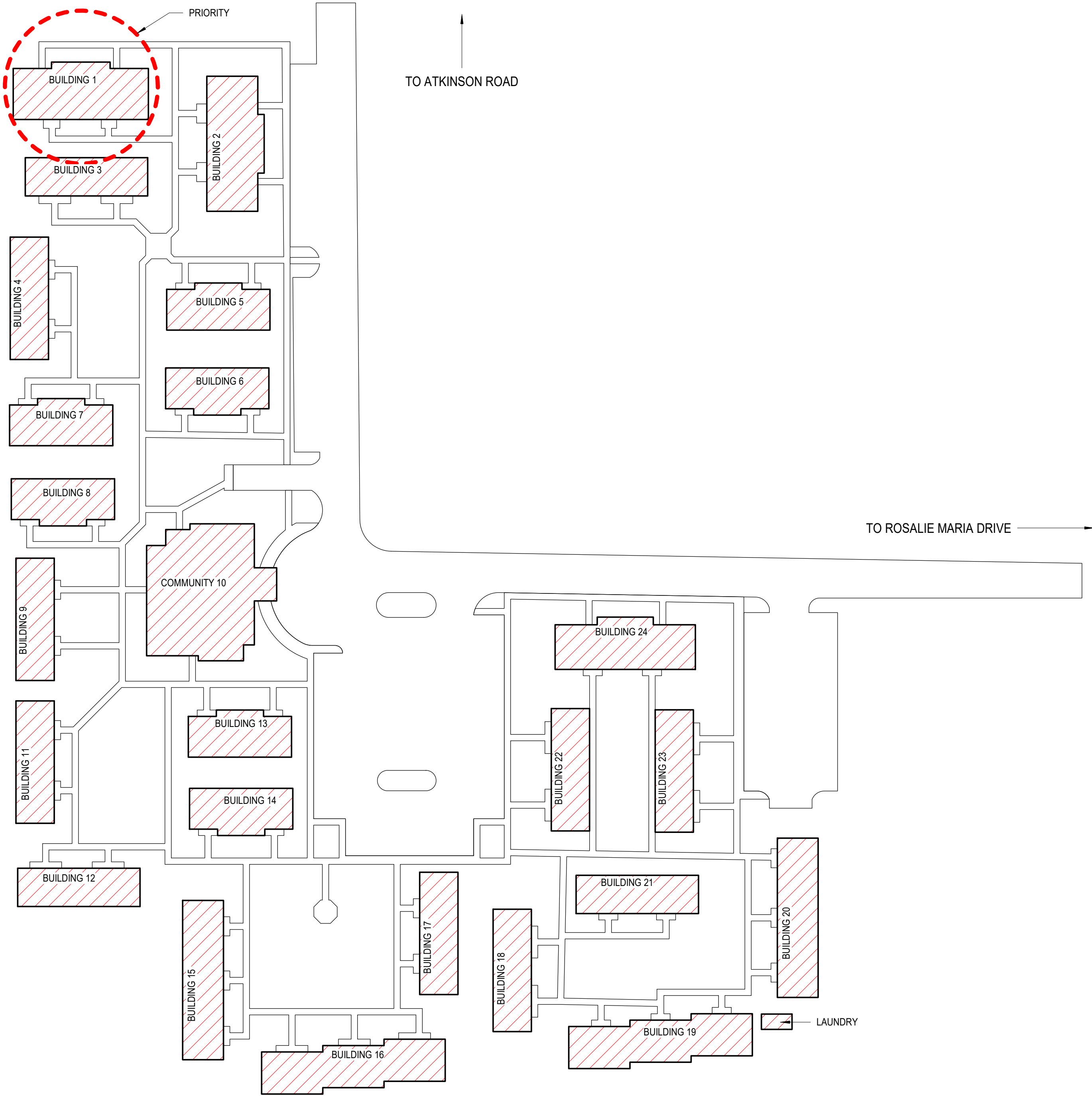


GENERAL WORK NOTES

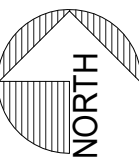
1. SITE ADDRESS: 2301 ATKINSON ROAD, BILOXI, MS 39531
2. ALL INFORMATION REGARDING EXISTING CONDITIONS IS BASED ON OWNER SUPPLIED DOCUMENTS AND MAY NOT REFLECT ACTUAL FIELD CONDITIONS. UPON DISCOVERY OF ANY DISCREPANCIES BETWEEN FIELD CONDITIONS AND DRAWINGS DEPICTING EXISTING CONDITIONS OR UPON DISCOVERY OF UNKNOWN CONDITIONS DETRIMENTAL TO THE COMPLETION OF THE WORK AS INDICATED ON THE DRAWINGS, CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT IN WRITING. CONTRACTOR IS RESPONSIBLE FOR ALL SHORING AND BRACING NECESSARY TO MAINTAIN STRUCTURAL INTEGRITY. AT NO TIME SHALL THE EXISTING STRUCTURAL MEMBERS BE SUBJECTED TO CUTTING, DRILLING, OR ANY MODIFICATION PROCESS THAT MAY INTERFERE WITH ITS STRUCTURAL INTEGRITY.
3. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL DIMENSIONS AND CONDITIONS IN FIELD PRIOR TO BIDDING.
4. SALVAGE IS DEFINED AS THE CAREFUL REMOVAL AND RETAINING OF ITEMS AS SHOWN IN DRAWINGS FOR POSSIBLE REUSE OR DELIVERY TO OWNER.
5. CARE SHOULD BE TAKEN AT THE INTERFACE BETWEEN DEMOLITION AND EXISTING CONSTRUCTION TO REMAIN, TO AVOID ANY DAMAGE TO EXISTING CONSTRUCTION. AFTER REMOVAL OF EXISTING ROOFING OR CONSTRUCTION, PATCH AND REPAIR DAMAGE TO ANY EXISTING, WALLS, SIDEWALKS, PAVING, CURBS, LANDSCAPING, ETC. TO A LIKE NEW CONDITION.
6. THE CONTRACTOR SHALL NOTIFY, COORDINATE, SCHEDULE, AND RECEIVE PRIOR PERMISSION FROM THE USING AGENCY PRIOR TO ANY SHUT DOWN OF BUILDING SERVICES AS REQUIRED TO COMPLETE THE WORK. NOTIFICATION SHALL INCLUDE LENGTH OF TIME REQUIRED TO SHUT DOWN, LENGTH OF TIME SERVICE WILL BE DISCONNECTED, AND TIME REQUIRED TO RECONNECT SERVICES. SHUT DOWN SHALL NOT OCCUR DURING BUSINESS HOURS.
7. THE EXISTING BUILDING ENVELOPE SHALL BE MAINTAINED IN A WATERTIGHT CONDITION AT ALL TIMES.
8. THE CONTRACTOR SHALL PROVIDE TEMPORARY PROTECTION AS NECESSARY AND AS REQUIRED TO SEAL OFF THE REST OF THE EXISTING BUILDING AND MAINTAIN BUILDING DURING DEMOLITION.
9. ALL DEMOLITION WORK SHALL BE EXECUTED IN CONFORMANCE WITH ALL CODES AND ORDINANCES AS SET FORTH BY ALL GOVERNING AUTHORITIES.
10.

LEGEND

<div>BUILDING #</div>	BUILDING NUMBER
<div></div>	NO WORK THIS LOCATION.



1  
A100  
REFERENCE SITE PLAN  
1" = 60'-0"



JOB NUMBER	2021-23
DATE	02/28/2021
REVISED	
DRAWN BY	SCN
CHECKED BY	HA



SHEET

A100

REFERENCE SITE PLAN

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BILOXI HOUSING AUTHORITY

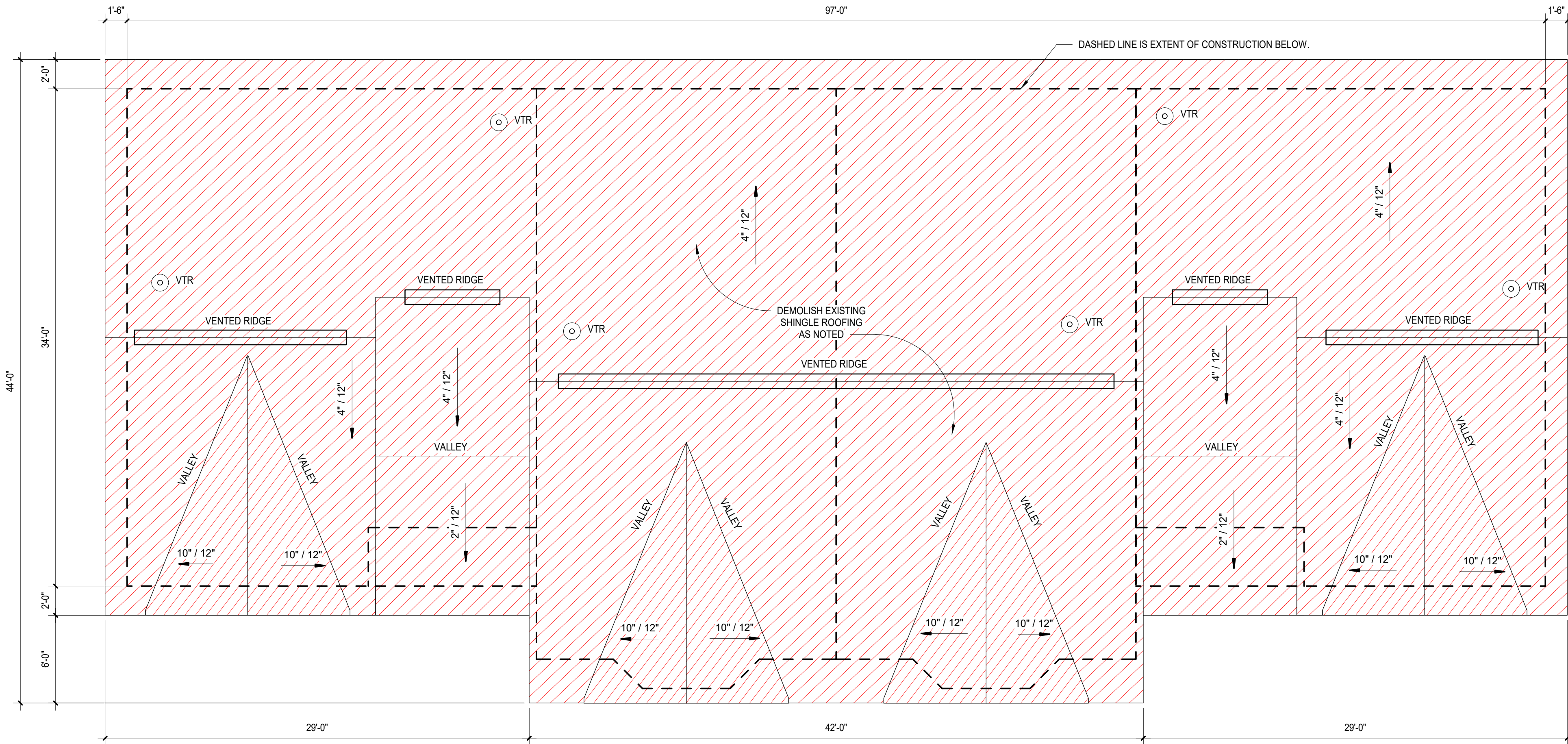
330 BENACHI AVENUE BILOXI, MS 39530

alred stolarski architects

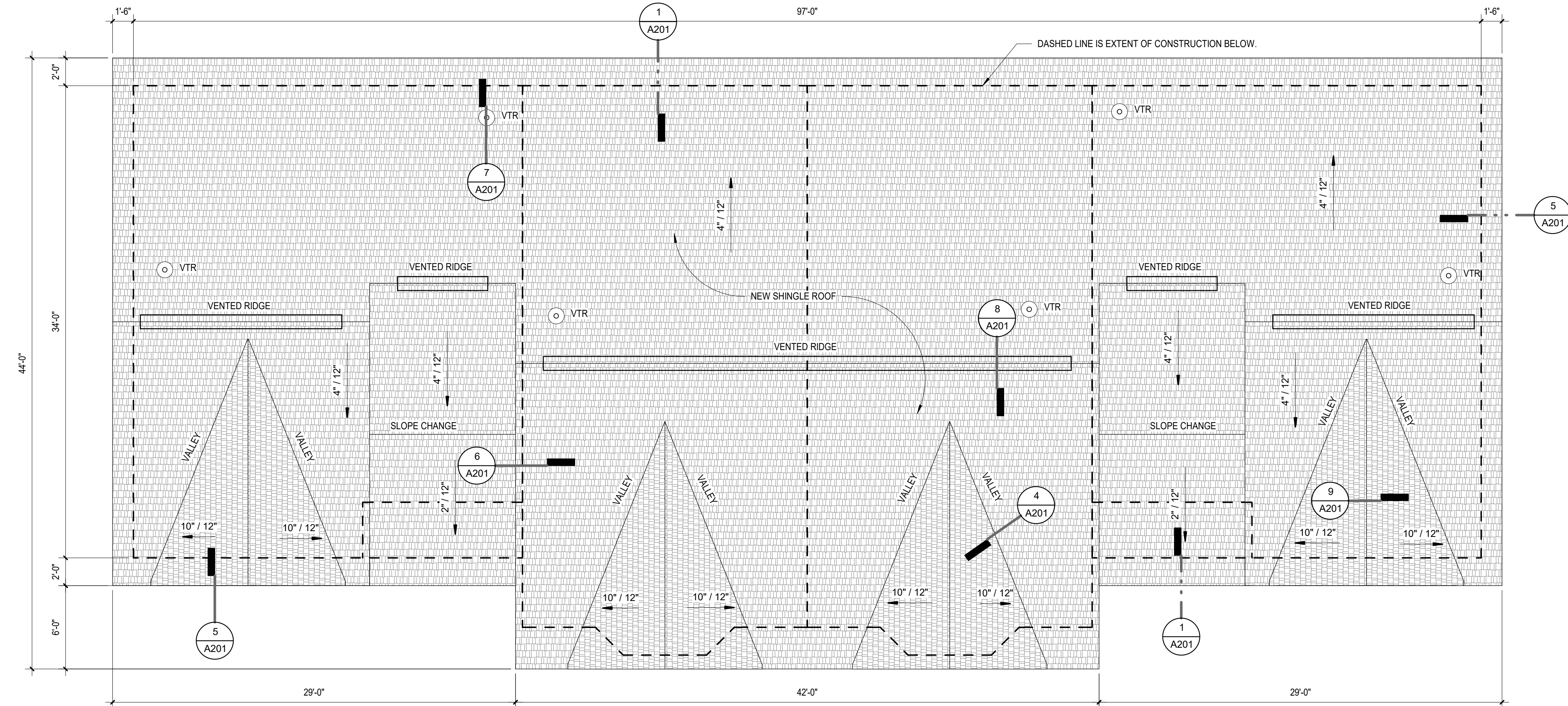
711 Church Street  
Ocean Springs, MS 39564

Phone: (228) 762-1975  
Email: [contact@alredstolarski.com](mailto:contact@alredstolarski.com)





1 BUILDINGS #1, 2, & 24 - DEMOLITION PLAN  
3/16" = 1'-0"



2 BUILDINGS #1, 2, & 24 - REROOF PLAN  
3/16" = 1'-0"

### SCOPE OF WORK BUILDINGS #1, 2, & 24 - DEMOLITION NOTES

- DEMOLITION SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
  - CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE ROOFING MATERIAL.
  - CONTRACTOR SHALL DEMOLISH ALL EXISTING UNDERLAYMENTS. CONTRACTOR SHALL DEMOLISH ALL PIPE BOOTS, CRICKETS AND OTHER PENETRATION FLASHINGS.
  - CONTRACTOR SHALL RETAIN IN PLACE ALL EXISTING VTR'S.
  - CONTRACTOR SHALL DEMOLISH ALL METAL EAVE AND RAKE TRIM.
  - CONTRACTOR SHALL DEMOLISH ALL FLASHINGS AND COUNTER FLASHINGS NOT OTHERWISE NOTED TO REMAIN. EXISTING STEPPED THRU-WALL FLASHING SHALL REMAIN IN PLACE AND SHALL BE REUSED.
  - CONTRACTOR SHALL DEMOLISH 5% OF THE EXISTING 5/8" CDX ROOF DECK. AREAS TO BE DEMOLISHED WILL BE DETERMINED BY THE ARCHITECT IN THE FIELD.
  - CONTRACTOR SHALL PREPARE THE DECK FOR NEW WORK.
- BUILDING #1 SHALL HAVE PRIORITY IN WORK SCHEDULING.

### LEGEND

- DEMOLITION MARK
- NEW SHINGLES
- VENTED RIDGE
- VTR - EXISTING VENT THRU ROOF TO REMAIN. PROVIDE NEW BOOT.
- FLUE - EXISTING FLUE WITH COWL TO REMAIN IN PLACE. PROVIDE NEW BOOT.
- EF - EXHAUST FAN - EXISTING DEMOLISH & REPLACE WITH NEW IN SAME LOCATION. REUSE CURB.

### SCOPE OF WORK BUILDINGS #1, 2, & 24 - REROOF NOTES

- REROOF SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW 5/8" CDX ROOF DECK OVER 5% OF THE EXISTING DECK AREA, WHERE EXISTING DECK HAS BEEN DEMOLISHED.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW UNDERLAYMENT AS SPECIFIED AND DETAILED.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW FLASHING AT VTR'S.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW ROOF SHINGLES AS SPECIFIED AND DETAILED.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW METAL RAKE AND EAVE TRIM.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW COUNTERFLASHING / THRU-WALL FLASHING.
- BUILDING #1 SHALL HAVE PRIORITY IN WORK SCHEDULING.

BUILDINGS #1, 2, & 24 - DEMOLITION &  
REROOF PLANS

IFB#RRP03.21 BHA ROOF REPLACEMENT PROJECT - HURRICANE  
ZETA REPAIRS - VOLUME 3 - GULF SHORE VILLAS

BILOXI HOUSING AUTHORITY  
330 BENACHI AVENUE BILOXI, MS 39530

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2021-23  
DATE  
02/28/2021  
REVISED  
DRAWN BY  
SCN  
CHECKED BY  
HA



SHEET

A101

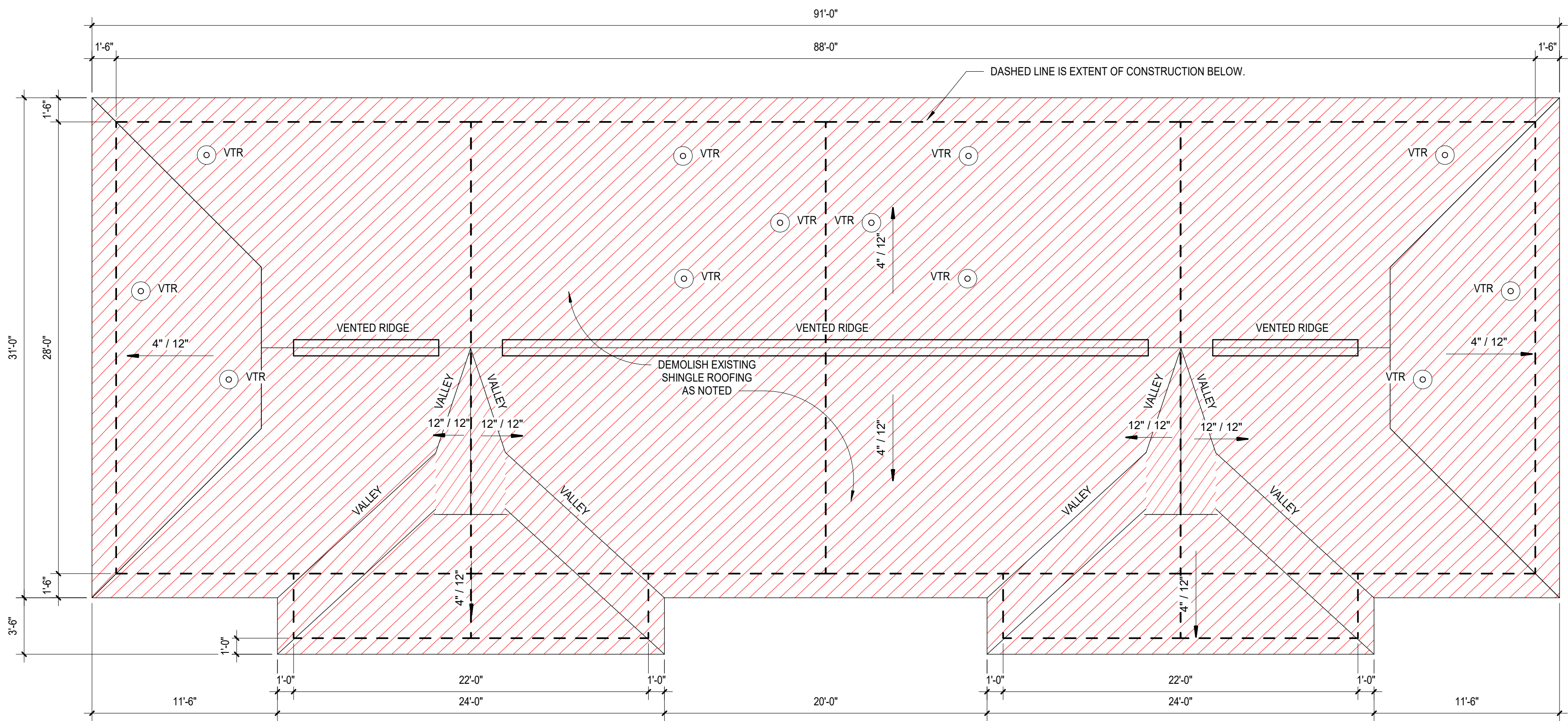
711 Church Street  
Ocean Springs, MS 39564

alred  
stolarski  
architects

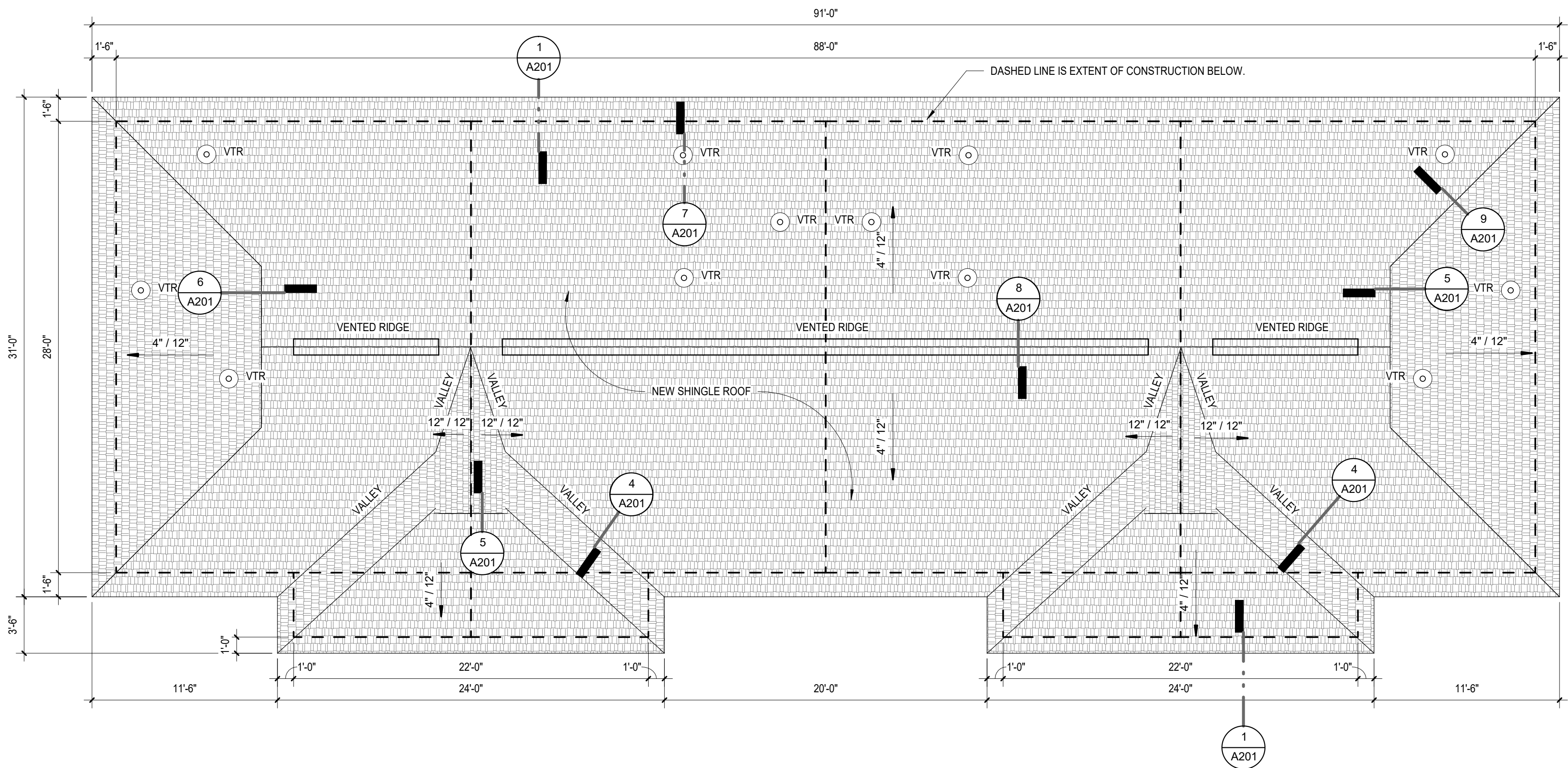
Phone: (228) 762-1975  
Email: [contact@alredstolarski.com](mailto:contact@alredstolarski.com)



1 BUILDINGS #3, 12, 18, 21, 22, & 23 - DEMOLITION PLAN  
3/16" = 1'-0"



2 BUILDINGS #3, 12, 18, 21, 22, & 23 - REROOF PLAN  
3/16" = 1'-0"



### SCOPE OF WORK BUILDINGS #3, 12, 18, 21, 22, & 23 - DEMOLITION NOTES

- DEMOLITION SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
  - CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE ROOFING MATERIAL.
  - CONTRACTOR SHALL DEMOLISH ALL EXISTING UNDERLAYMENTS.
  - CONTRACTOR SHALL DEMOLISH ALL PIPE BOOTS, CRICKETS AND OTHER PENETRATION FLASHINGS.
  - CONTRACTOR SHALL RETAIN IN PLACE ALL EXISTING VTR'S.
  - CONTRACTOR SHALL RETAIN IN PLACE ALL GABLE VENTS.
  - CONTRACTOR SHALL DEMOLISH ALL METAL EAVE AND RAKE TRIM.
  - CONTRACTOR SHALL DEMOLISH ALL FLASHINGS AND COUNTER FLASHINGS NOT OTHERWISE NOTED TO REMAIN. EXISTING STEPPED THRU-WALL FLASHING SHALL REMAIN IN PLACE AND SHALL BE REUSED.
  - CONTRACTOR SHALL DEMOLISH 5% OF THE EXISTING 5/8" CDX ROOF DECK. AREAS TO BE DEMOLISHED WILL BE DETERMINED BY THE ARCHITECT IN THE FIELD.
  - CONTRACTOR SHALL PREPARE THE DECK FOR NEW WORK.

### LEGEND

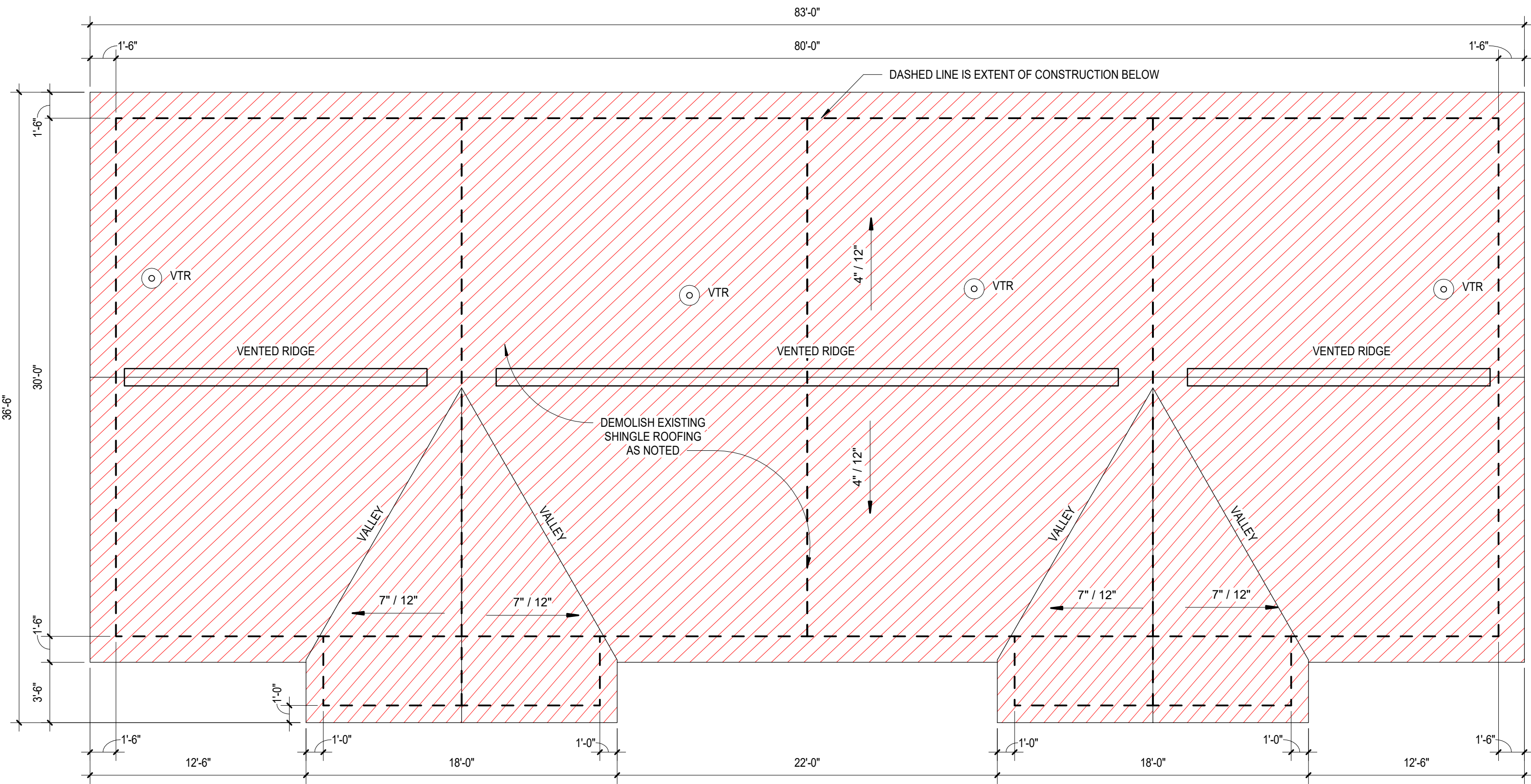
	DEMOLITION MARK
	NEW SHINGLES
	VENTED RIDGE
	VTR - EXISTING VENT THRU ROOF TO REMAIN. PROVIDE NEW BOOT.
	FLUE - EXISTING FLUE WITH COWL TO REMAIN IN PLACE. PROVIDE NEW BOOT.
	E.F. EXHAUST FAN - EXISTING DEMOLISH & REPLACE WITH NEW IN SAME LOCATION- REUSE CURB.

### SCOPE OF WORK BUILDINGS #3, 12, 18, 21, 22, & 23 - REROOF NOTES

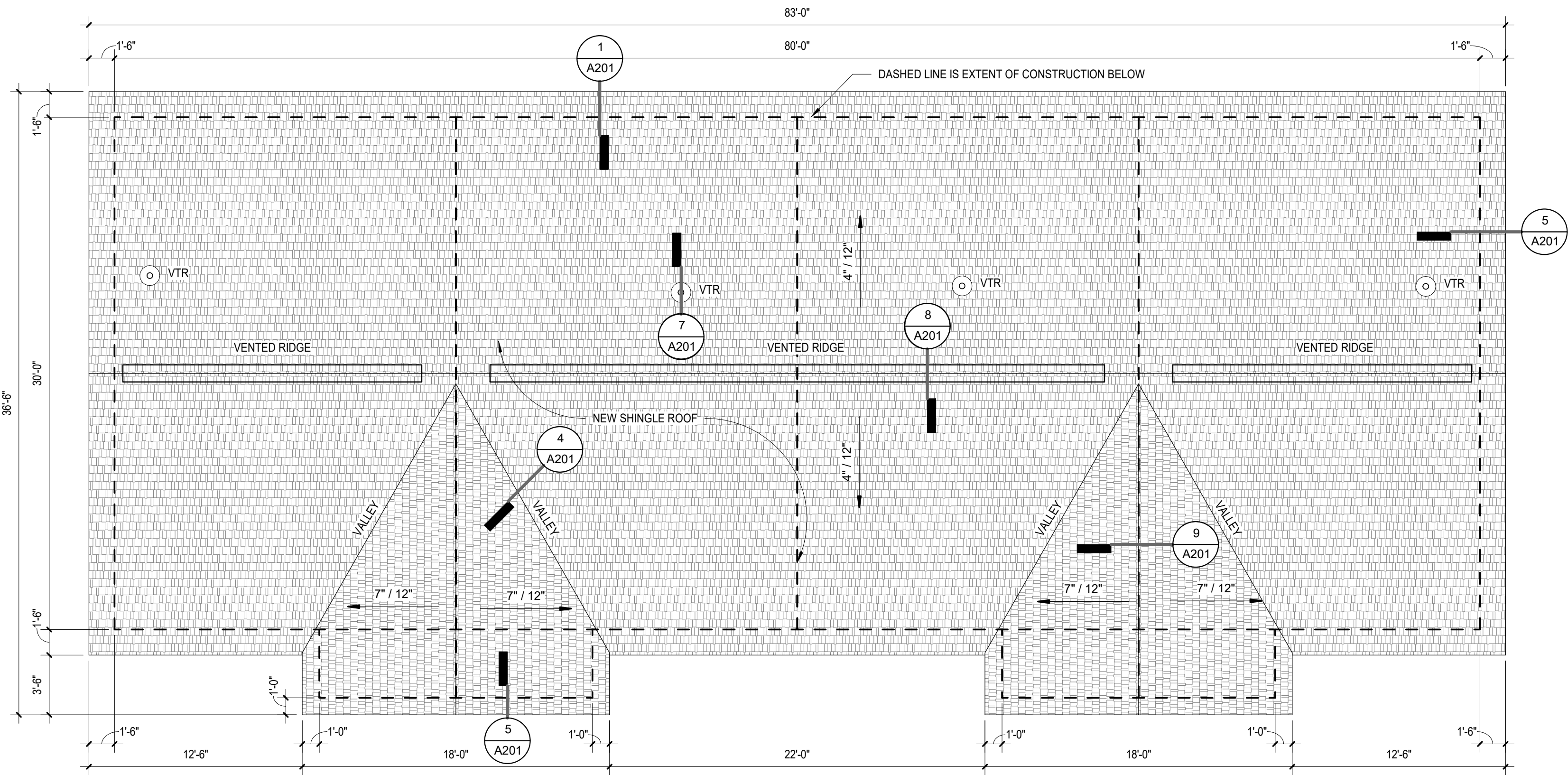
- REROOF SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW 5/8" CDX ROOF DECK OVER 5% OF THE EXISTING DECK AREA, WHERE EXISTING DECK HAS BEEN DEMOLISHED.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW UNDERLAYMENT AS SPECIFIED AND DETAILED.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW FLASHING AT VTR'S.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW ROOF SHINGLES AS SPECIFIED AND DETAILED.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW METAL RAKE AND EAVE TRIM.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW COUNTERFLASHING / THRU-WALL FLASHING.







1 BUILDINGS #4, 9, 11, & 17 - DEMOLITION PLAN  
3/16" = 1'-0"



2 BUILDINGS #4, 9, 11, & 17 - REROOF PLAN  
3/16" = 1'-0"

### SCOPE OF WORK BUILDINGS #4, 9, 11, & 17 - DEMOLITION NOTES

- DEMOLITION SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
  - CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE ROOFING MATERIAL.
  - CONTRACTOR SHALL DEMOLISH ALL EXISTING UNDERLAYMENTS.
  - CONTRACTOR SHALL DEMOLISH ALL PIPE BOOTS, CRICKETS AND OTHER PENETRATION FLASHINGS.
  - CONTRACTOR SHALL RETAIN IN PLACE ALL EXISTING VTR'S.
  - CONTRACTOR SHALL DEMOLISH ALL METAL EAVE AND RAKE TRIM.
  - CONTRACTOR SHALL DEMOLISH ALL FLASHINGS AND COUNTER FLASHINGS NOT OTHERWISE NOTED TO REMAIN. EXISTING STEPPED THRU-WALL FLASHING SHALL REMAIN IN PLACE AND SHALL BE REUSED.
  - CONTRACTOR SHALL DEMOLISH 5% OF THE EXISTING 5/8" CDX ROOF DECK. AREAS TO BE DEMOLISHED WILL BE DETERMINED BY THE ARCHITECT IN THE FIELD.
  - CONTRACTOR SHALL PREPARE THE DECK FOR NEW WORK.

### LEGEND

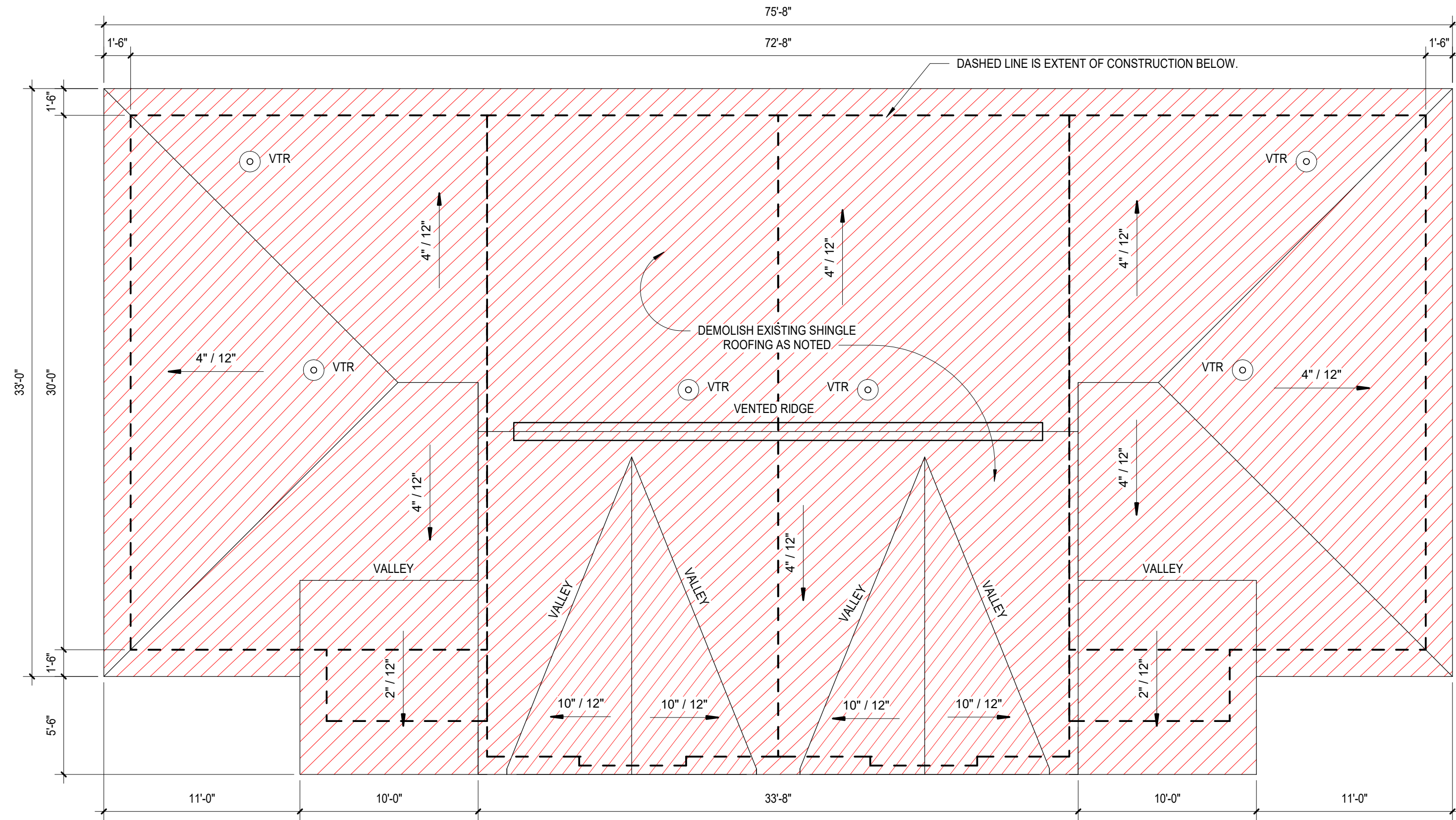
- |  |   |
|--|---|
|  | DEMOLITION MARK   |
|  | NEW SHINGLES  |
|  | VENTED RIDGE  |
|  | VTR - EXISTING VENT THRU ROOF TO REMAIN. PROVIDE NEW BOOT.                            |
|  | FLUE - EXISTING FLUE WITH COWL TO REMAIN IN PLACE. PROVIDE NEW BOOT.                  |
|  | E.F. EXHAUST FAN - EXISTING DEMOLISH & REPLACE WITH NEW IN SAME LOCATION- REUSE CURB. |

### SCOPE OF WORK BUILDINGS #4, 9, 11, & 17 - REROOF NOTES

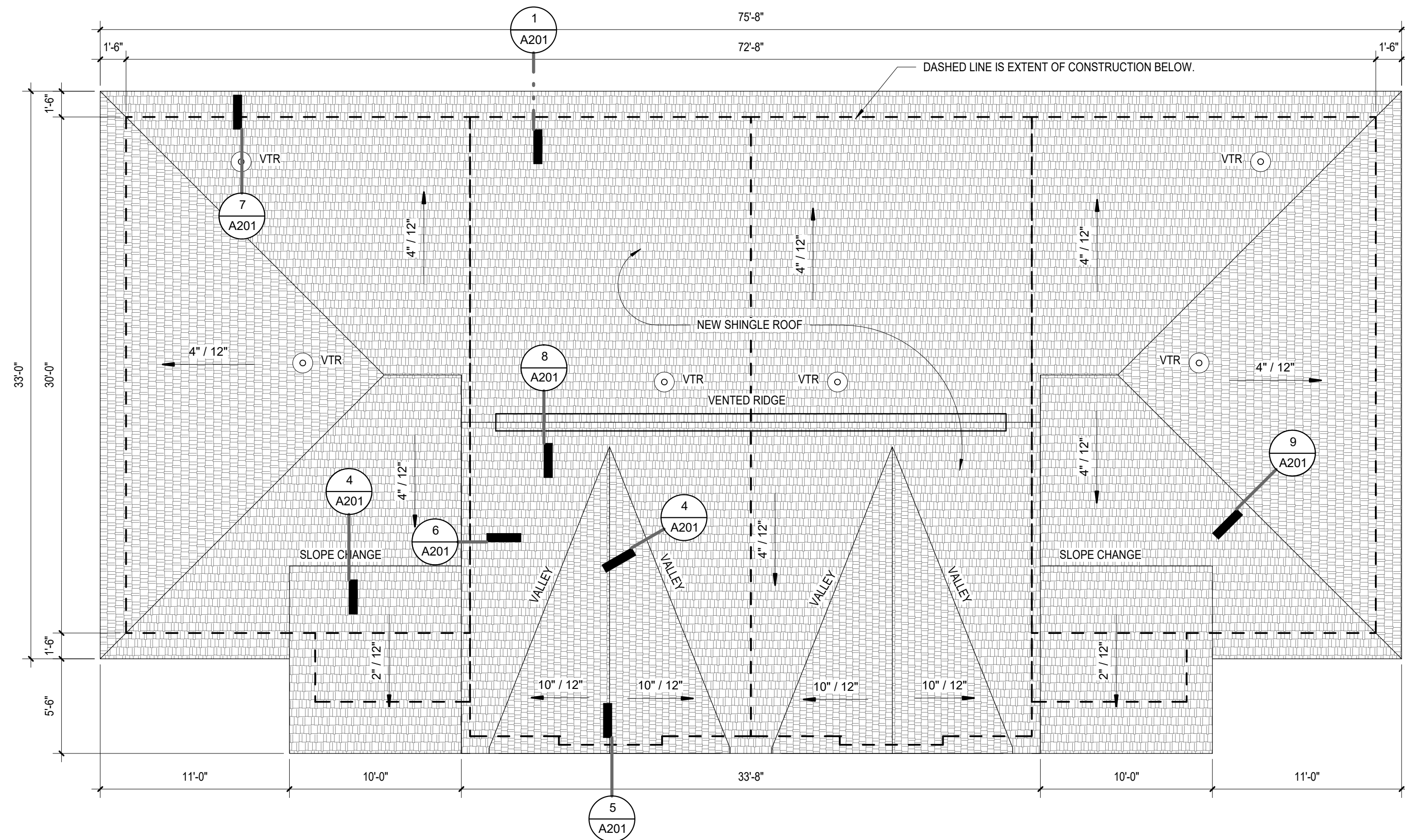
- REROOF SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW 5/8" CDX ROOF DECK OVER 5% OF THE EXISTING DECK AREA. WHERE EXISTING DECK HAS BEEN DEMOLISHED.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW UNDERLAYMENT AS SPECIFIED AND DETAILED.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW FLASHING AT VTR'S.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW ROOF SHINGLES AS SPECIFIED AND DETAILED.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW METAL RAKE AND EAVE TRIM.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW COUNTERFLASHING / THRU-WALL FLASHING.







1 BUILDINGS #5, 6, 7, 8, 13, & 14 - DEMOLITION PLAN  
3/16" = 1'-0"



2 BUILDINGS #5, 6, 7, 8, 13, & 14 - REROOF PLAN  
3/16" = 1'-0"

### SCOPE OF WORK BUILDINGS #4, 9, 11, & 17 - DEMOLITION NOTES

- DEMOLITION SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
  - CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE ROOFING MATERIAL.
  - CONTRACTOR SHALL DEMOLISH ALL EXISTING UNDERLAYMENTS.
  - CONTRACTOR SHALL DEMOLISH ALL PIPE BOOTS, CRICKETS AND OTHER PENETRATION FLASHINGS.
  - CONTRACTOR SHALL RETAIN IN PLACE ALL EXISTING VTR'S.
  - CONTRACTOR SHALL RETAIN IN PLACE ALL GABLE VENTS.
  - CONTRACTOR SHALL DEMOLISH ALL METAL EAVE AND RAKE TRIM.
  - CONTRACTOR SHALL DEMOLISH ALL FLASHINGS AND COUNTER FLASHINGS NOT OTHERWISE NOTED TO REMAIN. EXISTING STEPPED THRU-WALL FLASHING SHALL REMAIN IN PLACE AND SHALL BE REUSED.
  - CONTRACTOR SHALL DEMOLISH 5% OF THE EXISTING 5/8" CDX ROOF DECK. AREAS TO BE DEMOLISHED WILL BE DETERMINED BY THE ARCHITECT IN THE FIELD.
  - CONTRACTOR SHALL PREPARE THE DECK FOR NEW WORK.

### LEGEND

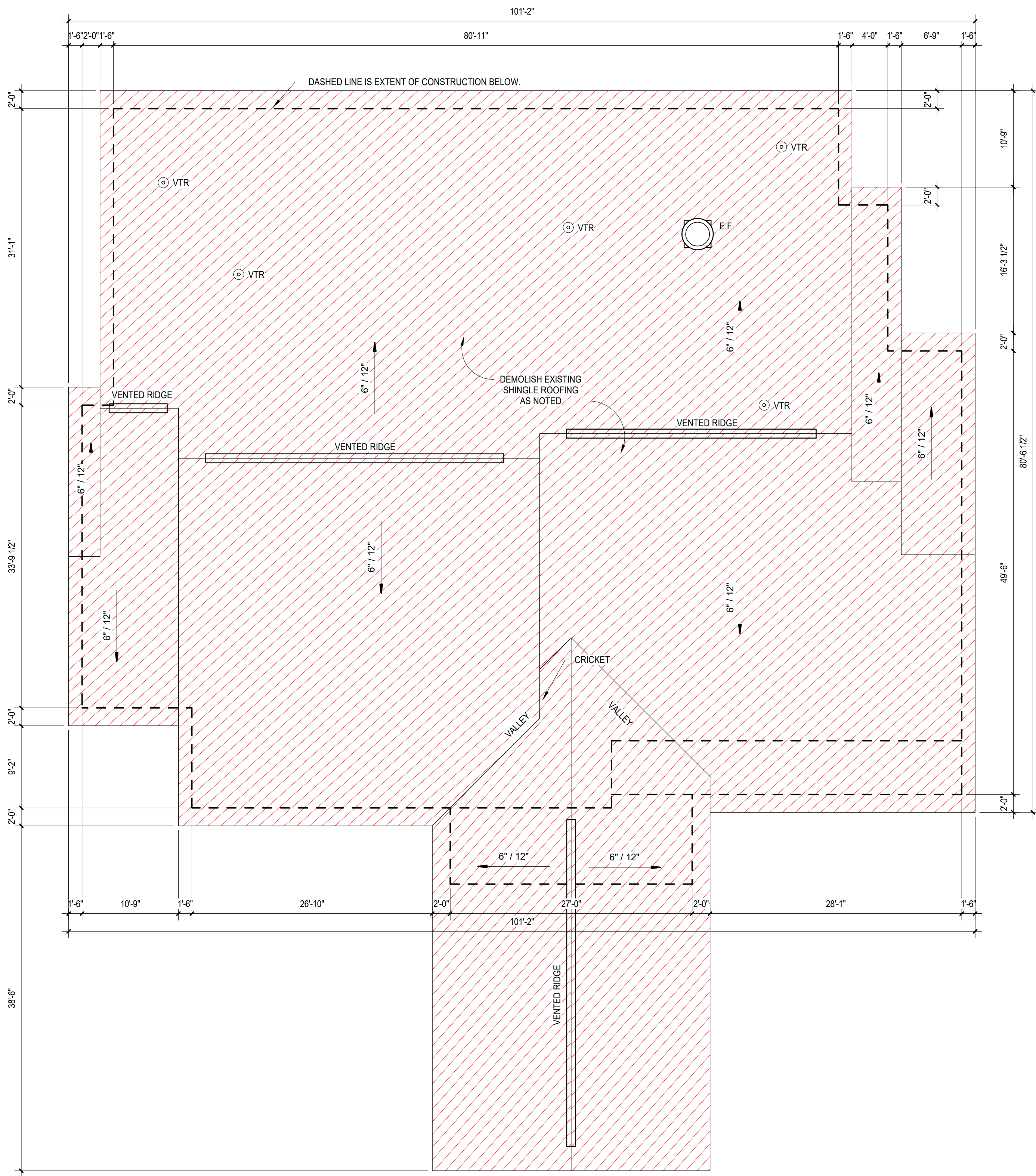
- |  |  |
|--|--|
|  | DEMOLITION MARK  |
|  | NEW SHINGLES   |
|  | VENTED RIDGE   |
|  | VTR - EXISTING VENT THRU ROOF TO REMAIN. PROVIDE NEW BOOT.                       |
|  | FLUE - EXISTING FLUE WITH COWL TO REMAIN IN PLACE. PROVIDE NEW BOOT.             |
|  | EXHAUST FAN - EXISTING DEMOLISH & REPLACE WITH NEW IN SAME LOCATION- REUSE CURB. |

### SCOPE OF WORK BUILDINGS #4, 9, 11, & 17 - REROOF NOTES

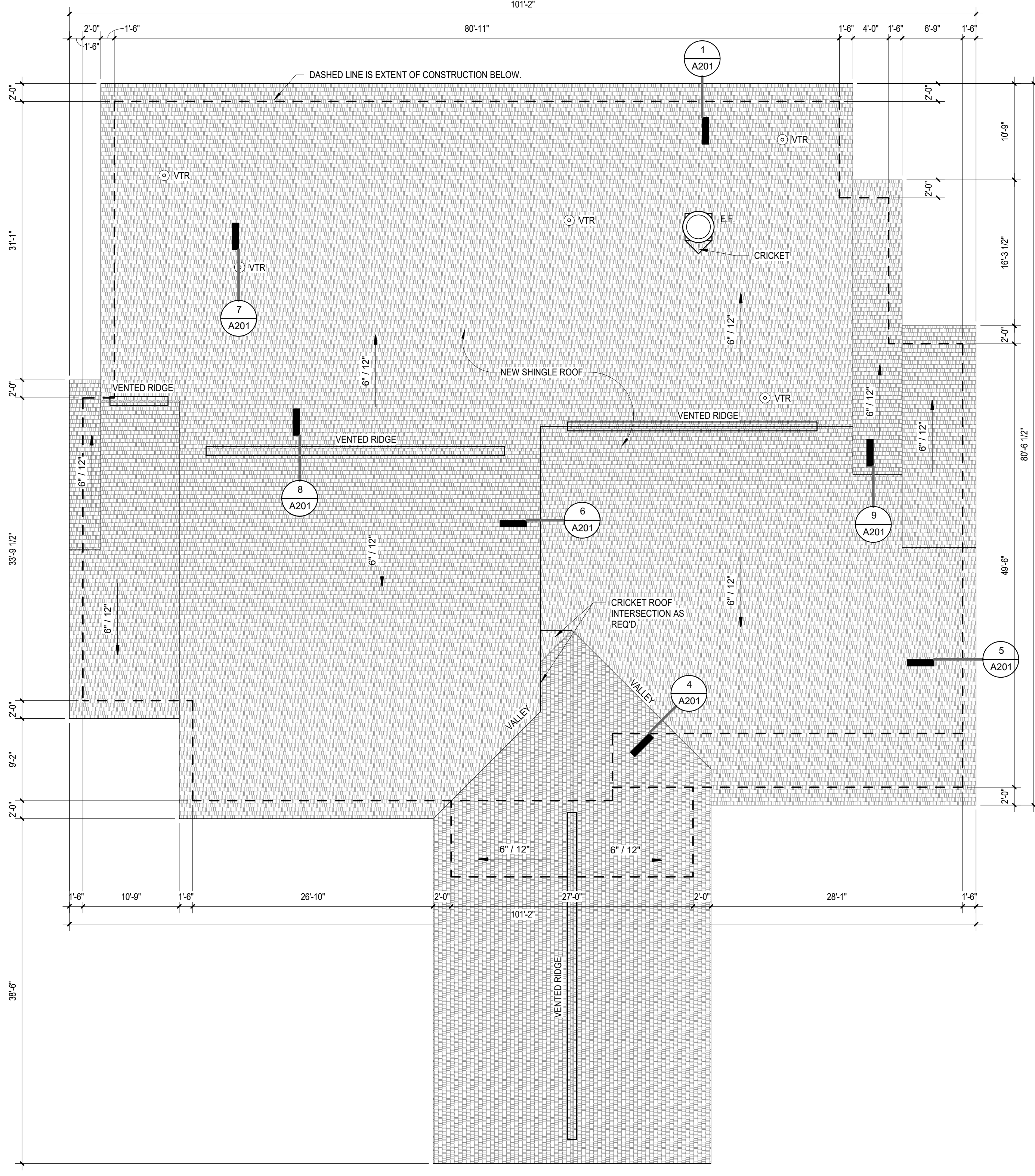
- REROOF SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW 5/8" CDX ROOF DECK OVER 5% OF THE EXISTING DECK AREA, WHERE EXISTING DECK HAS BEEN DEMOLISHED.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW UNDERLAYMENT AS SPECIFIED AND DETAILED.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW FLASHING AT VTR'S.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW ROOF SHINGLES AS SPECIFIED AND DETAILED.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW METAL RAKE AND EAVE TRIM.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW COUNTERFLASHING / THRU-WALL FLASHING.







1 BUILDING #10 - DEMOLITION PLAN  
1/8" = 1'-0"

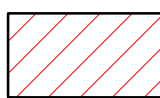


2 BUILDING #10 - REROOF PLAN  
1/8" = 1'-0"

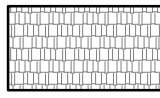
#### SCOPE OF WORK BUILDING #10 - DEMOLITION NOTES

- DEMOLITION SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
  - CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE ROOFING MATERIAL.
  - CONTRACTOR SHALL DEMOLISH ALL EXISTING UNDERLAYMENTS.
  - CONTRACTOR SHALL DEMOLISH ALL PIPE BOOTS, CRICKETS AND OTHER PENETRATION FLASHINGS.
  - CONTRACTOR SHALL DEMOLISH ALL EXHAUST FAN, THEN PREP THE ROOF OPENING FOR A NEW FAN.
  - CONTRACTOR SHALL RETAIN IN PLACE ALL EXISTING VTR'S.
  - CONTRACTOR SHALL DEMOLISH ALL METAL EAVE AND RAKE TRIM.
  - CONTRACTOR SHALL DEMOLISH ALL FLASHINGS AND COUNTER FLASHINGS NOT OTHERWISE NOTED TO REMAIN. EXISTING STEPPED THRU-WALL FLASHING SHALL REMAIN IN PLACE AND SHALL BE REUSED.
  - CONTRACTOR SHALL DEMOLISH 5% OF THE EXISTING 5/8" CDX ROOF DECK. AREAS TO BE DEMOLISHED WILL BE DETERMINED BY THE ARCHITECT IN THE FIELD.
  - CONTRACTOR SHALL PREPARE THE DECK FOR NEW WORK.

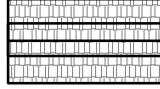
#### LEGEND



DEMOLITION MARK



NEW SHINGLES



VENTED RIDGE



VTR - EXISTING VENT THRU ROOF TO REMAIN. PROVIDE NEW BOOT.



FLUE - EXISTING FLUE WITH COWL TO REMAIN IN PLACE. PROVIDE NEW BOOT.

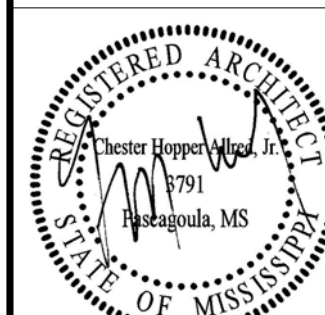


EXHAUST FAN - EXISTING DEMOLISH & REPLACE WITH NEW IN SAME LOCATION- REUSE CURB.

#### SCOPE OF WORK BUILDING #10 - REROOF NOTES

- REROOF SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW 5/8" CDX ROOF DECK OVER 5% OF THE EXISTING DECK AREA, WHERE EXISTING DECK HAS BEEN DEMOLISHED.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW UNDERLAYMENT AS SPECIFIED AND DETAILED.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW TURTLE VENTS IN LOCATIONS DRAWN.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW FLASHING AT GAS FLUES AND VTR'S.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW ROOF SHINGLES AS SPECIFIED AND DETAILED.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW RAKE AND EAVE TRIM.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW COUNTERFLASHING / THRU-WALL FLASHING.

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**BUILDING 10 - DEMOLITION & REROOF PLANS**  
IFB#RRP03.21 BHA ROOF REPLACEMENT PROJECT - HURRICANE ZETA REPAIRS - VOLUME 3 - GULF SHORE VILLAS

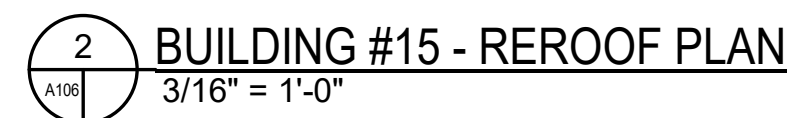
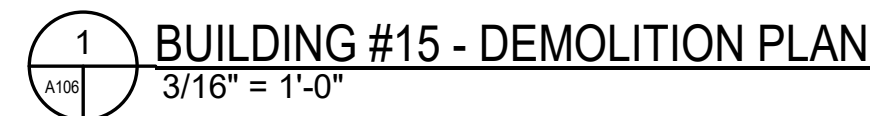
711 Church Street  
Ocean Springs, MS 39564

**alred stolarski architects**

BILOXI HOUSING AUTHORITY  
330 BENACHI AVENUE BILOXI, MS 39530

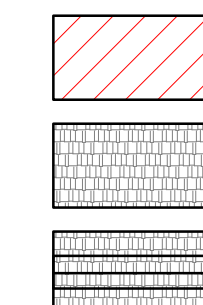
Phone: (228) 762-1975  
Email: [contact@alredstolarski.com](mailto:contact@alredstolarski.com)





1. DEMOLITION SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
  - A. CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE ROOFING MATERIAL.
  - B. CONTRACTOR SHALL DEMOLISH ALL EXISTING UNDERLAYMENTS.
  - C. CONTRACTOR SHALL DEMOLISH ALL PIPE BOOTS, CRICKETS AND OTHER PENETRATION FLASHINGS.
  - D. CONTRACTOR SHALL RETAIN IN PLACE ALL EXISTING VTR'S.
  - E. CONTRACTOR SHALL DEMOLISH ALL METAL EAVE AND RAKE TRIM.
  - F. CONTRACTOR SHALL DEMOLISH ALL FLASHINGS AND COUNTER FLASHINGS NOT OTHERWISE NOTED TO REMAIN. EXISTING STEPPED THRU-WALL FLASHING SHALL REMAIN IN PLACE AND SHALL BE REUSE.
  - G. CONTRACTOR SHALL DEMOLISH 5% OF THE EXISTING 5/8" CDX ROOF DECK. AREAS TO BE DEMOLISHED WILL BE DETERMINED BY THE ARCHITECT IN THE FIELD.
  - H. CONTRACTOR SHALL PREPARE THE DECK FOR NEW WORK.

### LEGEND






DEMOLITION MARK

NEW SHINGLES

VENTED RIDGE

**MECHANICAL**

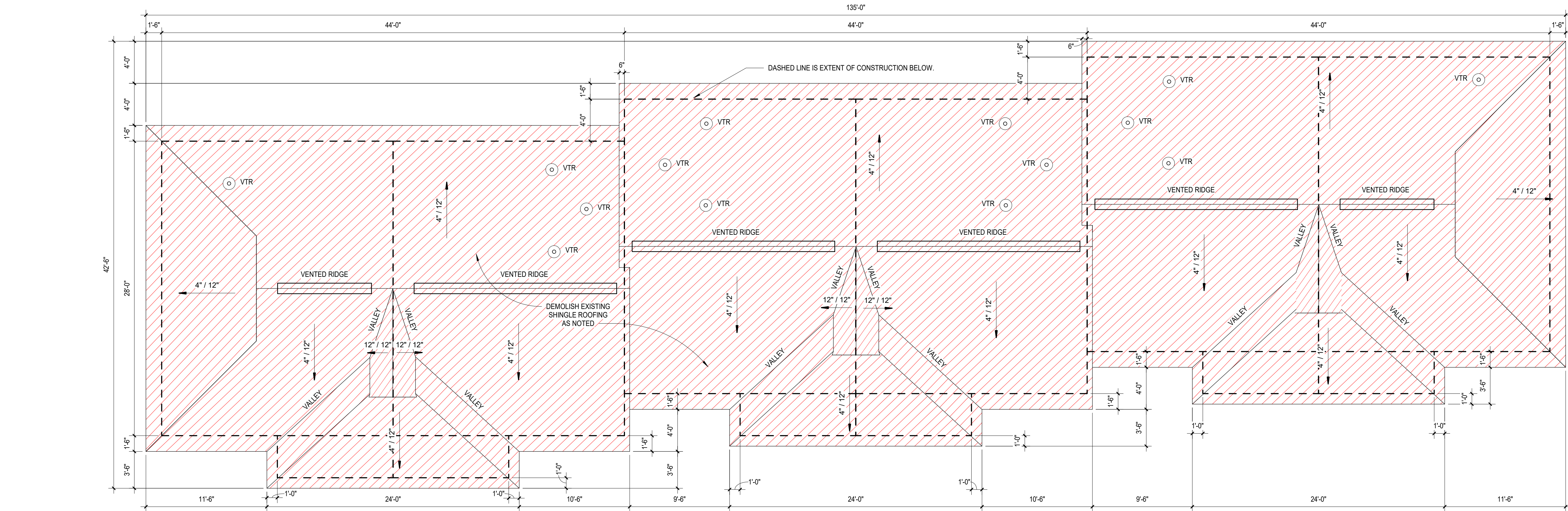
	VTR	VTR - EXISTING VENT THRU ROOF TO REMAIN. PROVIDE NEW BOOT.
	FLUE	FLUE - EXISTING FLUE WITH COWL TO REMAIN IN PLACE. PROVIDE NEW BOOT.
	E.F.	EXHAUST FAN - EXISTING DEMOLISH & REPLACE WITH NEW IN SAME LOCATION- REUSE CURB.

## SCOPE OF WORK BUILDING #15 - REROOF NOTES

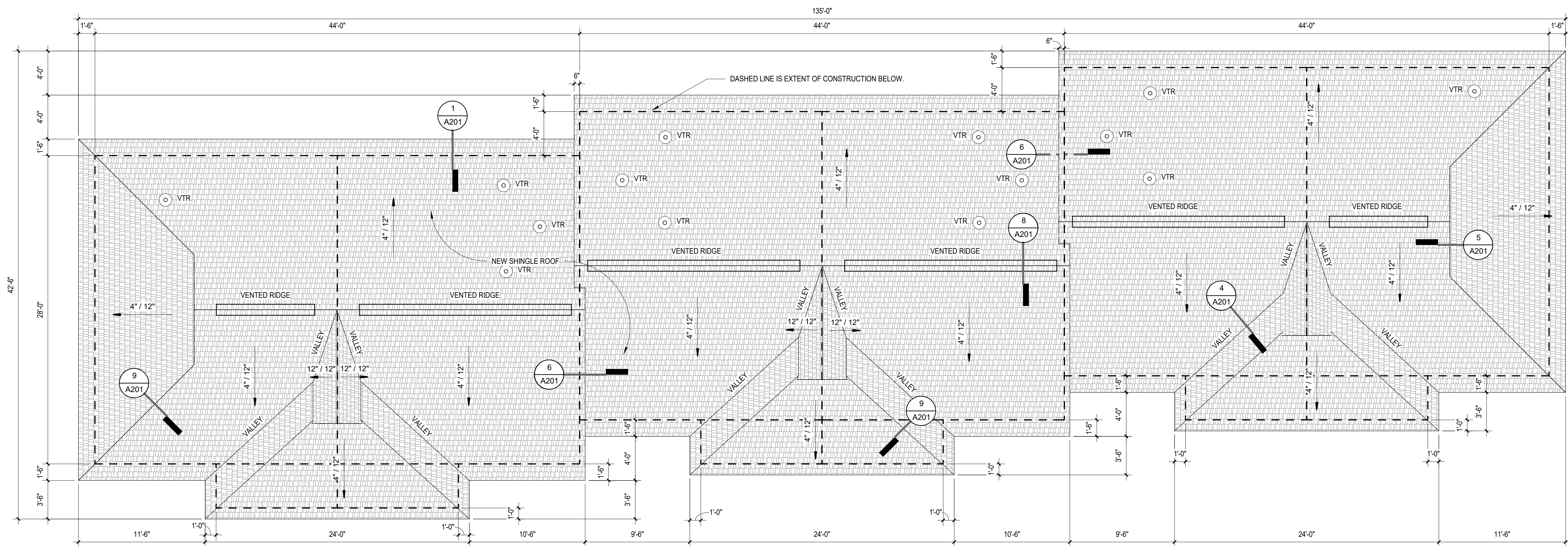
1. REROOF SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
  - A. CONTRACTOR SHALL PROVIDE AND INSTALL NEW 5/8" CDX ROOF DECK OVER 5% OF THE EXISTING DECK AREA, WHERE EXISTING DECK HAS BEEN DAMAGED.
  - B. CONTRACTOR SHALL PROVIDE AND INSTALL NEW UNDERLAYMENT AS SPECIFIED AND DETAILED.
  - C. CONTRACTOR SHALL PROVIDE AND INSTALL NEW FLASHING AT VTRS.
  - D. CONTRACTOR SHALL PROVIDE AND INSTALL NEW ROOF SHINGLES AS SPECIFIED AND DETAILED.
  - E. CONTRACTOR SHALL PROVIDE AND INSTALL NEW METAL RAKE AND EAVE TRIM.
  - F. CONTRACTOR SHALL PROVIDE AND INSTALL NEW COUNTERFLASHING / THRU-WALL FLASHING.





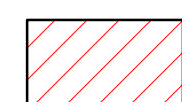
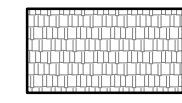
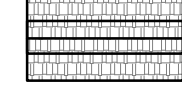
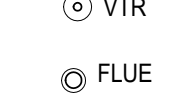




**1 BUILDING #16 - DEMOLITION PLAN**  
3/16" = 1'-0"



**2 BUILDING #16 - REROOF PLAN**  
3/16" = 1'-0"

**LEGEND**

-  DEMOLITION MARK
-  NEW SHINGLES
-  VENTED RIDGE
-  VTR - EXISTING VENT THRU ROOF TO REMAIN, PROVIDE NEW BOOT.
-  FLUE - EXISTING FLUE WITH COWL TO REMAIN IN PLACE. PROVIDE NEW BOOT.
-  E.F. - EXHAUST FAN - EXISTING DEMOLISH & REPLACE WITH NEW IN SAME LOCATION. REUSE CURB.

**SCOPE OF WORK BUILDING #16 - DEMOLITION NOTES**

1. DEMOLITION SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
  - A. CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE ROOFING MATERIAL.
  - B. CONTRACTOR SHALL DEMOLISH ALL EXISTING UNDERLAYMENTS.
  - C. CONTRACTOR SHALL DEMOLISH ALL PIPE BOOTS, CRICKETS AND OTHER PENETRATION FLASHINGS.
  - D. CONTRACTOR SHALL RETAIN IN PLACE ALL EXISTING VTR'S.
  - E. CONTRACTOR SHALL RETAIN IN PLACE ALL GABLE VENTS.
  - F. CONTRACTOR SHALL DEMOLISH ALL METAL EAVE AND RAKE TRIM.
  - G. CONTRACTOR SHALL DEMOLISH ALL FLASHINGS AND COUNTER FLASHINGS NOT OTHERWISE NOTED TO REMAIN. EXISTING STEPPED THRU-WALL FLASHING SHALL REMAIN IN PLACE AND SHALL BE REUSED.
  - H. CONTRACTOR SHALL DEMOLISH 5% OF THE EXISTING 5/8" CDX ROOF DECK. AREAS TO BE DEMOLISHED WILL BE DETERMINED BY THE ARCHITECT IN THE FIELD.
  - I. CONTRACTOR SHALL PREPARE THE DECK FOR NEW WORK.

**SCOPE OF WORK BUILDING #16 - REROOF NOTES**

1. REROOF SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
  - A. CONTRACTOR SHALL PROVIDE AND INSTALL NEW 5/8" CDX ROOF DECK OVER 5% OF THE EXISTING DECK AREA, WHERE EXISTING DECK HAS BEEN DEMOLISHED.
  - B. CONTRACTOR SHALL PROVIDE AND INSTALL NEW UNDERLAYMENT AS SPECIFIED AND DETAILED.
  - C. CONTRACTOR SHALL PROVIDE AND INSTALL NEW FLASHING AT VTR'S.
  - D. CONTRACTOR SHALL PROVIDE AND INSTALL NEW ROOF SHINGLES AS SPECIFIED AND DETAILED.
  - E. CONTRACTOR SHALL PROVIDE AND INSTALL NEW RAKE AND EAVE TRIM.
  - F. CONTRACTOR SHALL PROVIDE AND INSTALL NEW COUNTERFLASHING / THRU-WALL FLASHING.

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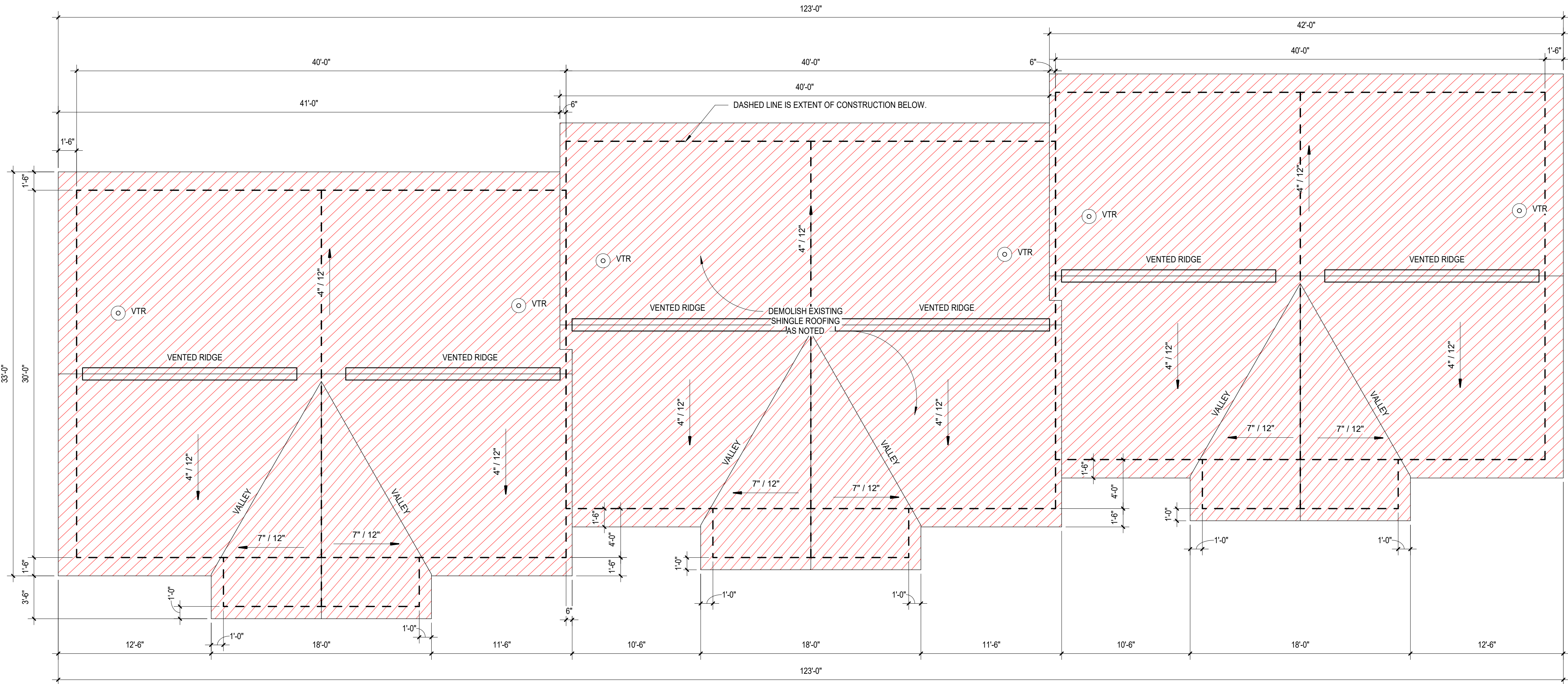
**BUILDING #16 - DEMOLITION & REROOF PLANS**  
IFB#RRR03.21 BHA ROOF REPLACEMENT PROJECT - HURRICANE ZETA REPAIRS - VOLUME 3 - GULF SHORE VILLAS  
BILOXI HOUSING AUTHORITY  
330 BENACHI AVENUE BILOXI, MS 39530

**alred stolarski architects**

711 Church Street  
Ocean Springs, MS 39564

Phone: (228) 762-1975  
Email: [contact@alredstolarski.com](mailto:contact@alredstolarski.com)





1 BUILDING #19 - DEMOLITON PLAN  
3/16" = 1'-0"

### SCOPE OF WORK BUILDING #19 DEMOLITION NOTES

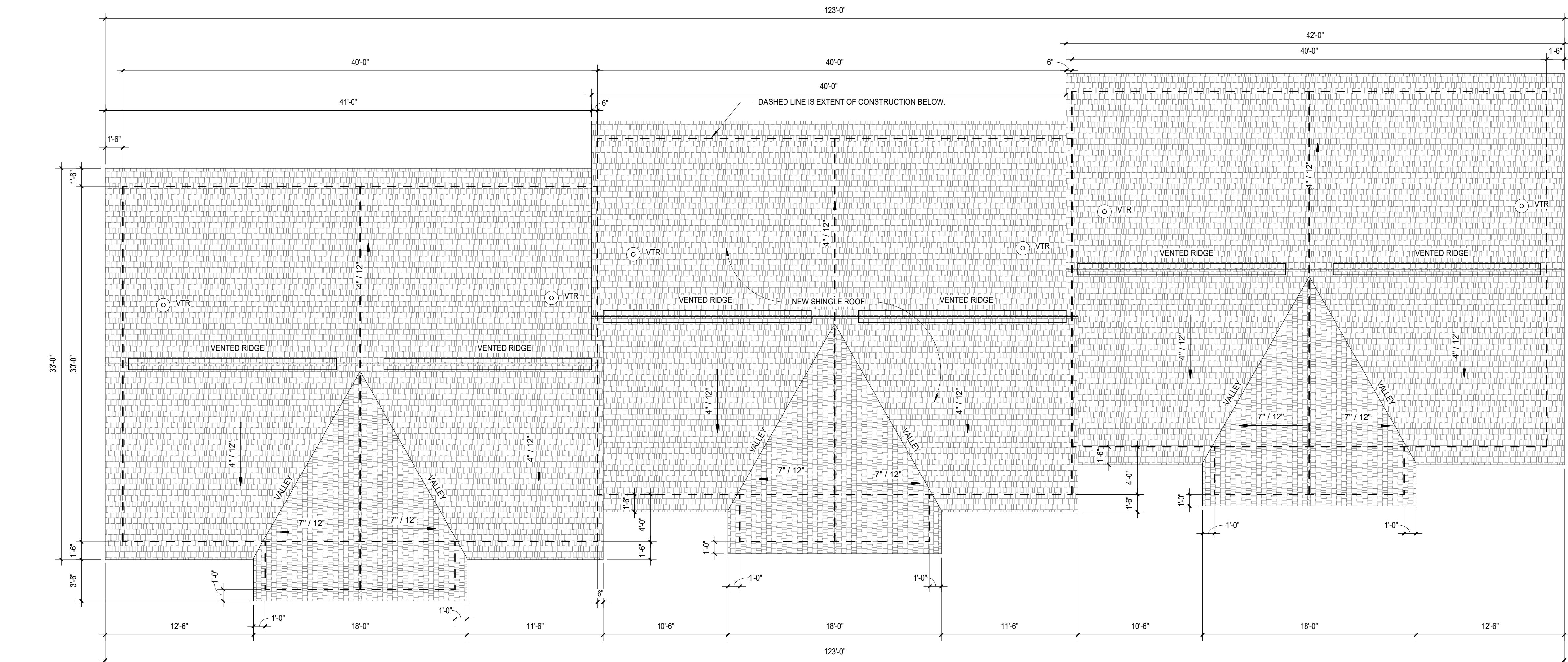
- DEMOLITION SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
  - CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE ROOFING MATERIAL.
  - CONTRACTOR SHALL DEMOLISH ALL EXISTING UNDERLAYMENTS.
  - CONTRACTOR SHALL DEMOLISH ALL PIPE BOOTS, CRICKETS AND OTHER PENETRATION FLASHINGS.
  - CONTRACTOR SHALL RETAIN IN PLACE ALL EXISTING VTR'S.
  - CONTRACTOR SHALL RETAIN IN PLACE ALL GABLE VENTS.
  - CONTRACTOR SHALL DEMOLISH ALL METAL EAVE AND RAKE TRIM.
  - CONTRACTOR SHALL DEMOLISH ALL FLASHINGS AND COUNTER FLASHINGS NOT OTHERWISE NOTED TO REMAIN. EXISTING STEPPED THRU-WALL FLASHING SHALL REMAIN IN PLACE AND SHALL BE REUSED.
  - CONTRACTOR SHALL DEMOLISH 5% OF THE EXISTING 5/8" CDX ROOF DECK. AREAS TO BE DEMOLISHED WILL BE DETERMINED BY THE ARCHITECT IN THE FIELD.
  - CONTRACTOR SHALL PREPARE THE DECK FOR NEW WORK.

### LEGEND

- |  |   |
|--|---|
|  | DEMOLITION MARK   |
|  | NEW SHINGLES  |
|  | VENTED RIDGE  |
|  | VTR - EXISTING VENT THRU ROOF TO REMAIN. PROVIDE NEW BOOT.                            |
|  | FLUE - EXISTING FLUE WITH COWL TO REMAIN IN PLACE. PROVIDE NEW BOOT.                  |
|  | E.F. EXHAUST FAN - EXISTING DEMOLISH & REPLACE WITH NEW IN SAME LOCATION. REUSE CURB. |

### SCOPE OF WORK BUILDING #19 - REROOF NOTES

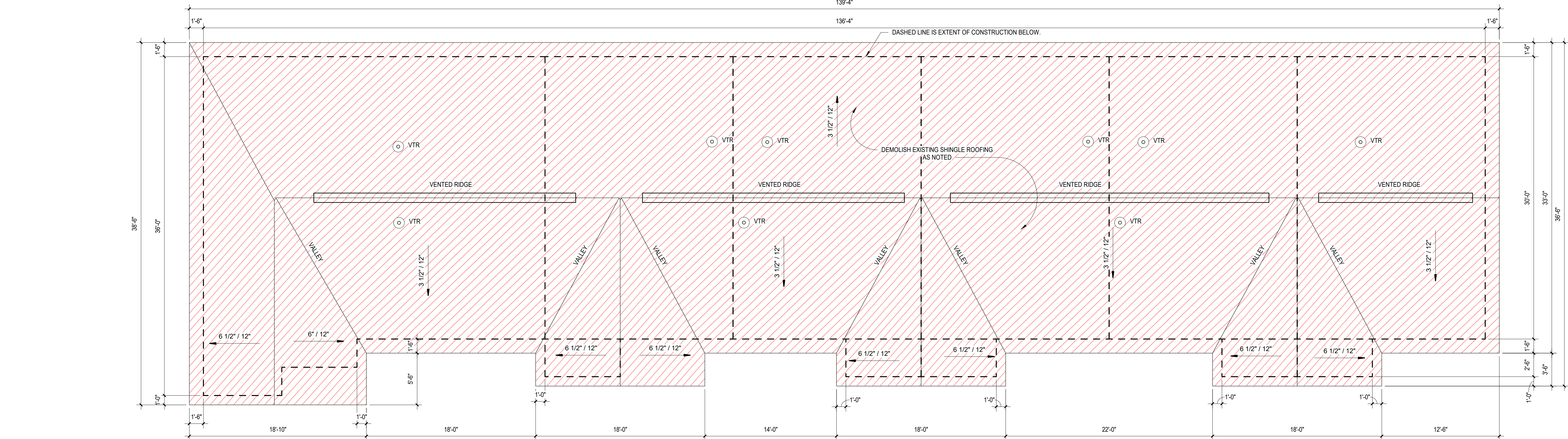
- REROOF SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW 5/8" CDX ROOF DECK OVER 5% OF THE EXISTING DECK AREA, WHERE EXISTING DECK HAS BEEN DEMOLISHED.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW UNDERLAYMENT AS SPECIFIED AND DETAILED.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW FLASHING AT VTR'S.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW ROOF SHINGLES AS SPECIFIED AND DETAILED.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW METAL RAKE AND EAVE TRIM.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW COUNTERFLASHING / THRU-WALL FLASHING.



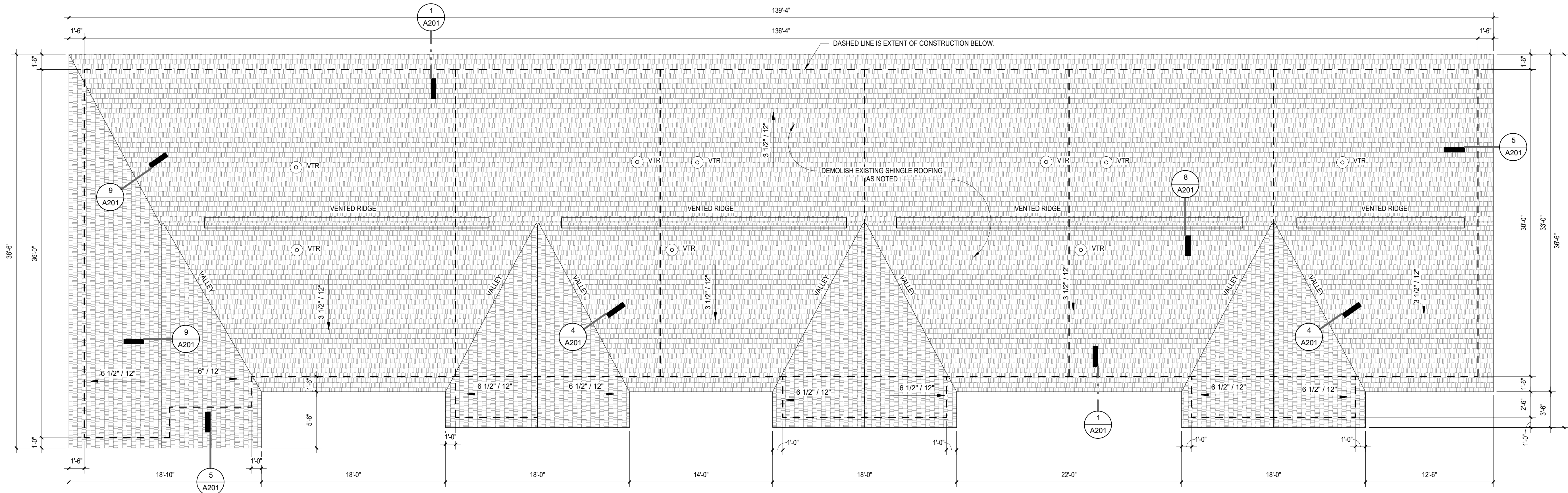
2 BUILDING #19 - REROOF PLAN  
3/16" = 1'-0"







1 BUILDING #20 - DEMOLITION PLAN  
3/16" = 1'-0"



2 BUILDING #20 - REROOF PLAN  
3/16" = 1'-0"

#### LEGEND

- DEMOLITION MARK
- NEW SHINGLES
- VENTED RIDGE

- VTR - EXISTING VENT THRU ROOF TO REMAIN. PROVIDE NEW BOOT.
- FLUE - EXISTING FLUE WITH COWL TO REMAIN IN PLACE. PROVIDE NEW BOOT.
- EXHAUST FAN - EXISTING DEMOLISH & REPLACE WITH NEW IN SAME LOCATION. REUSE CURB.

#### SCOPE OF WORK BUILDING #20 - DEMOLITION NOTES

- DEMOLITION SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
  - CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE ROOFING MATERIAL.
  - CONTRACTOR SHALL DEMOLISH ALL EXISTING UNDERLAYMENTS.
  - CONTRACTOR SHALL DEMOLISH ALL PIPE BOOTS, CRICKETS AND OTHER PENETRATION FLASHINGS.
  - CONTRACTOR SHALL RETAIN IN PLACE ALL EXISTING VTR'S.
  - CONTRACTOR SHALL DEMOLISH ALL METAL EAVE AND RAKE TRIM.
  - CONTRACTOR SHALL DEMOLISH ALL FLASHINGS AND COUNTER FLASHINGS NOT OTHERWISE NOTED TO REMAIN. EXISTING STEPPED THRU-WALL FLASHING SHALL REMAIN IN PLACE AND SHALL BE REUSED.
  - CONTRACTOR SHALL DEMOLISH 5% OF THE EXISTING 5/8" CDX ROOF DECK. AREAS TO BE DEMOLISHED WILL BE DETERMINED BY THE ARCHITECT IN THE FIELD.
  - CONTRACTOR SHALL PREPARE THE DECK FOR NEW WORK.

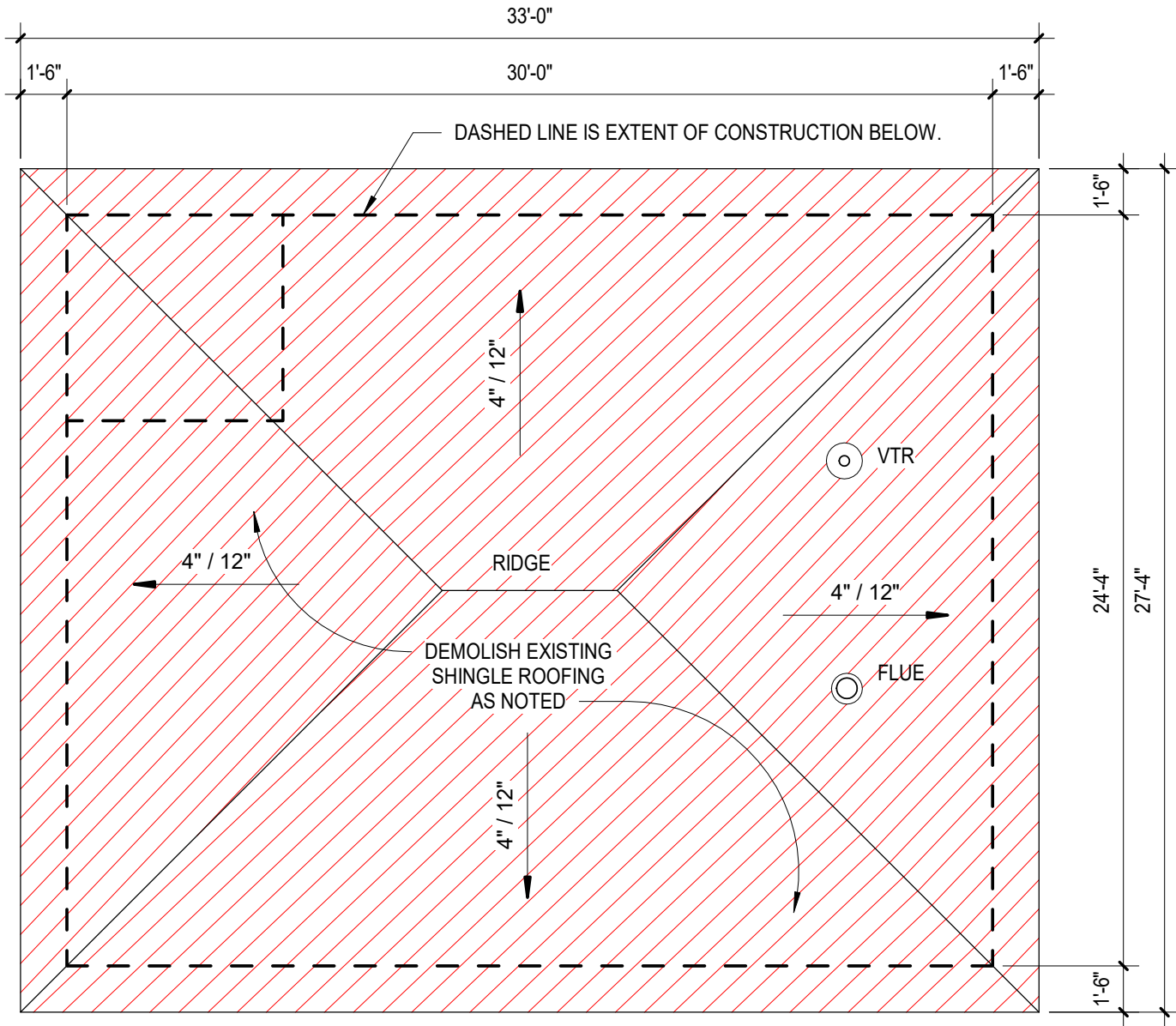
#### SCOPE OF WORK BUILDING #20 - REROOF NOTES

- REROOF SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW 5/8" CDX ROOF DECK OVER 5% OF THE EXISTING DECK AREA, WHERE EXISTING DECK HAS BEEN DEMOLISHED.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW UNDERLAYMENT AS SPECIFIED AND DETAILED.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW FLASHING AT VTR'S.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW ROOF SHINGLES AS SPECIFIED AND DETAILED.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW METAL RAKE AND EAVE TRIM.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW COUNTERFLASHING / THRU-WALL FLASHING.

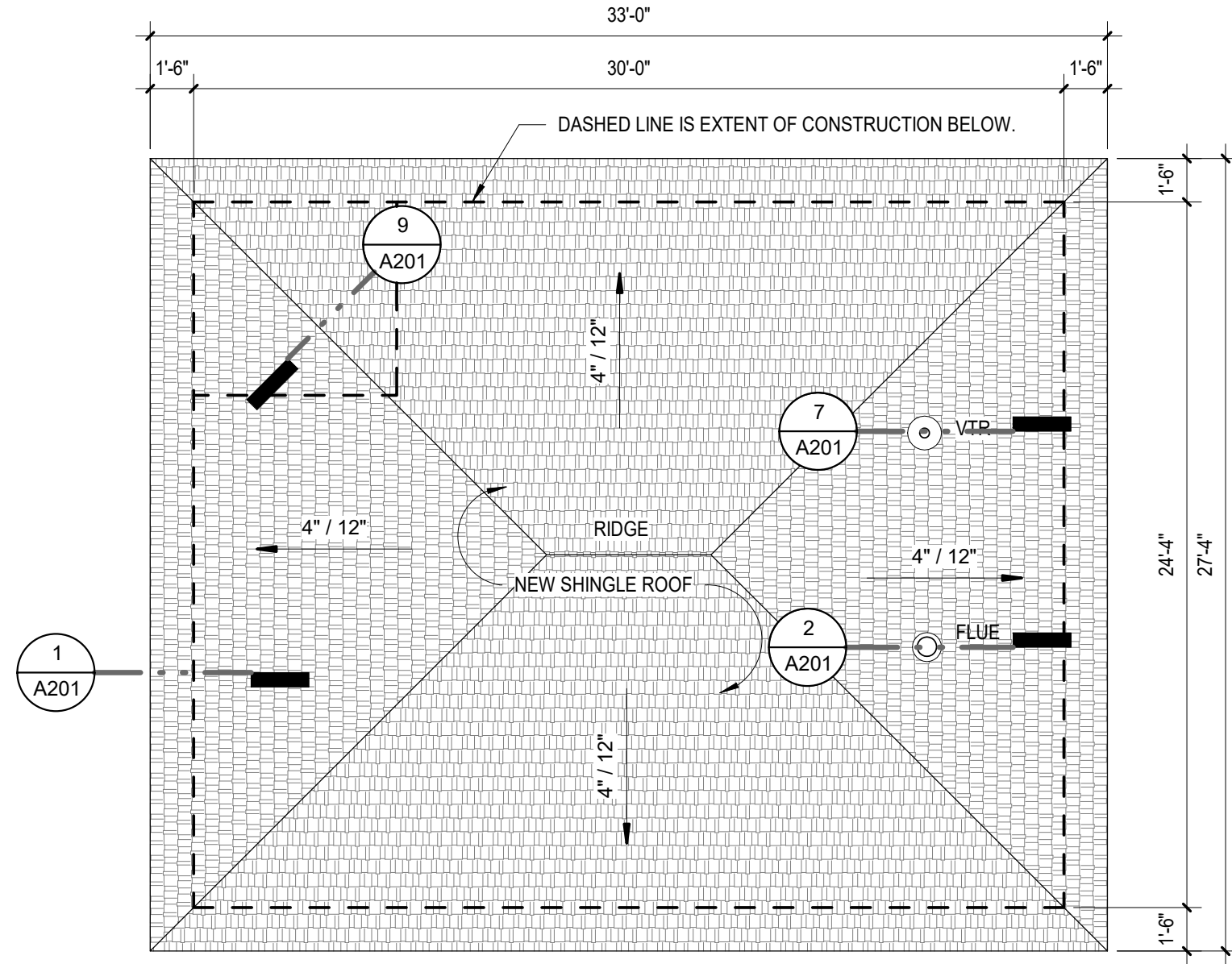




1 LAUNDRY BUILDING - DEMOLITION PLAN  
3/16" = 1'-0"



2 LAUNDRY BUILDING - REROOF PLAN  
3/16" = 1'-0"



### SCOPE OF WORK LAUNDRY BUILDING - DEMOLITION NOTES

- DEMOLITION SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
  - CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE ROOFING MATERIAL.
  - CONTRACTOR SHALL DEMOLISH ALL EXISTING UNDERLAYMENTS.
  - CONTRACTOR SHALL DEMOLISH ALL PIPE BOOTS, CRICKETS AND OTHER PENETRATION FLASHINGS.
  - CONTRACTOR SHALL RETAIN IN PLACE ALL EXISTING GAS FLUES AND VTR'S.
  - CONTRACTOR SHALL DEMOLISH ALL METAL EAVE AND RAKE TRIM.
  - CONTRACTOR SHALL DEMOLISH 5% OF THE EXISTING 5/8" CDX ROOF DECK. AREAS TO BE DEMOLISHED WILL BE DETERMINED BY THE ARCHITECT IN THE FIELD.
  - CONTRACTOR SHALL PREPARE THE DECK FOR NEW WORK.

### LEGEND

- |  |  |
|--|--|
|  | DEMOLITION MARK  |
|  | NEW SHINGLES   |
|  | VENTED RIDGE   |
|  | VTR - EXISTING VENT THRU ROOF TO REMAIN. PROVIDE NEW BOOT.                       |
|  | FLUE - EXISTING FLUE WITH COWL TO REMAIN IN PLACE. PROVIDE NEW BOOT.             |
|  | EXHAUST FAN - EXISTING DEMOLISH & REPLACE WITH NEW IN SAME LOCATION- REUSE CURB. |

### SCOPE OF WORK LAUNDRY BUILDING - REROOF NOTES

- REROOF SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW 5/8" CDX ROOF DECK OVER 5% OF THE EXISTING DECK AREA. WHERE EXISTING DECK HAS BEEN DEMOLISHED.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW UNDERLAYMENT AS SPECIFIED AND DETAILED.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW TURTLE VENTS IN LOCATIONS DRAWN.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW FLASHING AT GAS FLUES AND VTR'S.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW ROOF SHINGLES AS SPECIFIED AND DETAILED.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW METAL RAKE AND EAVE TRIM.

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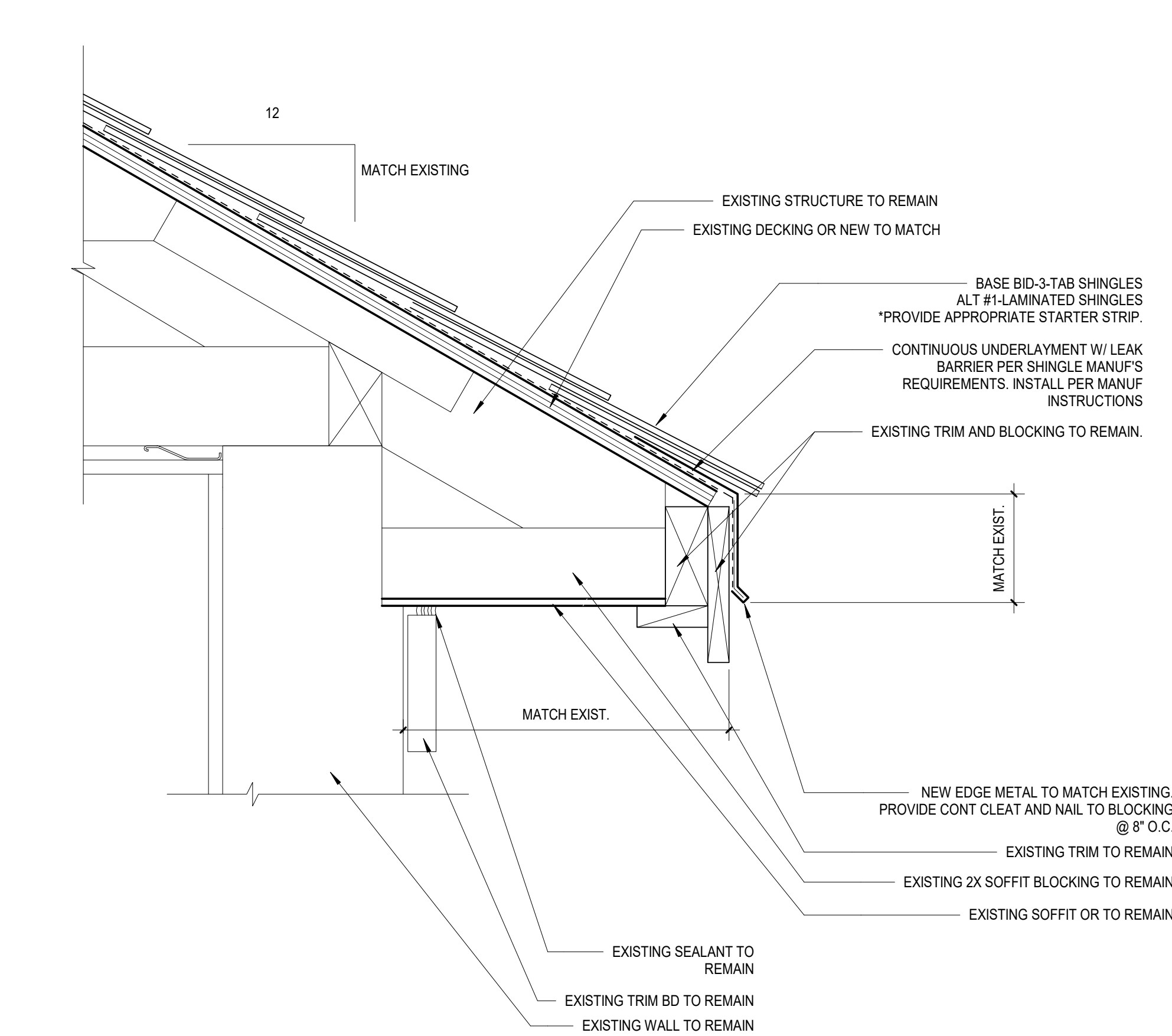
LAUNDRY BUILDING - DEMOLITION &  
REROOF PLANS  
IFB#RRP03.21 BHA ROOF REPLACEMENT PROJECT - HURRICANE  
ZETA REPAIRS - VOLUME 3 - GULF SHORE VILLAS  
BILOXI HOUSING AUTHORITY  
330 BENACHI AVENUE BILOXI, MS 39530

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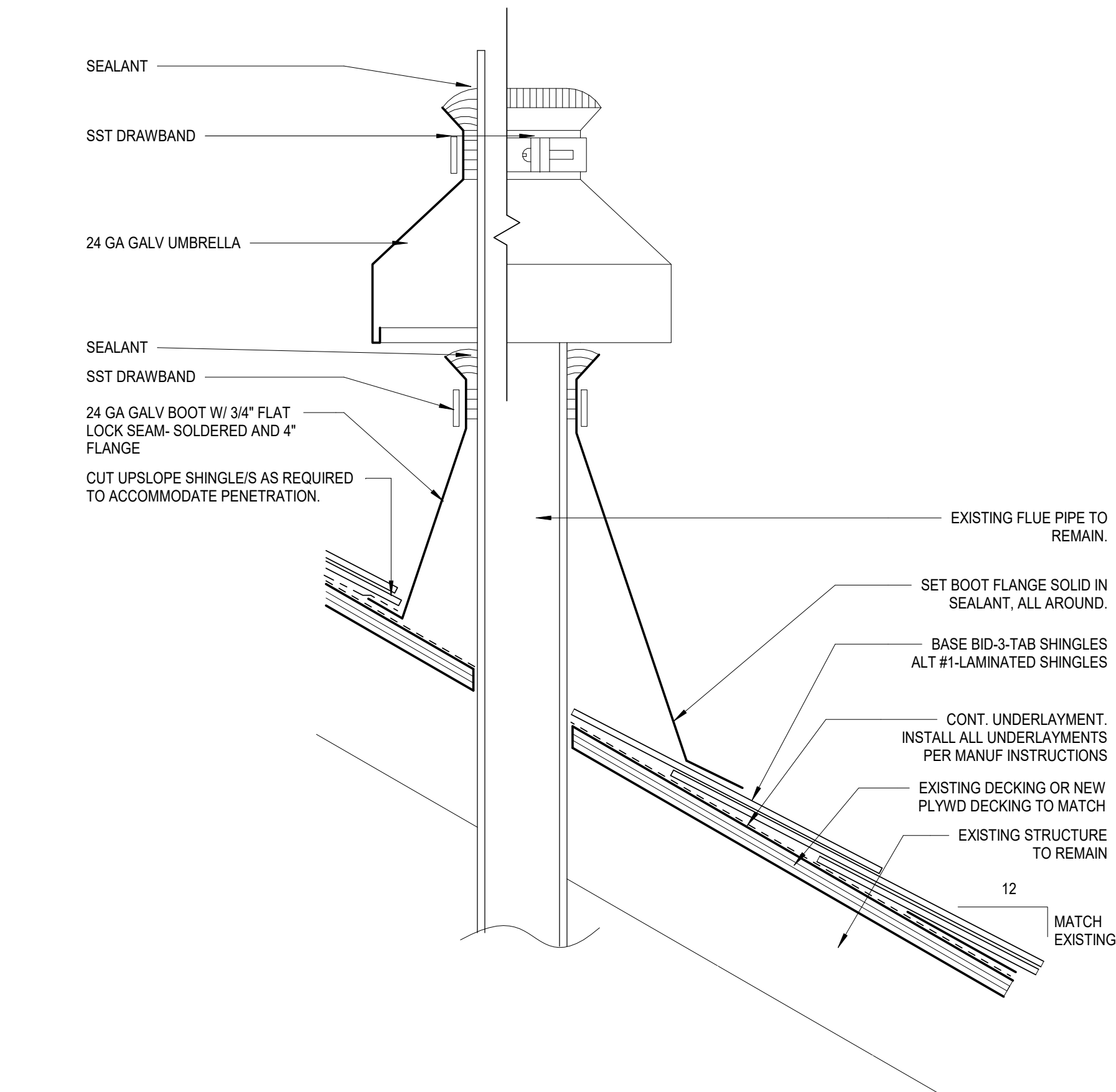
711 Church Street  
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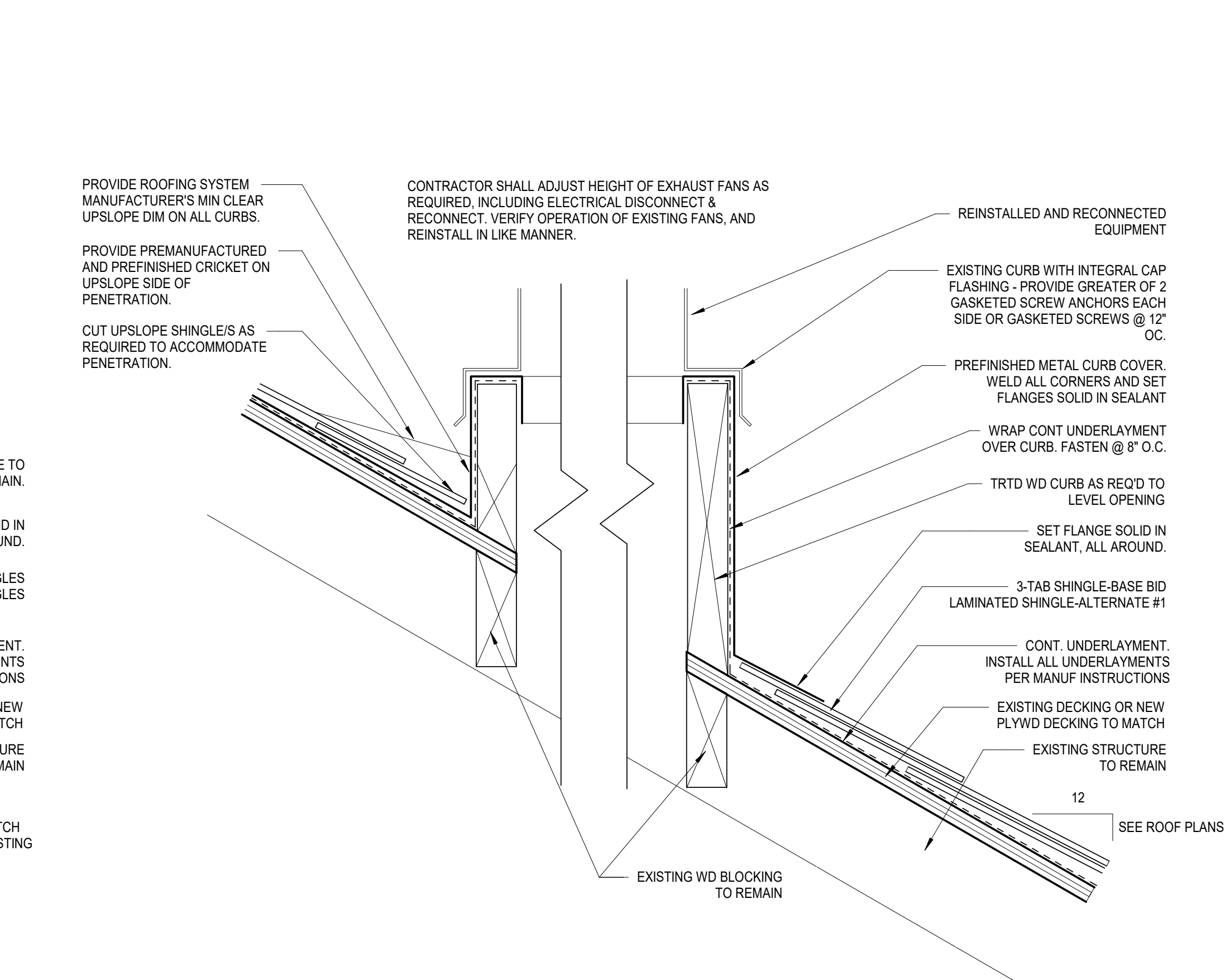




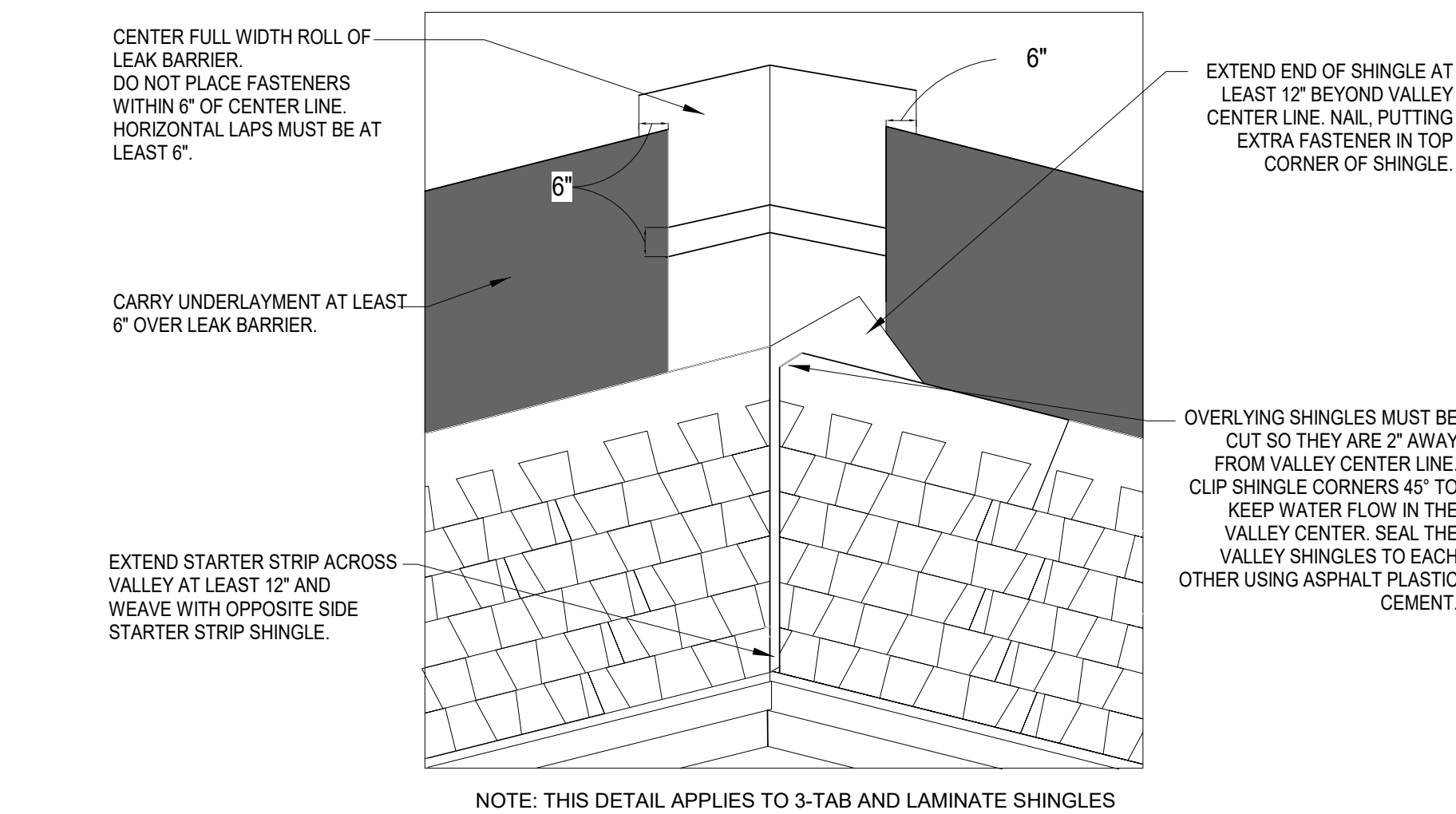
1 EAVE  
3" = 1'-0"



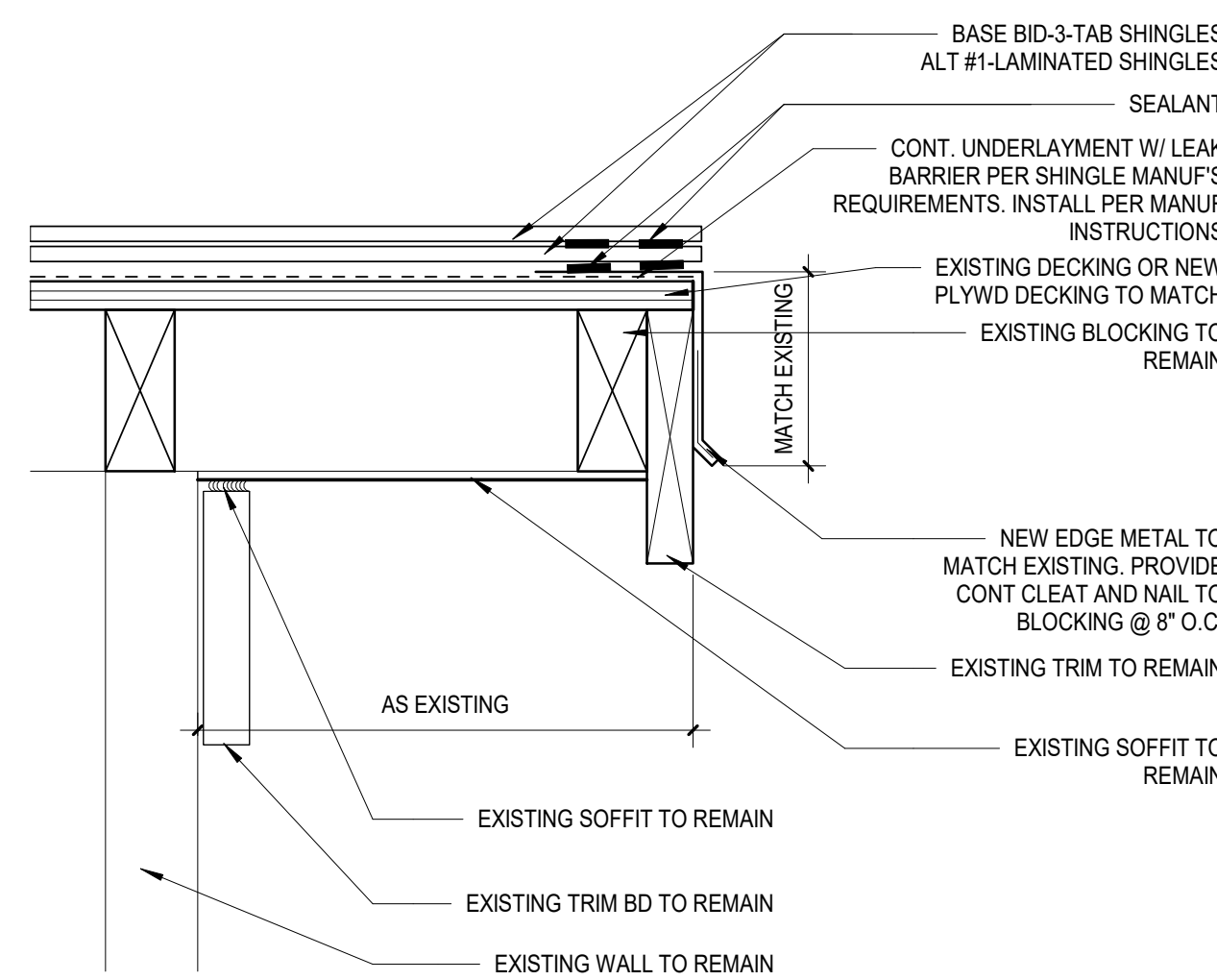
2 FLUE  
3" = 1'-0"



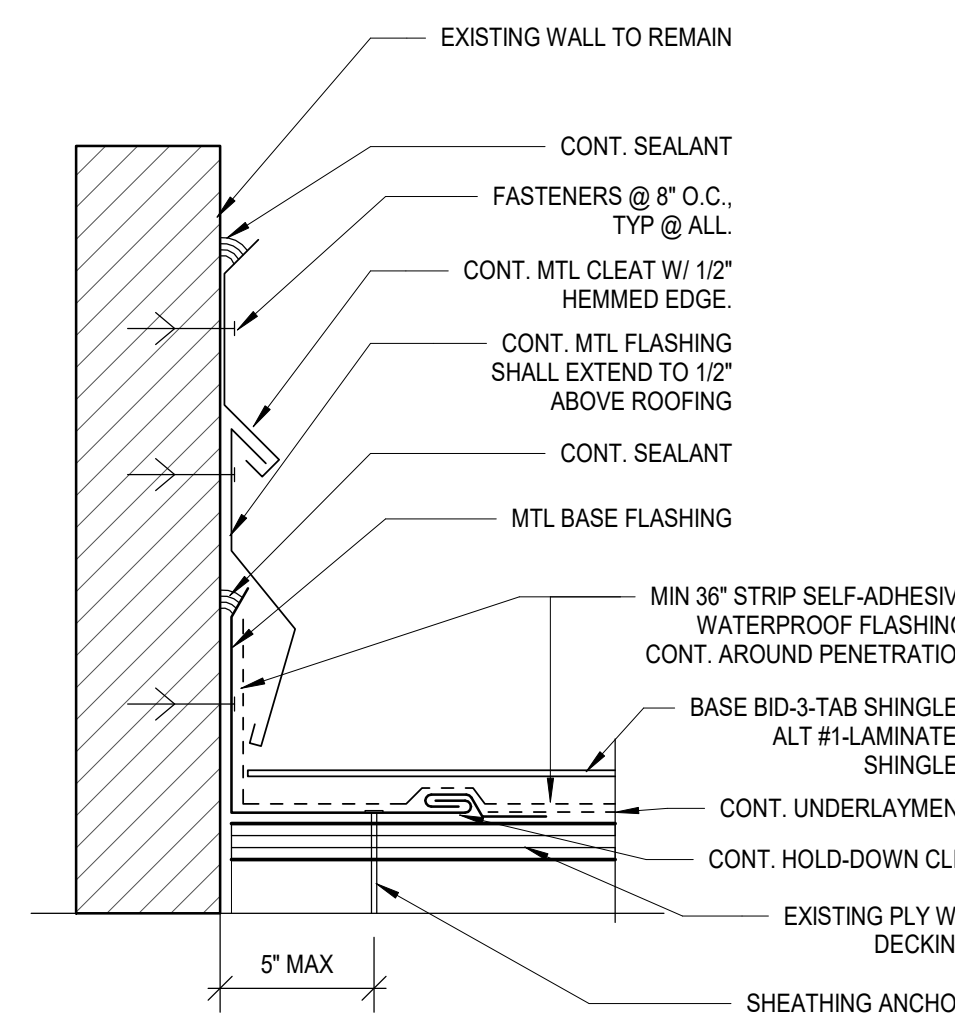
3 EQUIPMENT CURB  
3" = 1'-0"



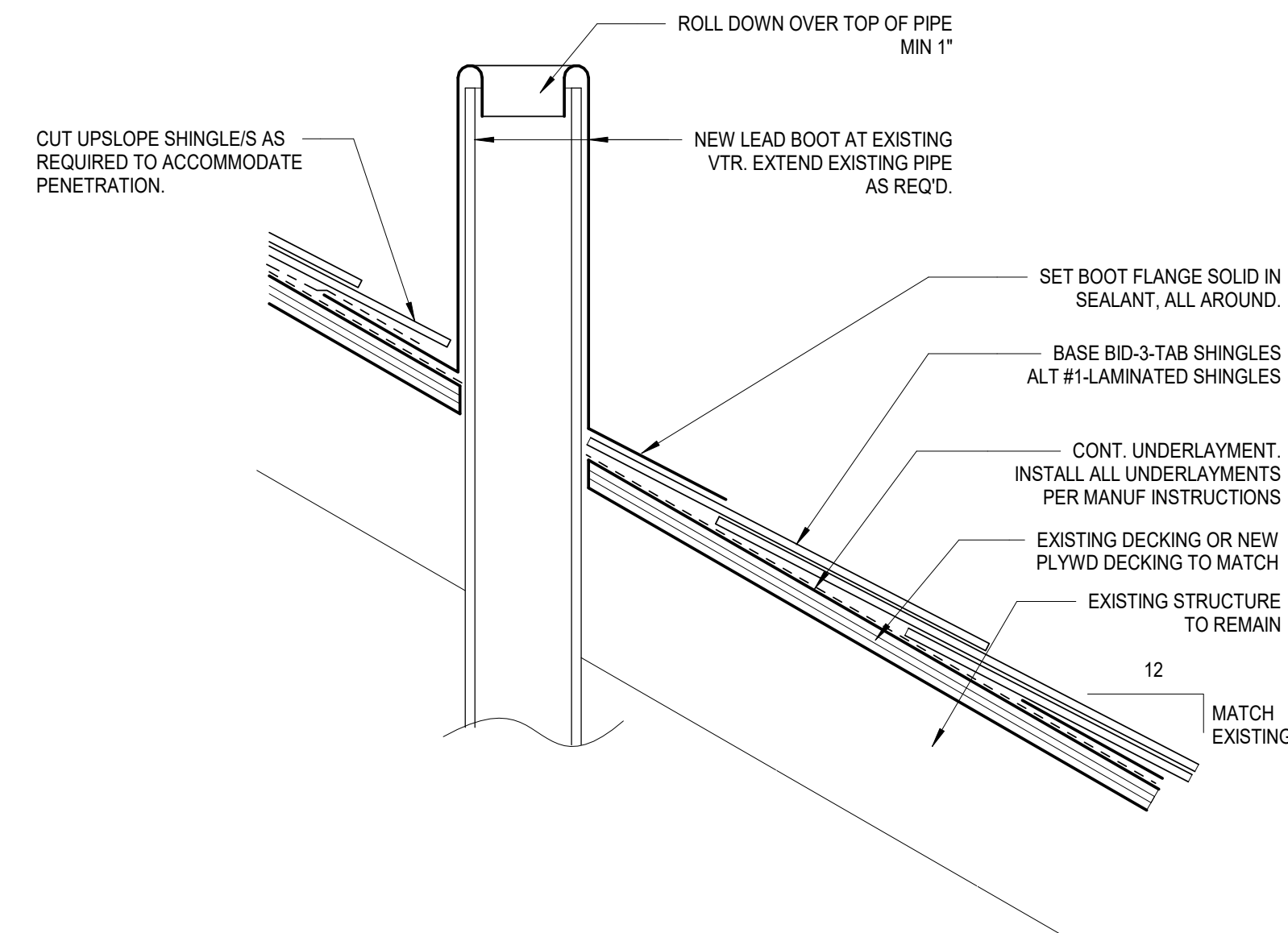
4 VALLEY FLASHING  
N.T.S.



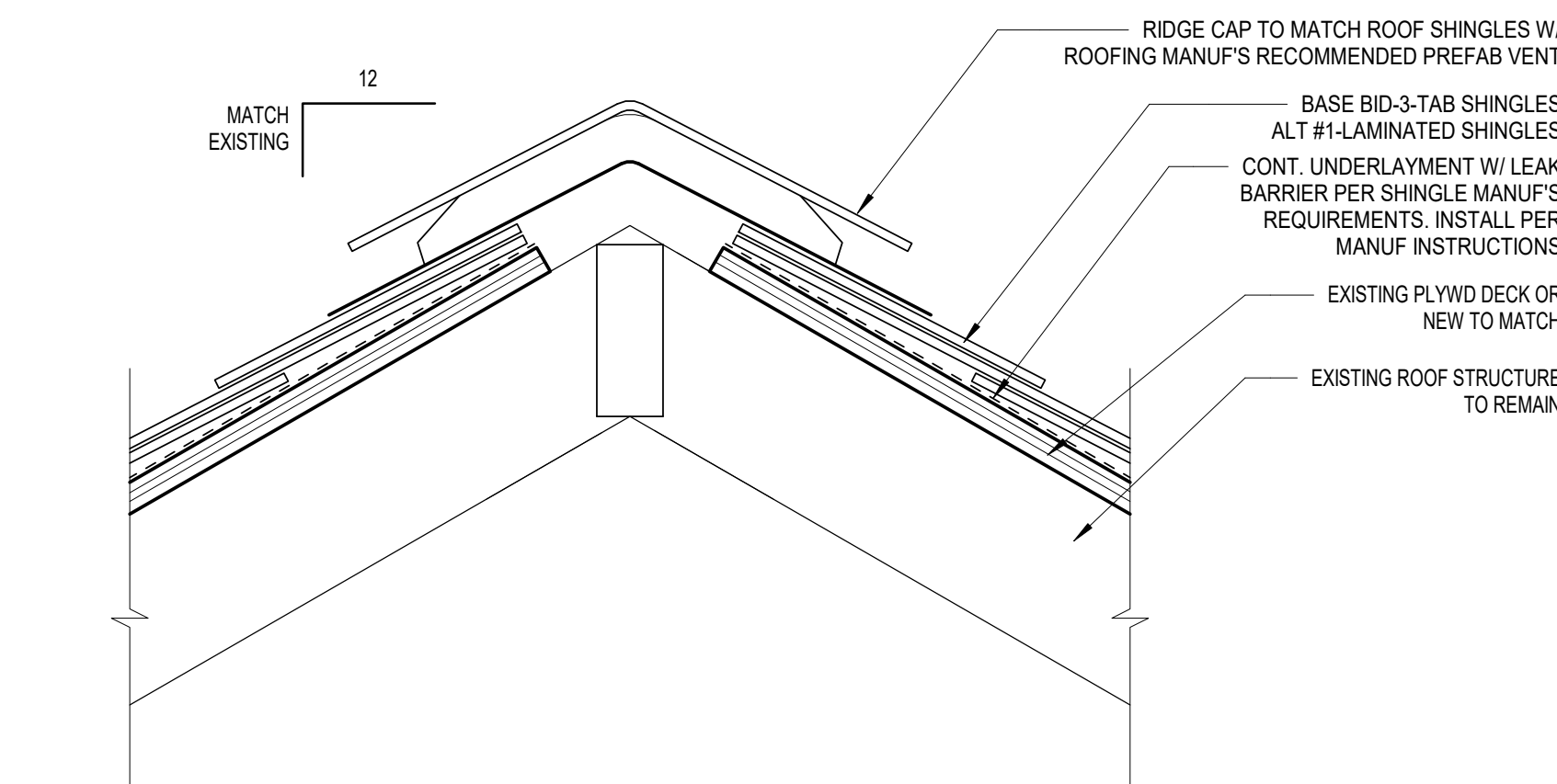
5 RAKE  
3" = 1'-0"



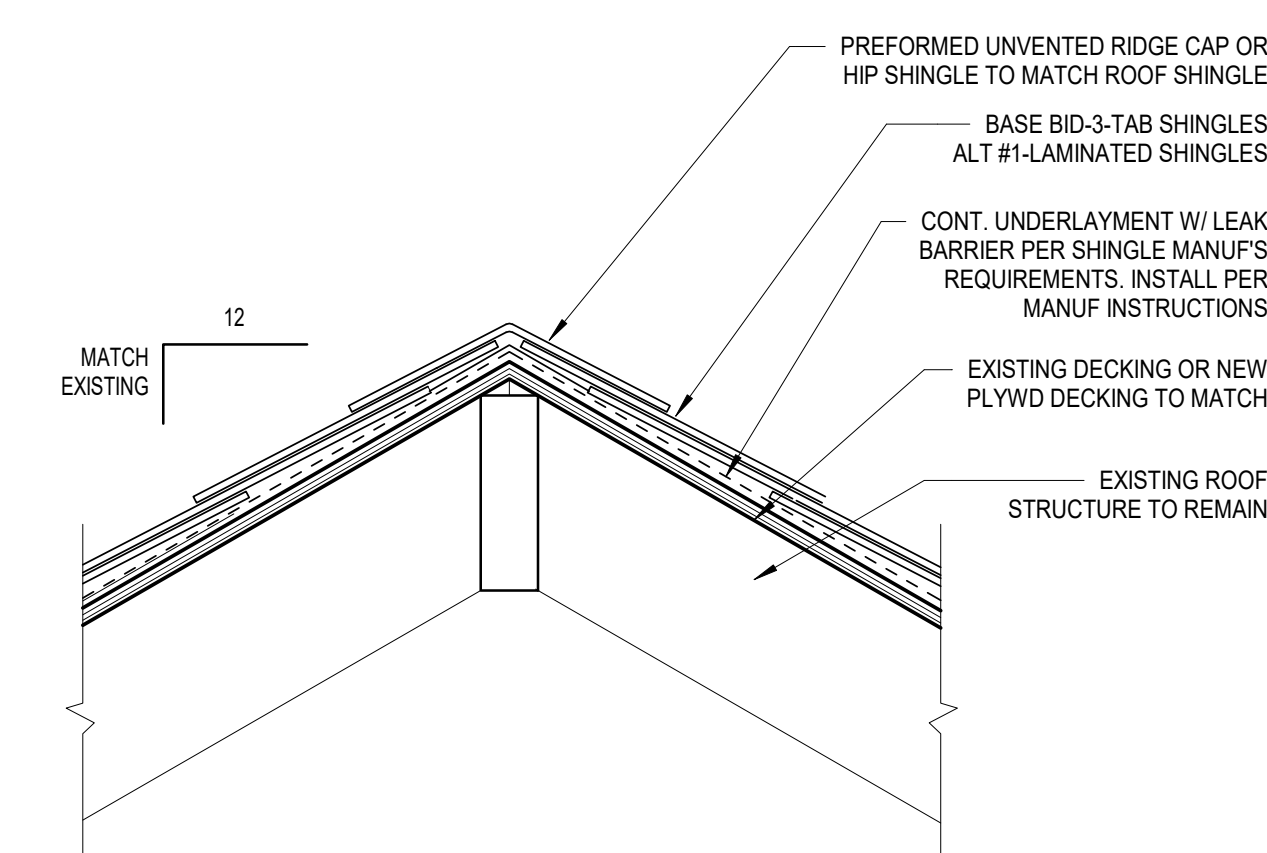
6 ROOF/WALL FLASHING  
3" = 1'-0"



7 VTR  
3" = 1'-0"



8 VENTED RIDGE  
3" = 1'-0"



9 UNVENTED RIDGE OR HIP  
3" = 1'-0"

SHINGLE ROOF DETAILS

IFB#RRP03.21 BHA ROOF REPLACEMENT PROJECT - HURRICANE  
ZETA REPAIRS - VOLUME 3 - GULF SHORE VILLAS

BILOXI HOUSING AUTHORITY

330 BENACHI AVENUE BILOXI, MS 39530

JOB NUMBER  
2021-23

DATE  
02/28/2021

REVIEWED  
BY

DRAWN BY  
SCN

CHECKED BY  
HA



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# IFB#RRP03.21 BHA ROOF REPLACEMENT PROJECT - HURRICANE ZETA - VOLUME 4 - MCDONNELL AVENUE APARTMENTS

BILOXI HOUSING AUTHORITY  
330 BENACHI AVENUE BILOXI, MS

## VOLUME 4 - DRAWING INDEX

INDEX - GENERAL	
G000	TITLE SHEET
INDEX - ARCHITECTURAL	
A100	REFERENCE SITE PLAN & NOTES
A101	BUILDINGS A-D & OFFICE - DEMOLITION PLANS
A102	BUILDINGS A-D & OFFICE - REROOF PLANS
A103	BUILDINGS E & F - DEMOLITION PLAN
A104	BUILDINGS E & F - REROOF PLAN
A201	DETAILS

PROJ #: 2021-23

IFB#RRP03.21 BHA ROOF REPLACEMENT PROJECT -  
HURRICANE ZETA - VOLUME 4 - MCDONNELL AVENUE  
APARTMENTS  
  
BILOXI HOUSING AUTHORITY  
330 BENACHI AVENUE BILOXI, MS

DATE: 02/28/2021

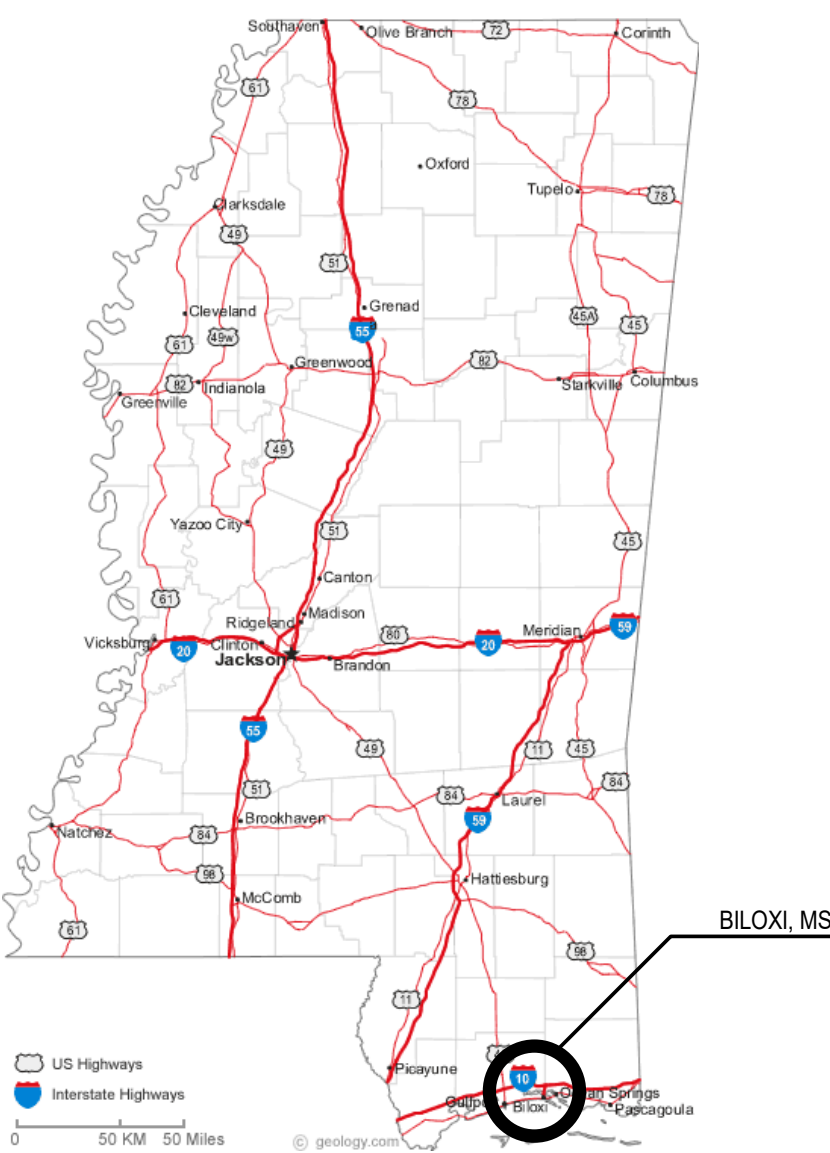
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### PROJECT TEAM

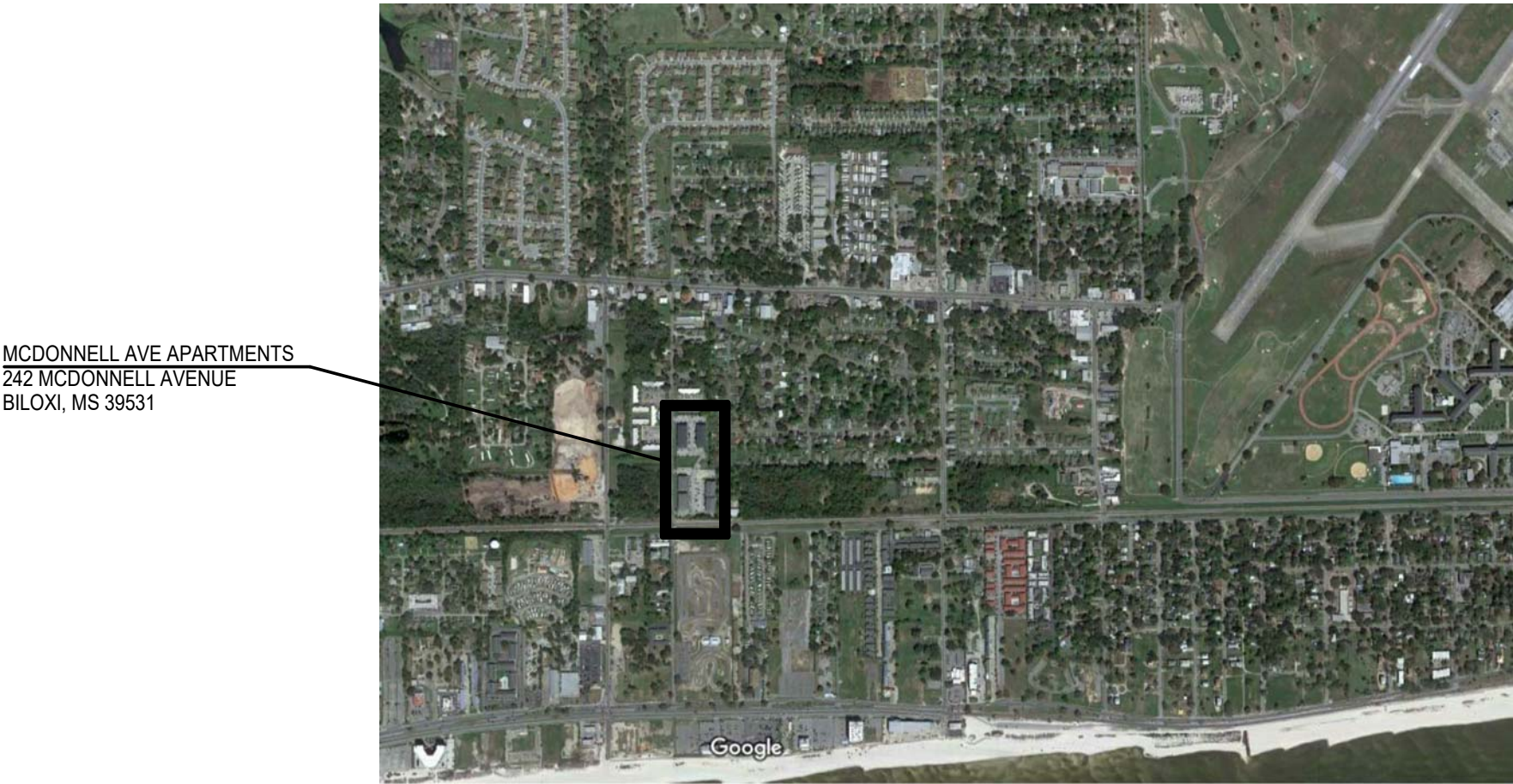
ARCHITECT  
**ALLRED STOLARSKI**  
**ARCHITECTS**

711 CHURCH STREET  
OCEAN SPRINGS, MS 39564  
T (228) 762-1975  
HOPPY ALLRED, AIA, PRINCIPAL  
ARCHITECT  
hoppy@allredstolarski.com

### LOCATION MAP NTS



### VICINITY MAP NTS



### ALTERNATES

ALTERNATE #1: AN ADDITIVE ALTERNATE FOR ALL LABOR, MATERIALS, AND EQUIPMENT NECESSARY TO REROOF BUILDINGS AT BAYVIEW OAKS. COMPLETE AS INDICATED ON THE DRAWINGS AND IN ACCORDANCE WITH THE SPECIFICATIONS.

ALTERNATE #2: AN ADDITIVE ALTERNATE FOR ALL LABOR, MATERIALS, AND EQUIPMENT NECESSARY TO INSTALL A LAMINATED SHINGLE ROOF IN LIEU OF THE BASE BID 3-TAB SHINGLE ROOF. COMPLETE AS INDICATED ON THE DRAWINGS AND IN ACCORDANCE WITH THE SPECIFICATIONS.

### PRIORITY WORK

THE FOLLOWING LOCATION SHALL HAVE PRIORITY IN SCHEDULING:

1. BUILDING E



**allred  
stolarski  
architects**



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Ocean Springs, MS 39564

Phone: (228) 762-1975  
Email: [contact@allredstolarski.com](mailto:contact@allredstolarski.com)



GENERAL DEMOLITION NOTES

1. ALL INFORMATION REGARDING EXISTING CONDITIONS IS BASED ON OWNER SUPPLIED DOCUMENTS AND MAY NOT REFLECT ACTUAL FIELD CONDITIONS. UPON DISCOVERY OF ANY DISCREPANCIES BETWEEN FIELD CONDITIONS AND DRAWINGS DEPICTING EXISTING CONDITIONS OR UPON DISCOVERY OF UNKNOWN CONDITIONS DETRIMENTAL TO THE COMPLETION OF THE WORK AS INDICATED ON THE DRAWINGS, CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT IN WRITING.
2. CONTRACTOR IS RESPONSIBLE FOR ALL SHORING AND BRACING NECESSARY TO MAINTAIN STRUCTURAL INTEGRITY. AT NO TIME SHALL THE EXISTING STRUCTURAL MEMBERS BE SUBJECTED TO CUTTING, DRILLING, OR ANY MODIFICATION PROCESS THAT MAY INTERFERE WITH ITS STRUCTURAL INTEGRITY.
3. SALVAGE IS DEFINED AS THE CAREFUL REMOVAL AND RETAINING OF ITEMS AS SHOWN IN DRAWINGS FOR POSSIBLE REUSE OR DELIVERY TO OWNER.
4. CARE SHOULD BE TAKEN AT THE INTERFACE BETWEEN DEMOLITION AND EXISTING CONSTRUCTION TO REMAIN, TO AVOID ANY DAMAGE TO EXISTING CONSTRUCTION. AFTER REMOVAL OF EXISTING ROOFING OR CONSTRUCTION, PATCH AND REPAIR DAMAGE TO ANY EXISTING ROOFING OR ADJACENT ROOF AREAS, WALLS, SIDEWALKS, PAVING, CURBS, LANDSCAPING, ETC. TO A LIKE NEW CONDITION.
5. THE CONTRACTOR SHALL NOTIFY, COORDINATE, SCHEDULE, AND RECEIVE PRIOR PERMISSION FROM THE USING AGENCY PRIOR TO ANY SHUT DOWN OF BUILDING SERVICES AS REQUIRED TO COMPLETE THE WORK. NOTIFICATION SHALL INCLUDE LENGTH OF TIME REQUIRED TO SHUT DOWN, LENGTH OF TIME SERVICE WILL BE DISCONNECTED, AND TIME REQUIRED TO RECONNECT SERVICES. SHUT DOWN SHALL NOT OCCUR DURING BUSINESS HOURS.
6. THE EXISTING BUILDING ENVELOPE SHALL BE MAINTAINED IN A WATERTIGHT CONDITION AT ALL TIMES.
7. THE CONTRACTOR SHALL PROVIDE TEMPORARY PROTECTION AS NECESSARY AND AS REQUIRED TO SEAL OFF THE REST OF THE EXISTING BUILDING AND MAINTAIN BUILDING DURING DEMOLITION.
8. ALL DEMOLITION WORK SHALL BE EXECUTED IN CONFORMANCE WITH ALL CODES AND ORDINANCES AS SET FORTH BY ALL GOVERNING AUTHORITIES.

GENERAL WORK NOTES

1. SITE ADDRESS: 242 MCDONNELL AVENUE, BILOXI, MS 39531
2. BUILDINGS E AND F ARE SIMILAR. BUILDINGS A-D ARE SIMILAR. SEE REPRESENTATIVE PLANS FOR DEMOLITION AND NEW WORK.
3. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFY ALL DIMENSIONS, PENETRATIONS, CONDITIONS AND SLOPES PRIOR TO BIDDING.

LEGEND

- ###

BUILDING NUMBER
- NO WORK THIS LOCATION.

MCDONNELL AVENUE

BUILDING F

BUILDING E

PRIORITY

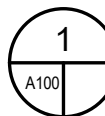
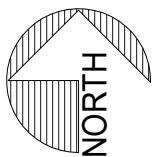
OFFICE

BUILDING D

BUILDING B

BUILDING C

BUILDING A



REFERENCE SITE PLAN

1" = 40'-0"

JOB NUMBER  
2021-23  
DATE  
02/28/2021  
REVISED  
DRAWN BY  
SCN  
CHECKED BY  
HA



SHEET

A100

REFERENCE SITE PLAN & NOTES

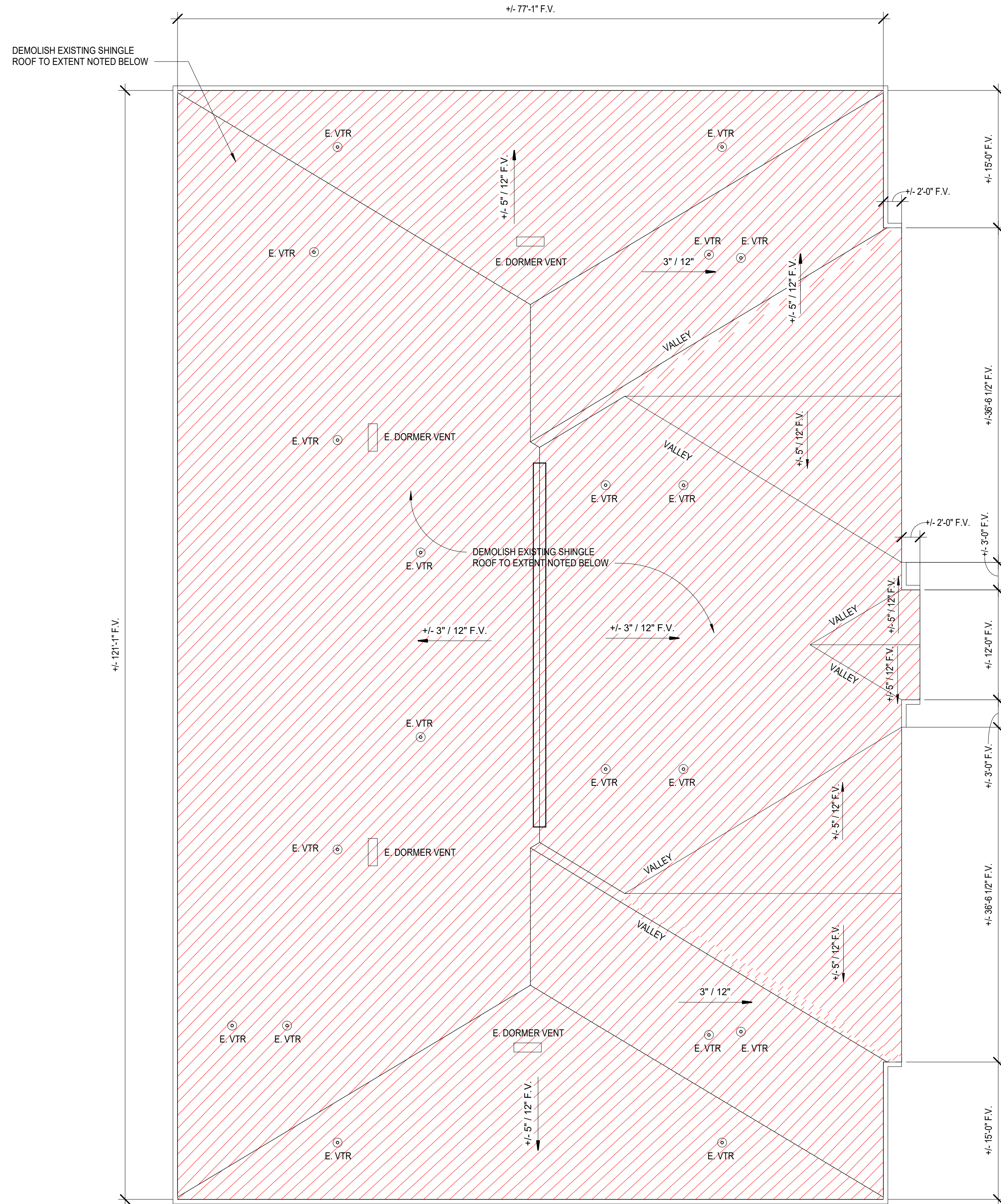
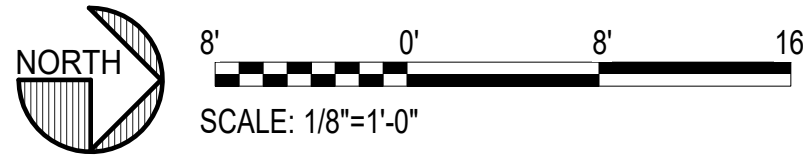
IFB#RRP03.21 BHA ROOF REPLACEMENT PROJECT - HURRICANE ZETA - VOLUME 4 - MCDONNELL AVENUE APARTMENTS  
BILOXI HOUSING AUTHORITY  
330 BENACHI AVENUE BILOXI, MS

711 Church Street  
Ocean Springs, MS 39564

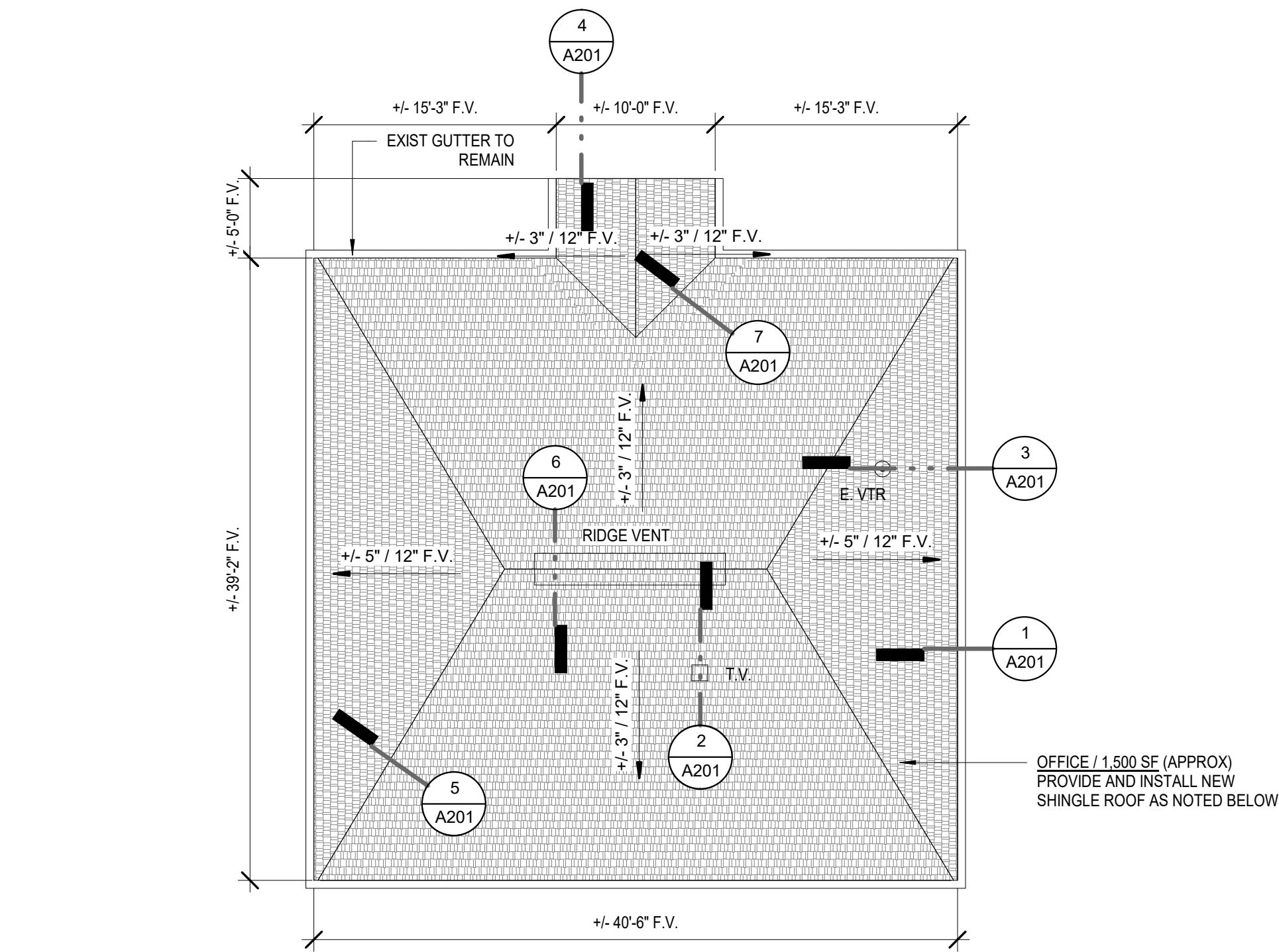
alred  
stolarski  
architects

Phone: (228) 762-1975  
Email: [contact@alredstolarski.com](mailto:contact@alredstolarski.com)

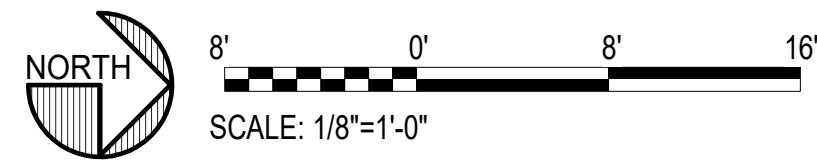








1 OFFICE REROOF PLAN  
1/8" = 1'-0"

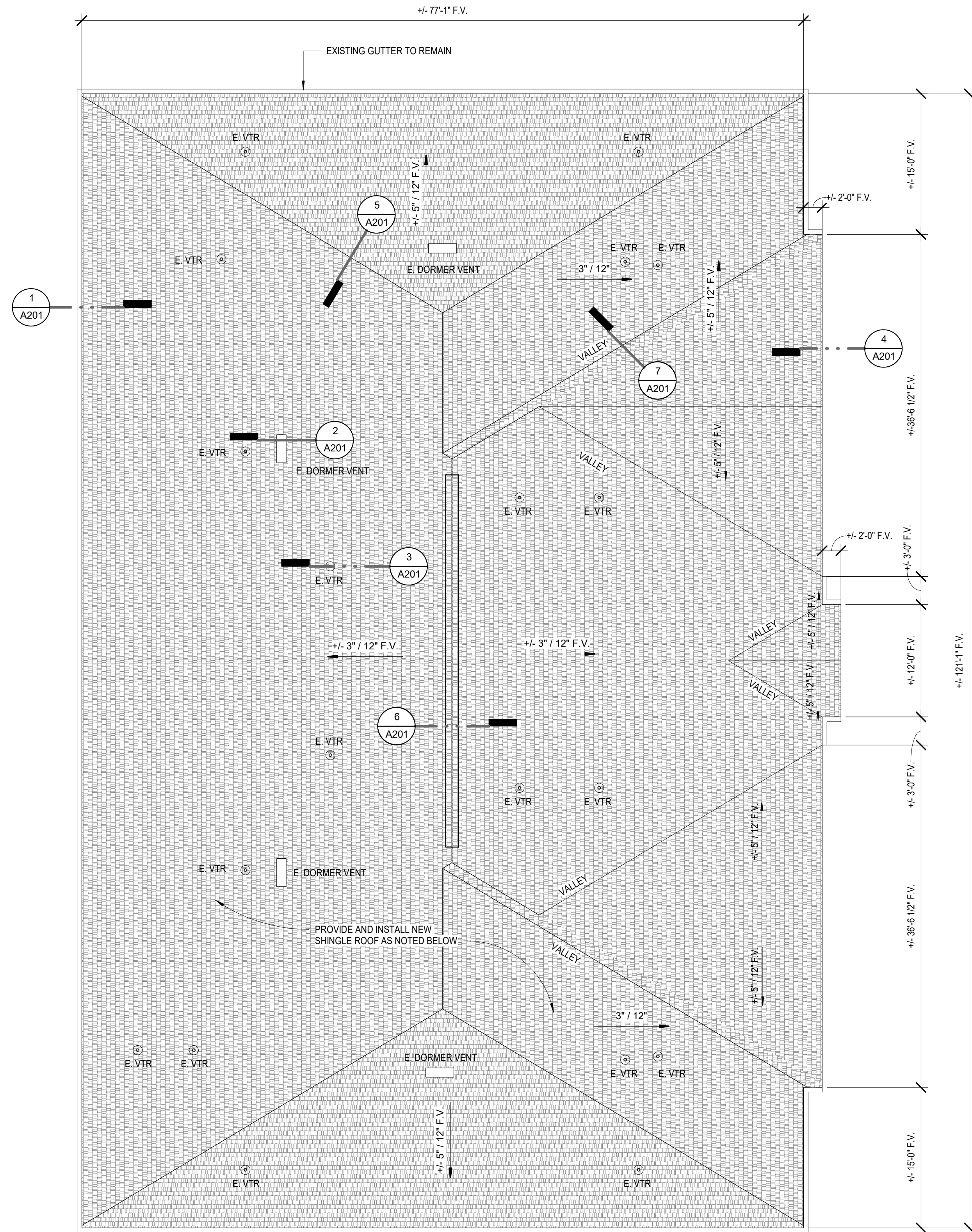


#### SCOPE OF WORK OFFICE - REROOF NOTES

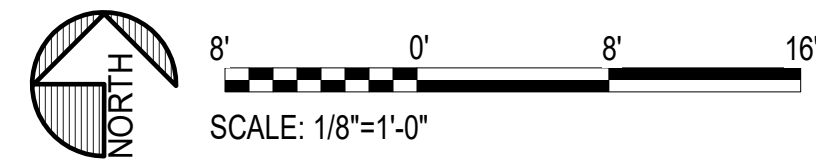
- REROOF SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW 5/8" CDX ROOF DECK OVER 5% OF THE EXISTING DECK AREA, WHERE EXISTING DECK HAS BEEN DEMOLISHED OR WHERE PENETRATIONS ARE ABANDONED.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW UNDERLAYMENT AS SPECIFIED AND DETAILED.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW TURTLE VENTS IN LOCATIONS DRAWN.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW FLASHING AT GAS FLUES AND VTR'S.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW ROOF SHINGLES AS SPECIFIED AND DETAILED.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW RAKE AND EAVE TRIM.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW COUNTERFLASHING / THRU-WALL FLASHING.
  - CONTRACTOR SHALL REINSTALL SALVAGED GUTTERS AND DOWNSPOUTS.

#### LEGEND

- DEMOLITION MARK
- NEW SHINGLES
- VENTED RIDGE
- E. VTR - EXISTING VENT THRU ROOF TO REMAIN. PROVIDE NEW BOOT.
- EXISTING DORMER VENT, DEMOLISH AND PROVIDE NEW IN EXISTING LOCATION.
- T.V. - TURBINE VENT, DEMOLISH AND PROVIDE NEW TURTLE VENT IN EXISTING LOCATION.
- T.V. - TURTLE VENT, DEMOLISH AND PROVIDE NEW TURTLE VENT IN EXISTING LOCATION OR IN PLACE OF DEMOLISHED TURBINE VENT



2 BUILDING D REROOF PLAN  
1/8" = 1'-0"

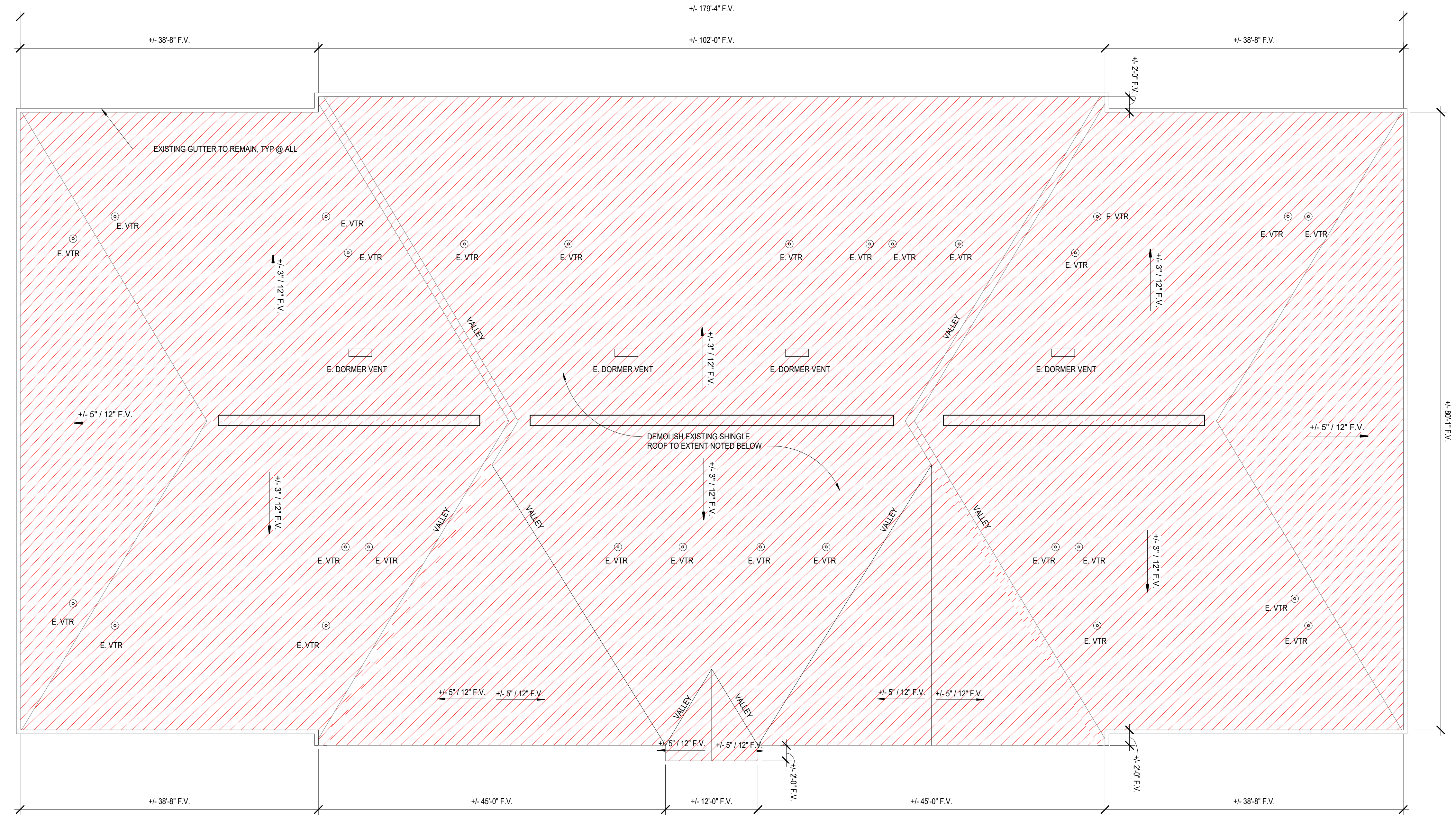


#### SCOPE OF WORK BUILDING A-D - REROOF NOTES

- REROOF SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW 5/8" CDX ROOF DECK OVER 5% OF THE EXISTING DECK AREA, WHERE EXISTING DECK HAS BEEN DEMOLISHED.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW UNDERLAYMENT AS SPECIFIED AND DETAILED.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW DORMER VENTS IN LOCATIONS DRAWN.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW FLASHING AT GAS FLUES AND VTR'S.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW ROOF SHINGLES AS SPECIFIED AND DETAILED.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW METAL RAKE AND EAVE TRIM.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW GUTTERS AND DOWNSPOUTS. NEW GUTTERS SHALL BE 5"x5", PREFINISHED ALUMINUM BOX PROFILE. DOWNSPOUTS SHALL BE PREFINISHED ALUMINUM, 4"x4", PLAIN RECTANGULAR SECTION.







**BUILDING F DEMOLITION PLAN**  
SCALE: 1/8"=1'-0"

**SCOPE OF WORK BUILDINGS E AND F - DEMOLITION NOTES**

- DEMOLITION SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
  - CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE ROOFING MATERIAL.
  - CONTRACTOR SHALL DEMOLISH ALL EXISTING UNDERLAYMENTS.
  - CONTRACTOR SHALL DEMOLISH ALL PIPE BOOTS, CRICKETS AND OTHER PENETRATION FLASHINGS.
  - CONTRACTOR SHALL DEMOLISH ALL DORMER VENTS, THEN PREP THE ROOF OPENING FOR A NEW VENT.
  - CONTRACTOR SHALL RETAIN IN PLACE ALL EXISTING GAS FLUES AND VTR'S.
  - CONTRACTOR SHALL RETAIN IN PLACE ALL CABLE VENTS.
  - CONTRACTOR SHALL DEMOLISH ALL EXISTING GUTTERS AND DOWNSPOUTS, INCLUDING STRAPS, MOUNTINGS, AND OTHER ACCESSORIES.
  - CONTRACTOR SHALL DEMOLISH ALL EAVE AND RAKE TRIM.
  - CONTRACTOR SHALL DEMOLISH ALL FLASHINGS AND COUNTER FLASHINGS NOT OTHERWISE NOTED TO REMAIN. EXISTING STEPPED THRU-WALL FLASHING SHALL REMAIN IN PLACE AND SHALL BE REUSED.
  - CONTRACTOR SHALL DEMOLISH 5% OF THE EXISTING 5/8" CDX ROOF DECK. AREAS TO BE DEMOLISHED WILL BE DETERMINED BY THE ARCHITECT IN THE FIELD.
  - CONTRACTOR SHALL PREPARE THE DECK FOR NEW WORK.
- NOTE: ALL CURBS IN GOOD CONDITION SHALL REMAIN IN PLACE AND SHALL BE REUSED

**LEGEND**

- |  |  |
|--|--|
|  | DEMOLITION MARK  |
|  | NEW SHINGLES   |
|  | VENTED RIDGE   |
|  | E. VTR - EXISTING VENT THRU ROOF TO REMAIN. PROVIDE NEW BOOT.  |
|  | E. DORMER VENT - EXISTING DORMER VENT. DEMOLISH AND PROVIDE NEW IN EXISTING LOCATION.                                |
|  | T.V. - TURBINE VENT. DEMOLISH AND PROVIDE NEW TURTLE VENT IN EXISTING LOCATION.                                      |
|  | T.V. - TURTLE VENT. DEMOLISH AND PROVIDE NEW TURTLE VENT IN EXISTING LOCATION OR IN PLACE OF DEMOLISHED TURBINE VENT |

**BUILDINGS E & F - DEMOLITION PLAN**

IFB#RRP03.21 BHA ROOF REPLACEMENT PROJECT - HURRICANE ZETA - VOLUME 4 - McDONNELL AVENUE APARTMENTS

BILOXI HOUSING AUTHORITY  
330 BENACHI AVENUE BILOXI, MS

JOB NUMBER  
2021-23

DATE  
02/28/2021

REVISION  
SCN

DRAWN BY  
HA



SHEET

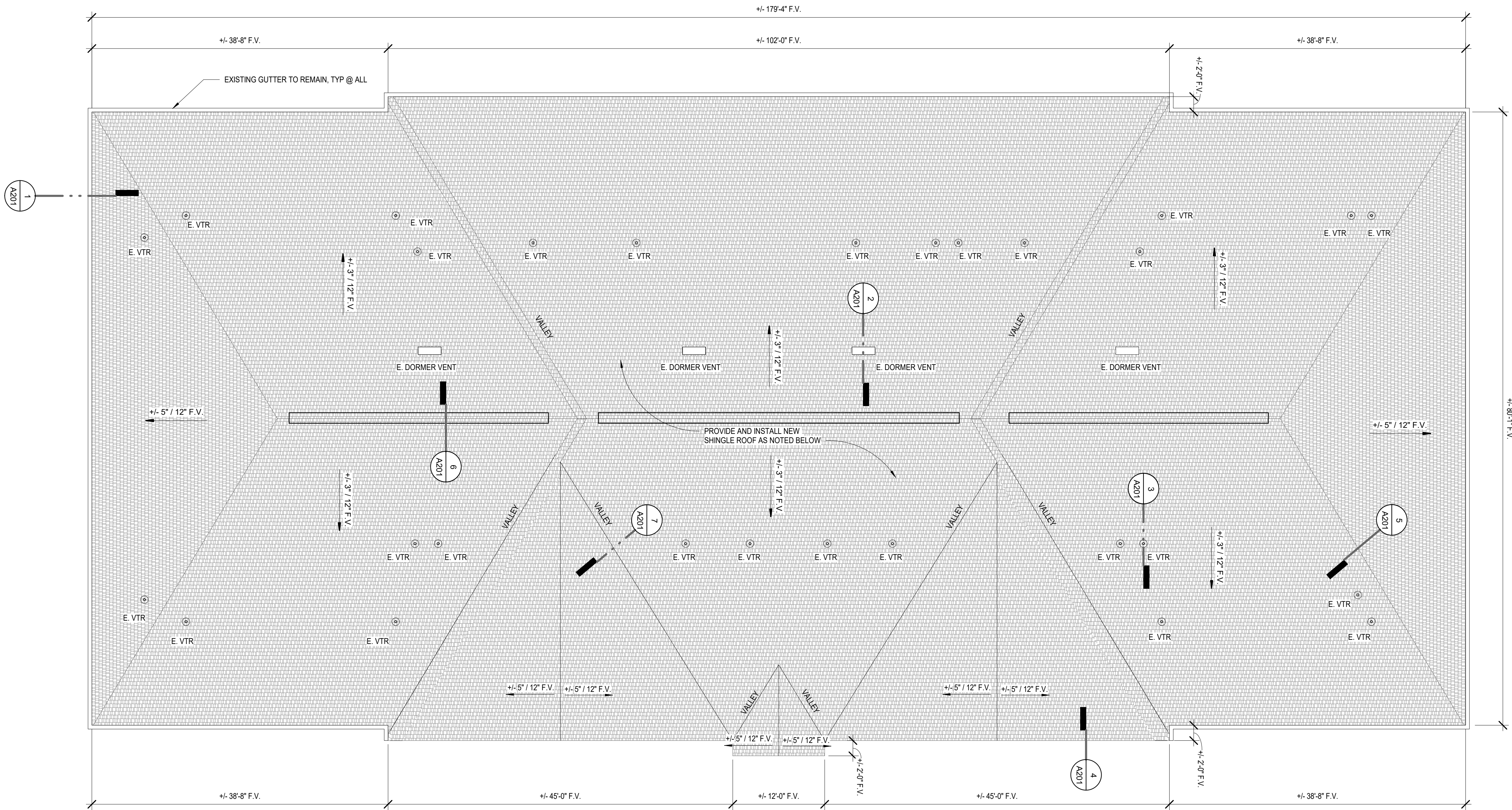
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architects**

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Email: [contact@alredstolarski.com](mailto:contact@alredstolarski.com)





**BUILDING F RENOVATION PLAN**  
SCALE: 1/8"=1'-0"

**SCOPE OF WORK BUILDING E & F- REROOF NOTES**

1. REROOF SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
- A. CONTRACTOR SHALL PROVIDE AND INSTALL NEW 5/8" CDX ROOF DECK OVER 5% OF THE EXISTING DECK AREA, WHERE EXISTING DECK HAS BEEN DEMOLISHED.
  - B. CONTRACTOR SHALL PROVIDE AND INSTALL NEW UNDERLAYMENT AS SPECIFIED AND DETAILED.
  - C. CONTRACTOR SHALL PROVIDE AND INSTALL NEW DORMER VENTS IN LOCATIONS DRAWN.
  - D. CONTRACTOR SHALL PROVIDE AND INSTALL NEW FLASHING AT GAS FLUES AND VTR'S.
  - E. CONTRACTOR SHALL PROVIDE AND INSTALL NEW ROOF SHINGLES AS SPECIFIED AND DETAILED.
  - F. CONTRACTOR SHALL PROVIDE AND INSTALL NEW METAL RAKE AND EAVE TRIM.
  - G. CONTRACTOR SHALL PROVIDE AND INSTALL NEW GUTTERS AND DOWNSPOUTS. NEW GUTTERS SHALL BE 5"x5", PREFINISHED ALUMINUM BOX PROFILE. DOWNSPOUTS SHALL BE PREFINISHED ALUMINUM 4"x4", PLAIN RECTANGULAR SECTION.

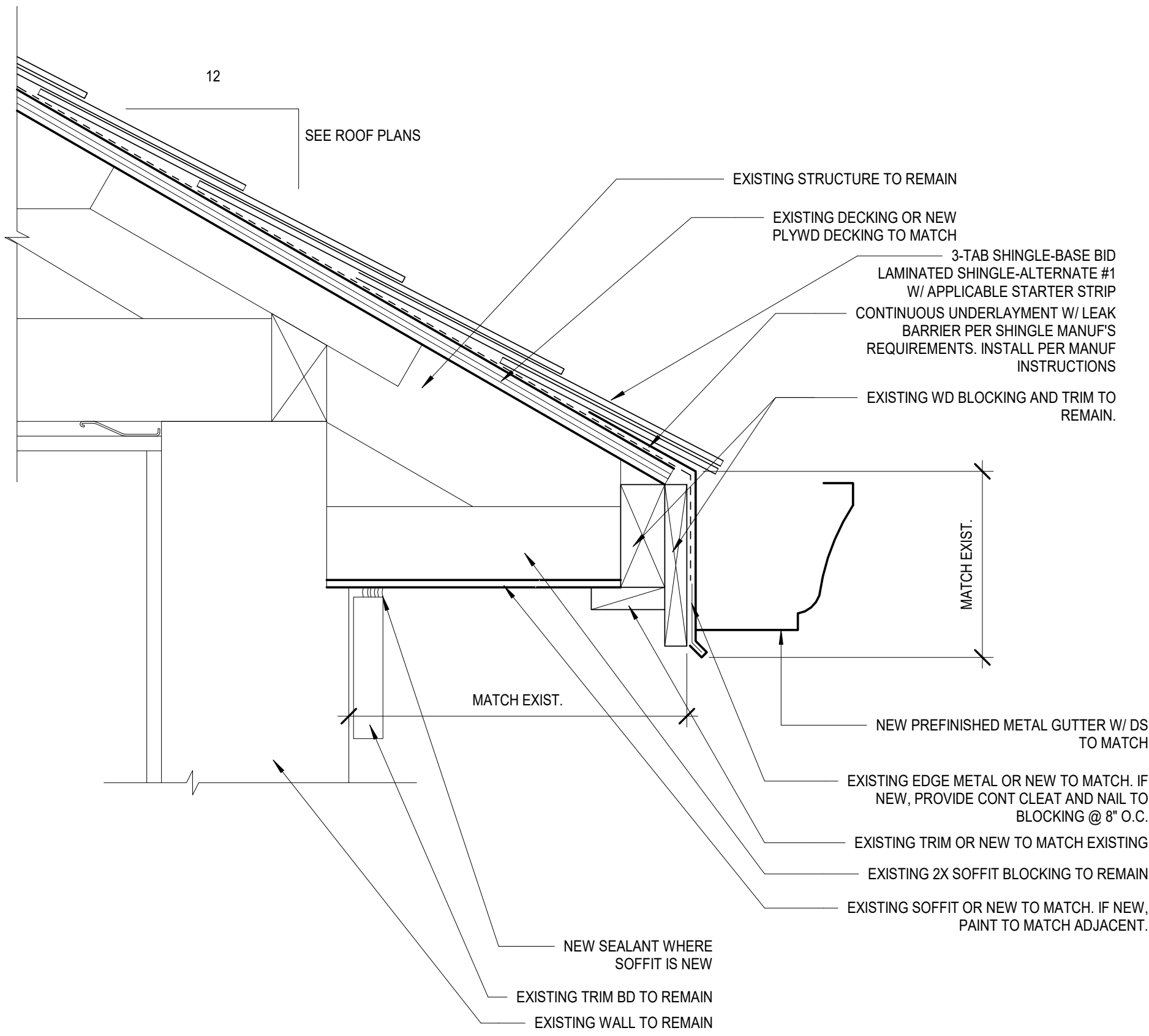
**LEGEND**

- DEMOLITION MARK
  - NEW SHINGLES
  - VENTED RIDGE
  - E. VTR
  - T.V.
  - T.V.
  - E. DORMER VENT
  - T.V.
  - T.V.
- VTR - EXISTING VENT THRU ROOF TO REMAIN. PROVIDE NEW BOOT.
- EXISTING DORMER VENT. DEMOLISH AND PROVIDE NEW IN EXISTING LOCATION.
- TURBINE VENT. DEMOLISH AND PROVIDE NEW TURTLE VENT IN EXISTING LOCATION.
- TURTLE VENT. DEMOLISH AND PROVIDE NEW TURTLE VENT IN EXISTING LOCATION OR IN PLACE OF DEMOLISHED TURBINE VENT

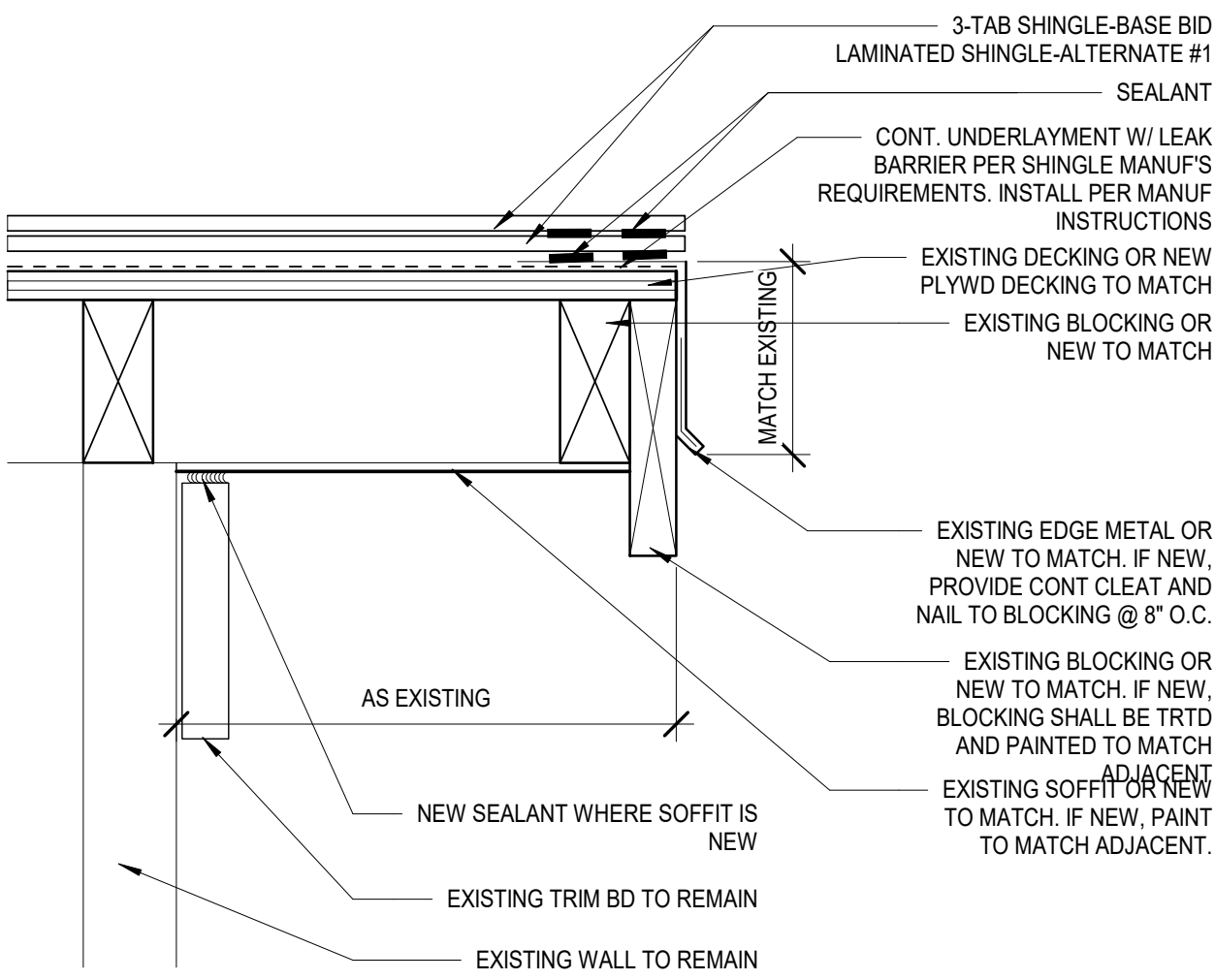
JOB NUMBER	2021-23
DATE	02/28/2021
REVISION	
DRAWN BY	SCN
CHECKED BY	HA



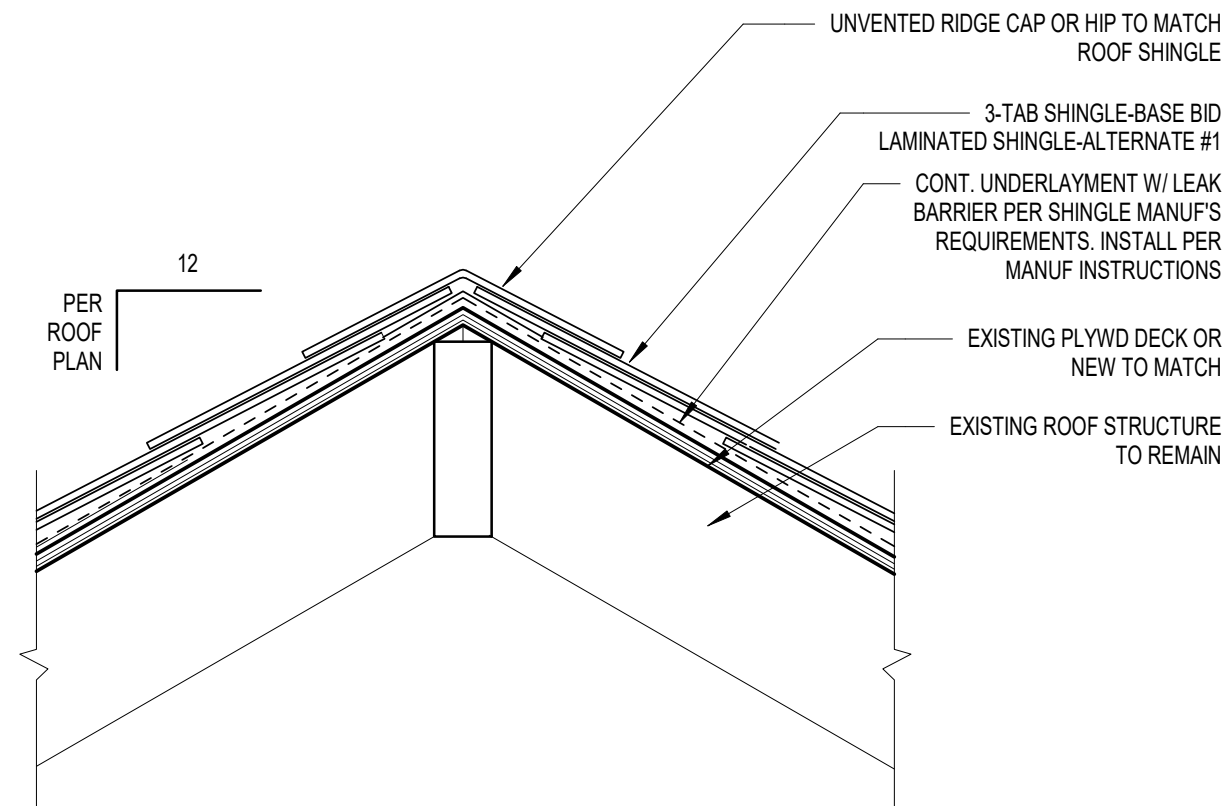




1 GUTTER  
3" = 1'-0"

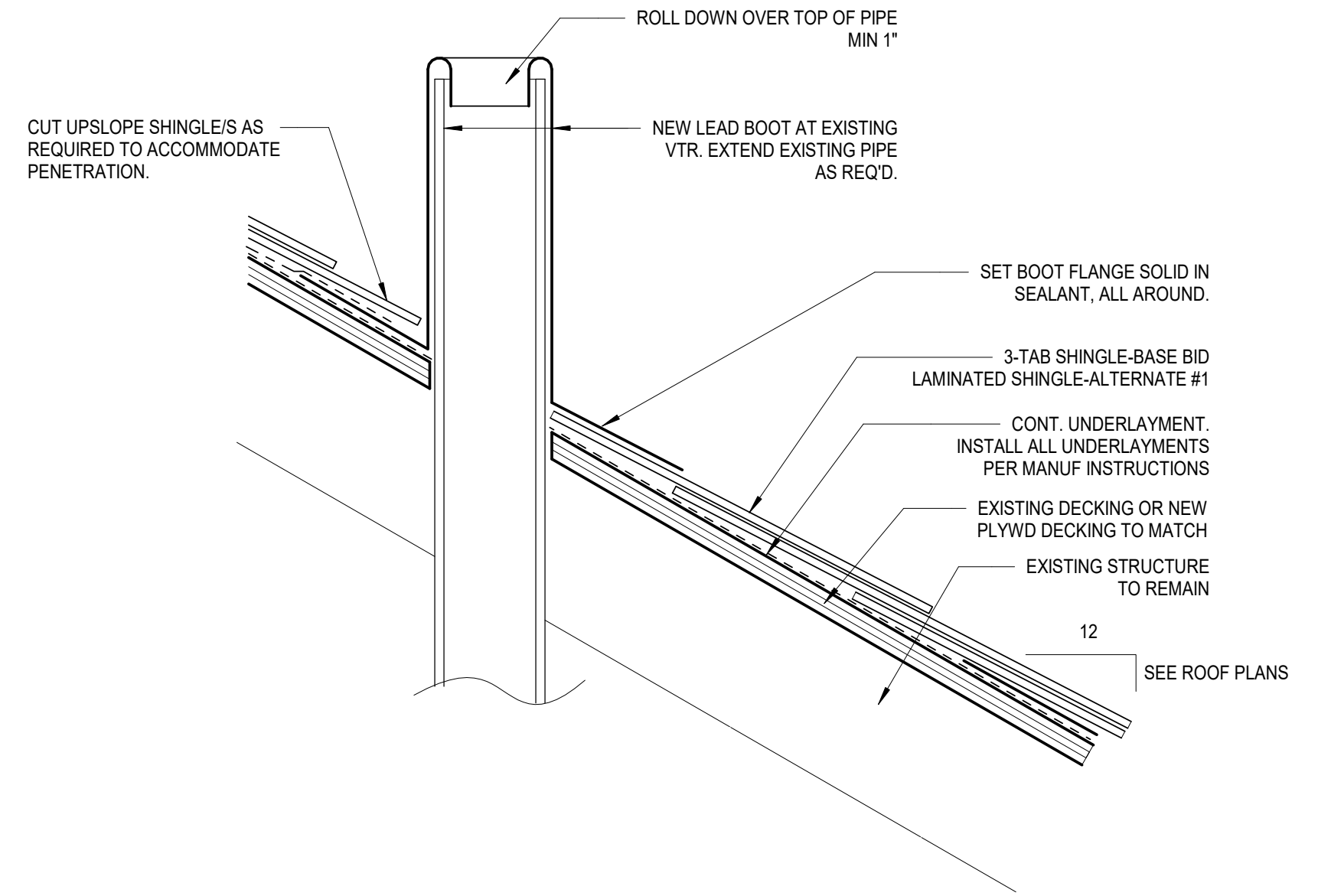


2 THRU-ROOF TURTLE VENT  
3" = 1'-0"



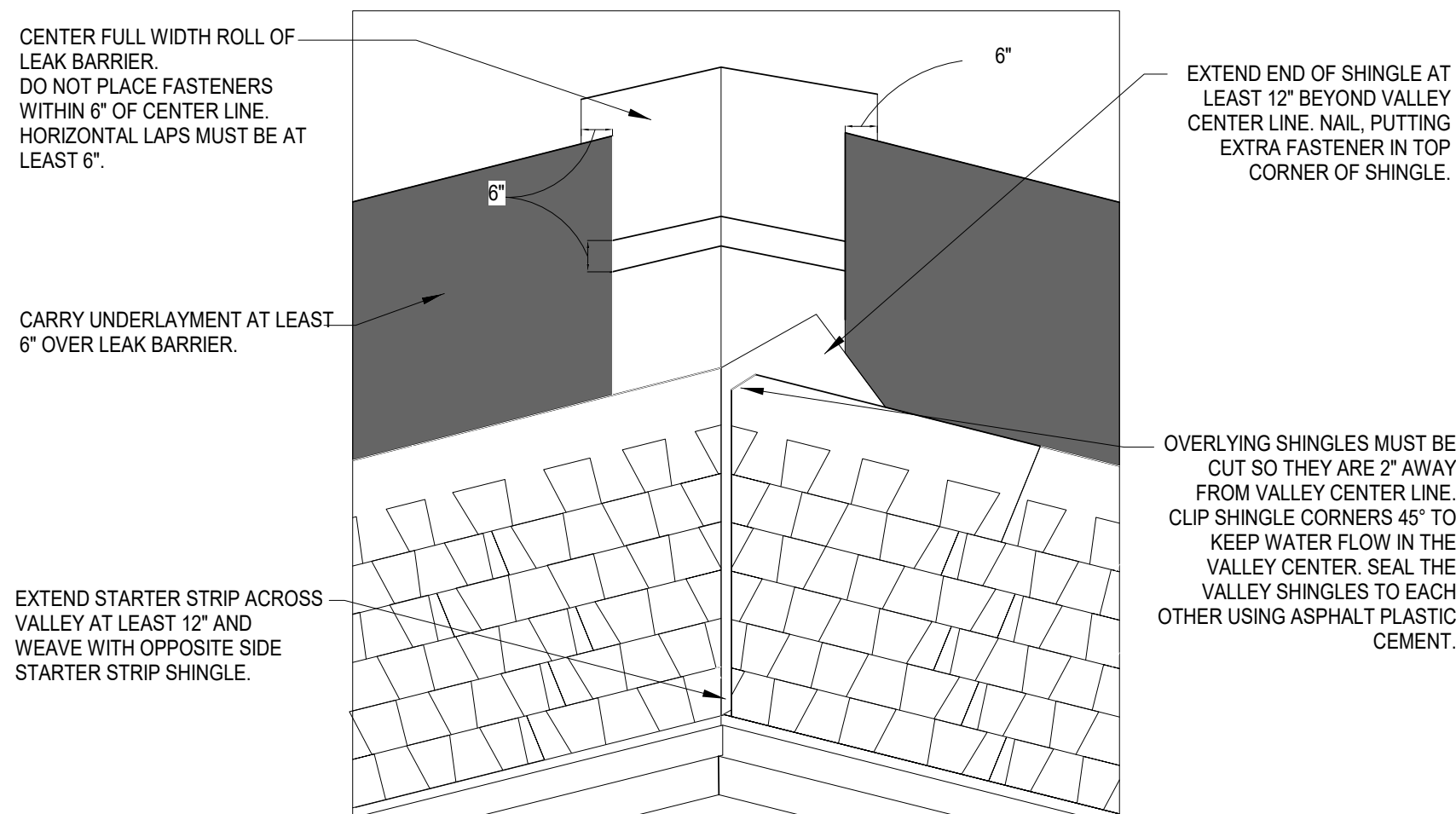
5 UNVENTED RIDGE  
3" = 1'-0"

3 VTR  
3" = 1'-0"

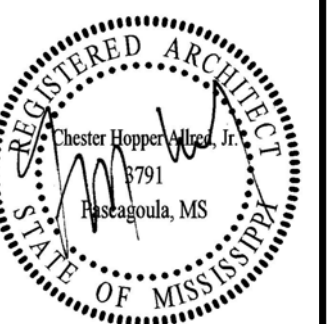


6 VENTED RIDGE  
3" = 1'-0"

4 RAKE  
3" = 1'-0"



7 VALLEY FLASHING  
N.T.S.





# IFB#RRP03.21 BHA ROOF REPLACEMENT PROJECT - HURRICANE ZETA REPAIRS - VOLUME 5 - OAKWOOD VILLAGE

BILOXI HOUSING AUTHORITY  
330 BENACHI AVE, BILOXI, MS

## VOLUME 5 - DRAWING INDEX

INDEX - GENERAL	
G000	TITLE SHEET
INDEX - ARCHITECTURAL	
A100	REFERENCE SITE PLAN
A101	BUILDING TYPE A-DEMOLITION & REROOF PLANS
A102	BUILDING TYPE B-DEMOLITION & REROOF PLANS
A103	BUILDING TYPE C - DEMOLITION & REROOF PLANS
A104	BUILDING TYPE D-DEMOLITION AND REROOF PLANS
A201	ROOF DETAILS

PROJ #: 2021-23

IFB#RRP03.21 BHA ROOF REPLACEMENT PROJECT -  
HURRICANE ZETA REPAIRS - VOLUME 5 - OAKWOOD  
VILLAGE  
  
BILOXI HOUSING AUTHORITY  
330 BENACHI AVE, BILOXI, MS

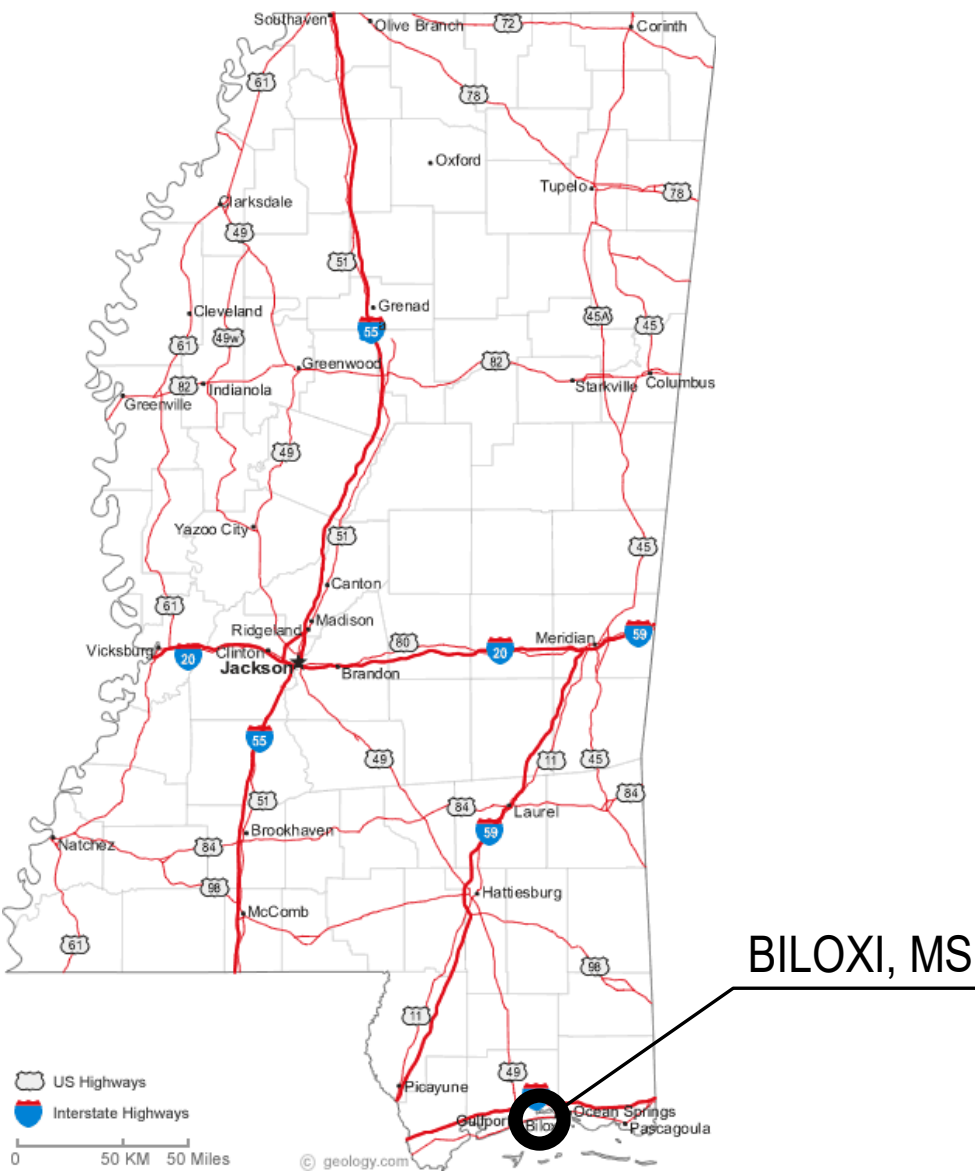
DATE: 02/28/2021

SET TYPE  
BID SET

### PROJECT TEAM

**ARCHITECT**  
**ALLRED STOLARSKI**  
**ARCHITECTS**  
711 CHURCH STREET  
OCEAN SPRINGS, MS 39564  
T (228) 762-1975  
HOPPY STOLARSKI, AIA, PRINCIPAL  
ARCHITECT  
hoppy@allredstolarski.com

### LOCATION MAP NTS



### VICINITY MAP NTS

OAKWOOD VILLAGE  
330 BENACHI AVENUE



### ALTERNATES

ALTERNATE #1: AN ADDITIVE ALTERNATE FOR ALL LABOR, MATERIALS, AND EQUIPMENT NECESSARY TO REROOF BUILDINGS AT BAYVIEW OAKS, COMPLETE AS INDICATED ON THE DRAWINGS AND IN ACCORDANCE WITH THE SPECIFICATIONS.  
  
ALTERNATE #2: AN ADDITIVE ALTERNATE FOR ALL LABOR, MATERIALS, AND EQUIPMENT NECESSARY TO INSTALL A LAMINATED SHINGLE ROOF IN LIEU OF THE BASE BID 3-TAB SHINGLE ROOF, COMPLETE AS INDICATED ON THE DRAWINGS AND IN ACCORDANCE WITH THE SPECIFICATIONS.

### PRIORITY WORK

THE FOLLOWING LOCATIONS SHALL HAVE PRIORITY IN SCHEDULING:  
1. BUILDING O



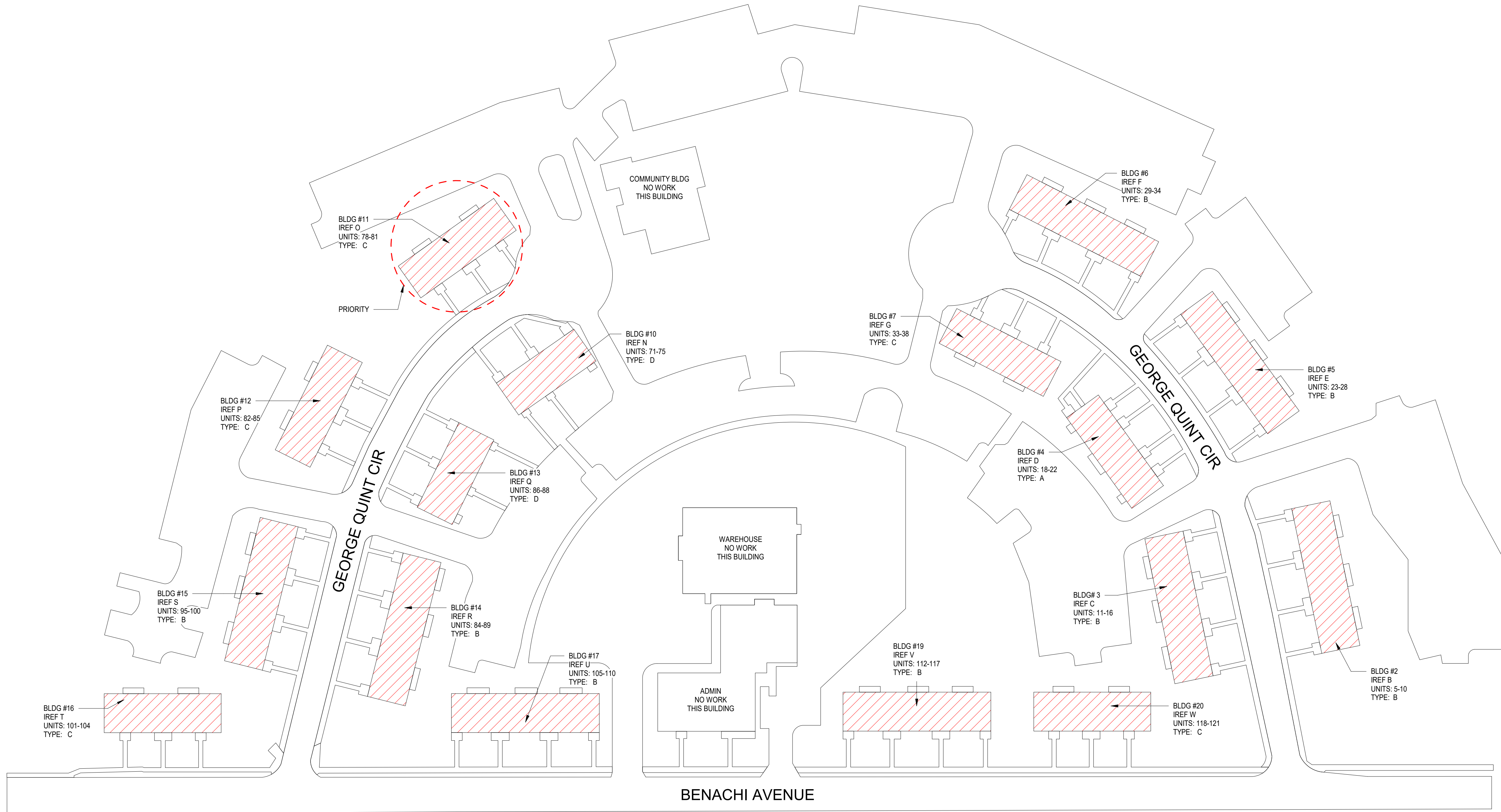
**allred  
stolarski  
architects**



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Email: [contact@allredstolarski.com](mailto:contact@allredstolarski.com)





1  
A100

REFERENCE SITE PLAN  
1" = 40'-0"

NORTH

GENERAL DEMOLITION NOTES

- ALL INFORMATION REGARDING EXISTING CONDITIONS IS BASED ON OWNER SUPPLIED DOCUMENTS AND MAY NOT REFLECT ACTUAL FIELD CONDITIONS. UPON DISCOVERY OF ANY DISCREPANCIES BETWEEN FIELD CONDITIONS AND DRAWINGS DEPICTING EXISTING CONDITIONS OR UPON DISCOVERY OF UNKNOWN CONDITIONS DETRIMENTAL TO THE COMPLETION OF THE WORK AS INDICATED ON THE DRAWINGS, CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT IN WRITING.
- CONTRACTOR IS RESPONSIBLE FOR ALL SHORING AND BRACING NECESSARY TO MAINTAIN STRUCTURAL INTEGRITY. AT NO TIME SHALL THE EXISTING STRUCTURAL MEMBERS BE SUBJECT TO CUTTING, DRILLING, OR ANY MODIFICATION PROCESS THAT MAY INTERFERE WITH ITS STRUCTURAL INTEGRITY.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL DIMENSIONS AND CONDITIONS IN FIELD PRIOR TO BIDDING.
- SALVAGE IS DEFINED AS THE CAREFUL REMOVAL AND RETAINING OF ITEMS AS SHOWN IN DRAWINGS FOR POSSIBLE REUSE OR DELIVERY TO OWNER.
- CARE SHOULD BE TAKEN AT THE INTERFACE BETWEEN DEMOLITION AND EXISTING CONSTRUCTION TO REMAIN, TO AVOID ANY DAMAGE TO EXISTING CONSTRUCTION. AFTER REMOVAL OF EXISTING ROOFING OR CONSTRUCTION, PATCH AND REPAIR DAMAGE TO ANY EXISTING ROOFING OR ADJACENT ROOF AREAS, WALLS, SIDEWALKS, PAVING, CURBS, LANDSCAPING, ETC. TO A LIKE NEW CONDITION.
- THE CONTRACTOR SHALL NOTIFY, COORDINATE, SCHEDULE, AND RECEIVE PRIOR PERMISSION FROM THE USING AGENCY PRIOR TO ANY SHUT DOWN OF BUILDING SERVICES AS REQUIRED TO COMPLETE THE WORK. NOTIFICATION SHALL INCLUDE LENGTH OF TIME REQUIRED TO SHUT DOWN, LENGTH OF TIME SERVICE WILL BE DISCONNECTED, AND TIME REQUIRED TO RECONNECT SERVICES. SHUT DOWN SHALL NOT OCCUR DURING BUSINESS HOURS.
- THE EXISTING BUILDING ENVELOPE SHALL BE MAINTAINED IN A WATERTIGHT CONDITION AT ALL TIMES.
- THE CONTRACTOR SHALL PROVIDE TEMPORARY PROTECTION AS NECESSARY AND AS REQUIRED TO SEAL OFF THE REST OF THE EXISTING BUILDING AND MAINTAIN BUILDING DURING DEMOLITION.
- ALL DEMOLITION WORK SHALL BE EXECUTED IN CONFORMANCE WITH ALL CODES AND ORDINANCES AS SET FORTH BY ALL GOVERNING AUTHORITIES.

GENERAL NOTES

- SITE ADDRESS: 330 BENACHI AVENUE, BILOXI, MS 39531
- THE FOLLOWING BUILDINGS SHALL HAVE PRIORITY IN SCHEDULING:  
A. BUILDING 0

LEGEND

WORK THIS LOCATION. SEE DEMO & REROOF PLANS

NO WORK THIS LOCATION.

##

STREET OR BUILDING NUMBER

IREF

INSURANCE REPORT REFERENCE NUMBER

UNITS

THE UNIT NUMBERS

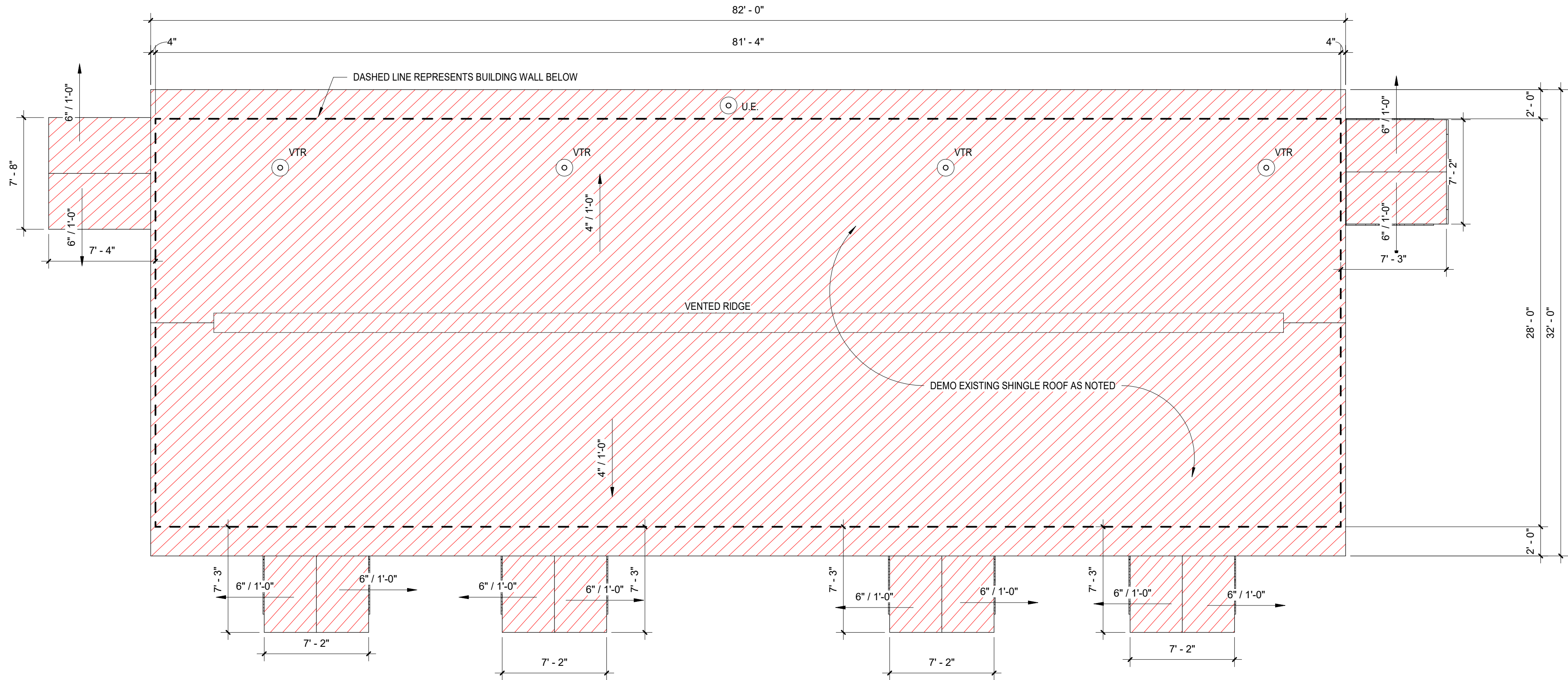
TYPE

BUILDING TYPE

JOB NUMBER	2021-23
DATE	02/28/2021
REVISION	-
DRAWN BY	SCN
CHECKED BY	HA







1 BUILDING TYPE A-DEMOLITION PLAN  
3/16" = 1'-0"

SCOPE OF WORK BUILDING TYPE A - DEMOLITION NOTES

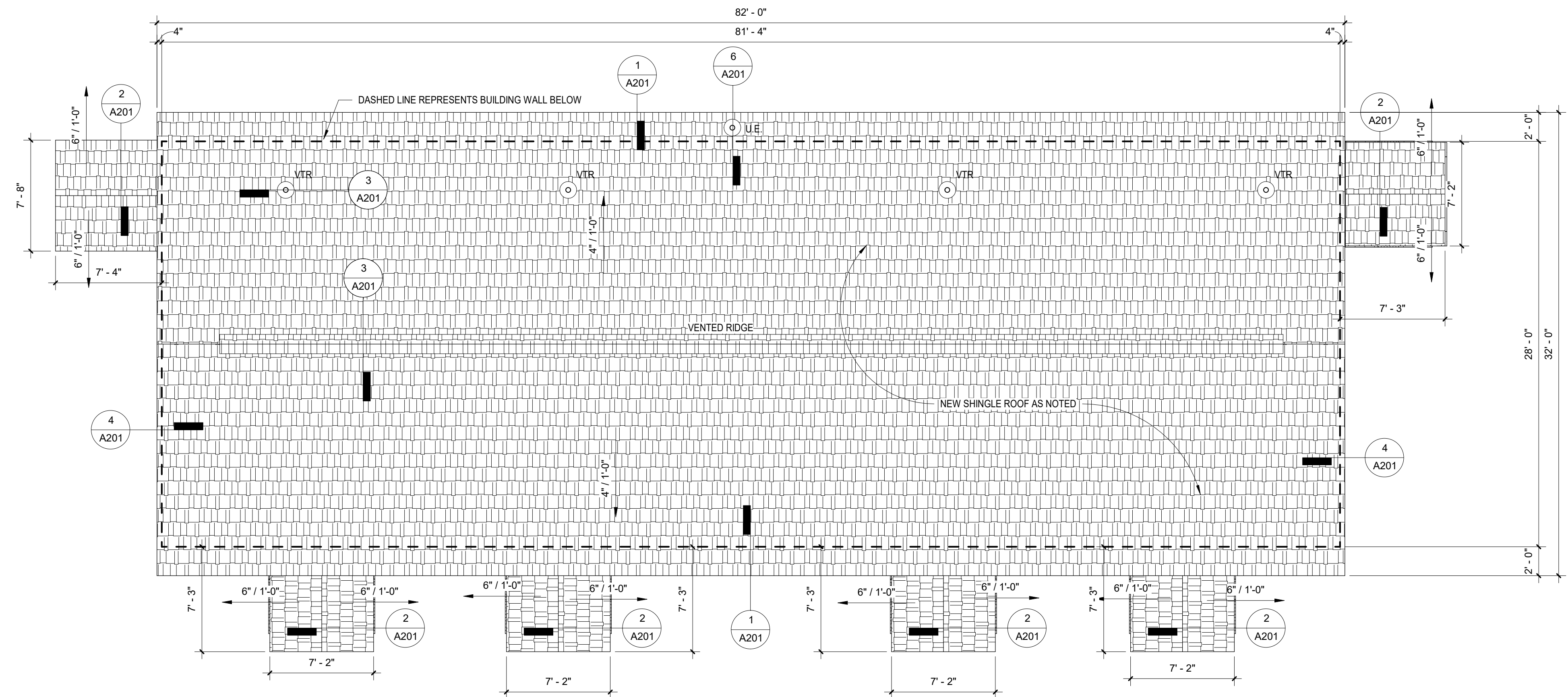
- THE FOLLOWING BUILDINGS ARE TYPE A AND THIS SCOPE OF WORK SHALL APPLY:  
A. BUILDING #4 / IREF D
- DEMOLITION SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:  
A. CONTRACTOR SHALL REMOVE ALL EXISTING SHINGLES, FLASHINGS AND UNDERLAYMENTS.  
B. CONTRACTOR SHALL DEMOLISH EXISTING PIPE BOOTS.  
C. CONTRACTOR SHALL RETAIN IN PLACE THE EXISTING VENT PIPE AND UTILITY ENTRANCE PIPES.  
D. CONTRACTOR SHALL DEMOLISH 5% OF THE EXISTING 5/8" CDX ROOF DECK. AREAS TO BE DEMOLISHED WILL BE DETERMINED BY THE ARCHITECT IN THE FIELD.  
E. CONTRACTOR SHALL PREPARE THE DECK FOR NEW WORK.

LEGEND

- DEMOLITION MARK
- NEW SHINGLES
- VTR - VENT THRU ROOF
- RIDGE VENT
- U.E. - ELECTRICAL UTILITY ENTRANCE FROM ADJACENT OVERHEAD ELECTRICAL

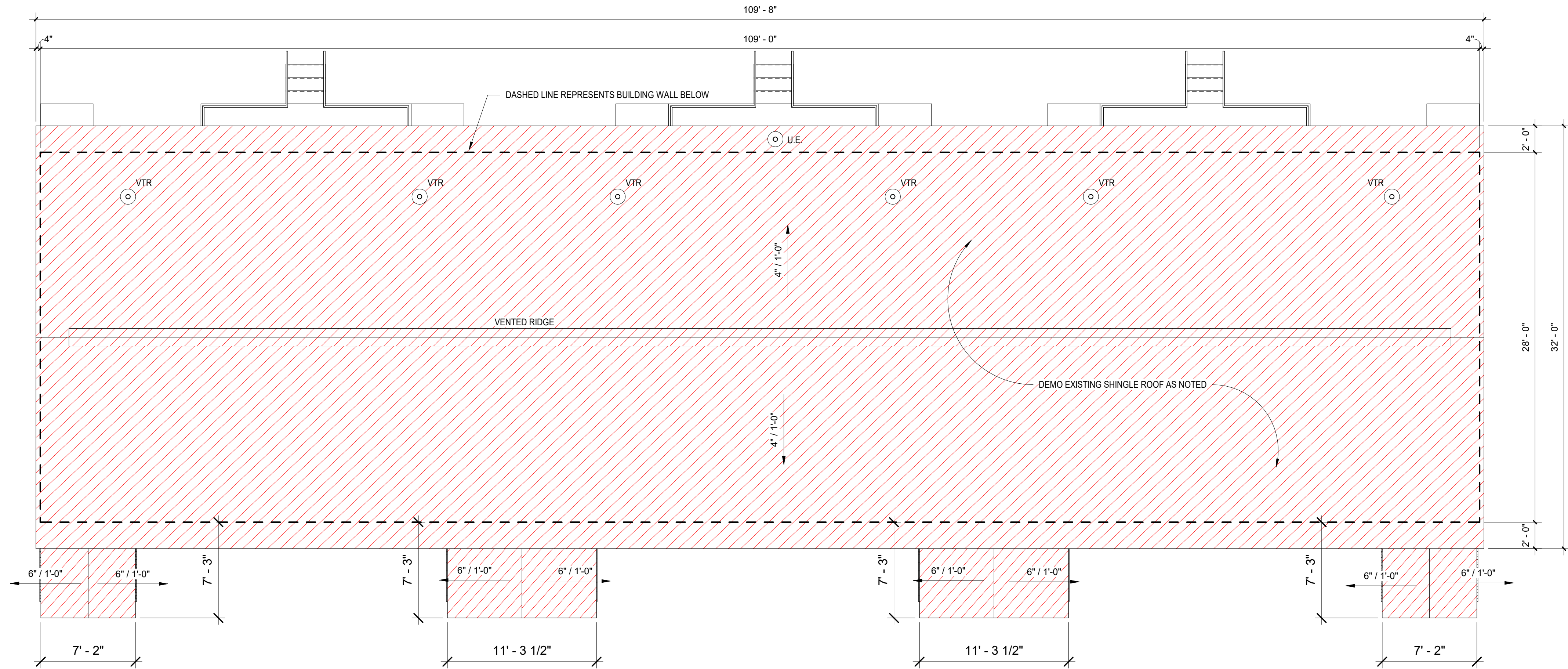
SCOPE OF WORK BUILDING TYPE A- REROOF NOTES

- THE FOLLOWING BUILDINGS ARE TYPE A AND THIS SCOPE OF WORK SHALL APPLY:  
A. BUILDING #4 / IREF D
- REROOF SCOPE OF WORK FOR ALL TYPE A BUILDINGS SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:  
A. CONTRACTOR SHALL PROVIDE AND INSTALL NEW 5/8" CDX ROOF DECK OVER 5% OF THE EXISTING DECK AREA, WHERE EXISTING DECK HAS BEEN DEMOLISHED OR WHERE PENETRATIONS ARE ABANDONED.  
B. CONTRACTOR SHALL PREP THE ENTIRE ROOF DECK FOR NEW WORK.  
C. CONTRACTOR SHALL PROVIDE AND INSTALL NEW VTR FLASHING AT EXISTING VENT PIPES.  
D. CONTRACTOR SHALL PROVIDE AND INSTALL NEW GALVANIZED BOOTS AND UMBRELLAS AT EXISTING UTILITY ENTRANCE PIPES.  
E. CONTRACTOR SHALL PROVIDE AND INSTALL NEW ROOFING SYSTEM SPECIFIED, INCLUDING UNDERLAYMENTS, SHINGLES, RIDGE VENTS, STARTER STRIPS, FLASHING AND EDGE METAL AND ALL ACCESSORIES REQUIRED FOR A COMPLETE INSTALLATION.

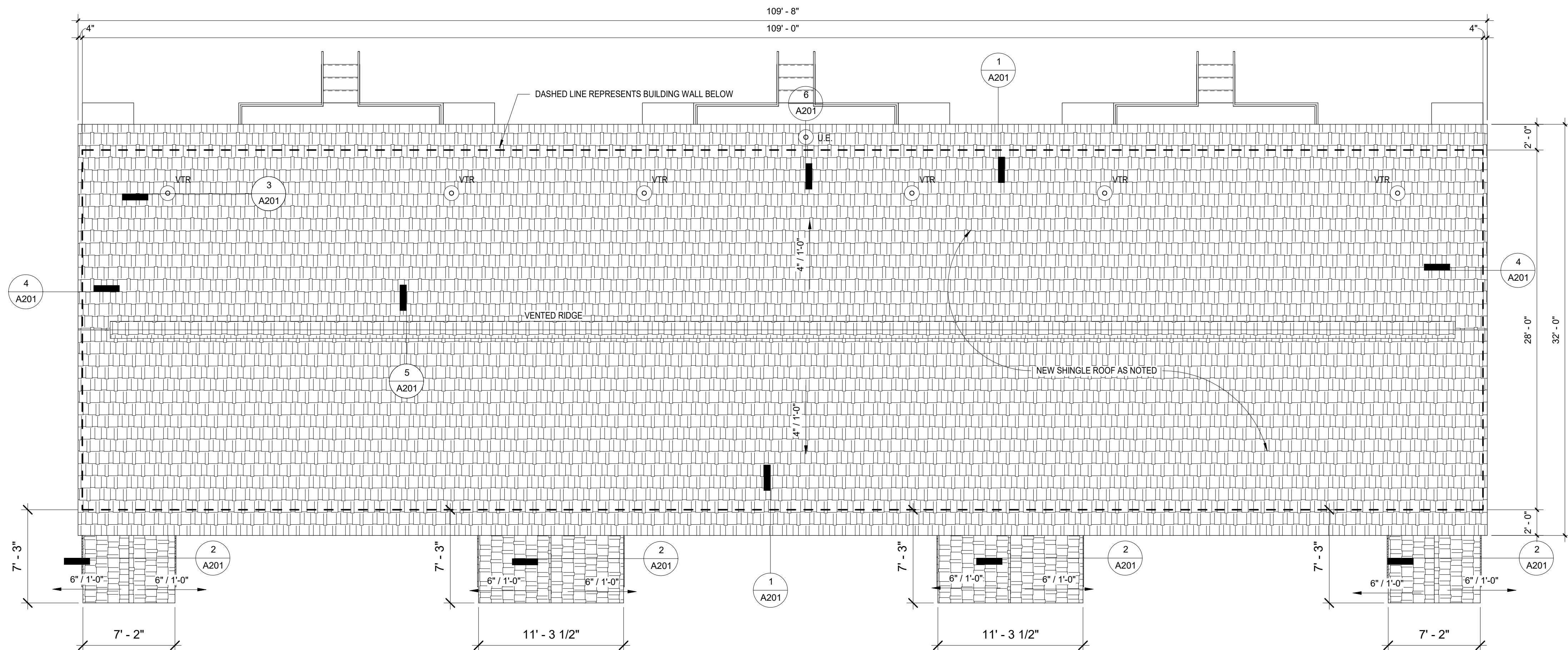


2 BUILDING TYPE A-REROOF PLAN  
3/16" = 1'-0"





1  
A102  
BUILDING TYPE B - DEMOLITON PLAN  
3/16" = 1'-0"



2  
A102  
BUILDING TYPE B - REROOF PLAN  
3/16" = 1'-0"

## SCOPE OF WORK BUILDING TYPE B - DEMOLITION NOTES

- THE FOLLOWING BUILDINGS ARE TYPE B AND THE SCOPE BELOW SHALL APPLY:  
A. BUILDING #2 / IREF B  
B. BUILDING #3 / IREF C  
C. BUILDING #5 / IREF E  
D. BUILDING #6 / IREF F  
E. BUILDING #14 / IREF R  
F. BUILDING #15 / IREF S  
G. BUILDING #17 / IREF U  
H. BUILDING #19 / IREF V
- DEMOLITION SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:  
A. CONTRACTOR SHALL REMOVE ALL EXISTING SHINGLES, FLASHINGS AND UNDERLAYMENTS.  
B. REMOVE EXISTING PIPE BOOTS AS REQUIRED TO ACCOMMODATE NEW WORK. PREP VENT PIPES FOR INSTALLATION OF NEW BOOTS.  
C. CONTRACTOR SHALL RETAIN IN PLACE THE EXISTING VENT PIPES AND UTILITY ENTRANCE PIPES.  
D. CONTRACTOR SHALL DEMOLISH 5% OF THE EXISTING 5/8" CDX ROOF DECK. AREAS TO BE DEMOLISHED WILL BE DETERMINED BY THE ARCHITECT IN THE FIELD.  
E. CONTRACTOR SHALL PREPARE THE DECK FOR NEW WORK.

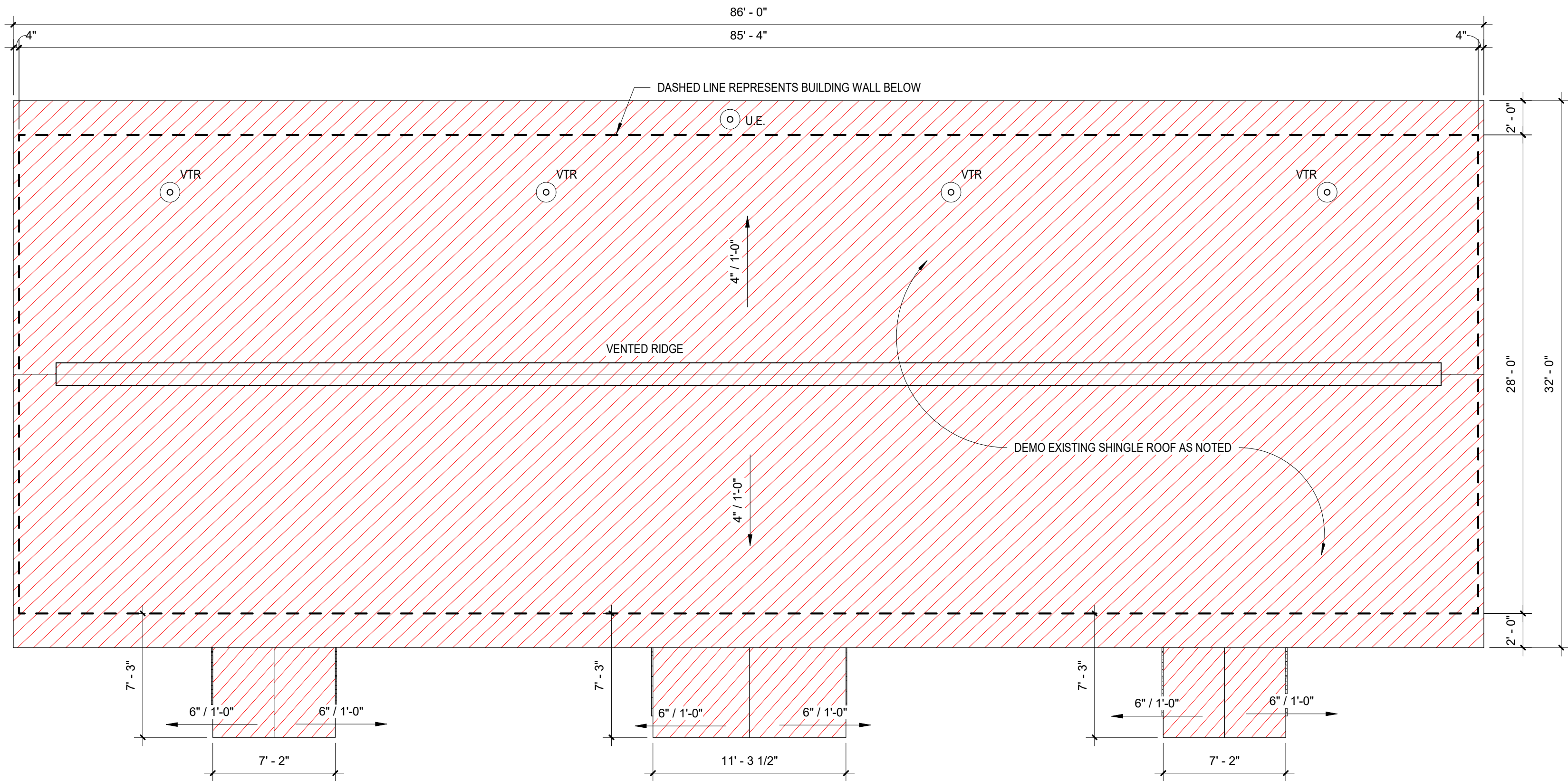
## LEGEND

- |  |  |
|--|--|
|  | DEMOLITION MARK  |
|  | NEW SHINGLES   |
|  | VTR - VENT THRU ROOF   |
|  | U.E. - ELECTRICAL UTILITY ENTRANCE FROM ADJACENT OVERHEAD ELECTRICAL |
|  | RIDGE VENT   |

## SCOPE OF WORK BUILDING TYPE B - REROOF NOTES

- THE FOLLOWING BUILDINGS ARE TYPE B AND THE SCOPE BELOW SHALL APPLY:  
A. BUILDING #2 / IREF B  
B. BUILDING #3 / IREF C  
C. BUILDING #5 / IREF E  
D. BUILDING #6 / IREF F  
E. BUILDING #14 / IREF R  
F. BUILDING #15 / IREF S  
G. BUILDING #17 / IREF U  
H. BUILDING #19 / IREF V
- REROOF SCOPE OF WORK ALL TYPE B BUILDINGS SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:  
A. CONTRACTOR SHALL PROVIDE AND INSTALL NEW 5/8" CDX ROOF DECK OVER 5% OF THE EXISTING DECK AREA, WHERE EXISTING DECK HAS BEEN DEMOLISHED OR WHERE PENETRATIONS ARE ABANDONED.  
B. CONTRACTOR SHALL PREP THE ENTIRE ROOF DECK FOR NEW WORK.  
C. CONTRACTOR SHALL PROVIDE AND INSTALL NEW PIPE BOOTS.  
D. CONTRACTOR SHALL PROVIDE AND INSTALL NEW GALVANIZED BOOTS AND UMBRELLAS AT EXISTING UTILITY ENTRANCE PIPES.  
E. CONTRACTOR SHALL PROVIDE AND INSTALL NEW ROOFING SYSTEM SPECIFIED, INCLUDING UNDERLAYMENTS, SHINGLES, RIDGE VENTS, STARTER STRIPS, FLASHING AND EDGE METAL AND ALL ACCESSORIES REQUIRED FOR A COMPLETE INSTALLATION.





### SCOPE OF WORK BUILDING TYPE C - DEMOLITION NOTES

- THE FOLLOWING BUILDINGS ARE TYPE C AND THE SCOPE BELOW SHALL APPLY:
  - BUILDING #7 / IREF G
  - BUILDING #11 / IREF O
  - BUILDING #12 / IREF P
  - BUILDING #16 / IREF T
  - BUILDING #20 / IREF W
- DEMOLITION SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
  - CONTRACTOR SHALL REMOVE ALL EXISTING SHINGLES, FLASHINGS AND UNDERLAYMENTS.
  - REMOVE EXISTING PIPE BOOTS AS REQUIRED TO ACCOMMODATE NEW WORK. PREP VENT PIPES FOR INSTALLATION OF NEW BOOTS.
  - CONTRACTOR SHALL RETAIN IN PLACE THE EXISTING VENT PIPES AND UTILITY ENTRANCE PIPES.
  - CONTRACTOR SHALL DEMOLISH 5% OF THE EXISTING 5/8" CDX ROOF DECK. AREAS TO BE DEMOLISHED WILL BE DETERMINED BY THE ARCHITECT IN THE FIELD.
  - CONTRACTOR SHALL PREPARE THE DECK FOR NEW WORK.

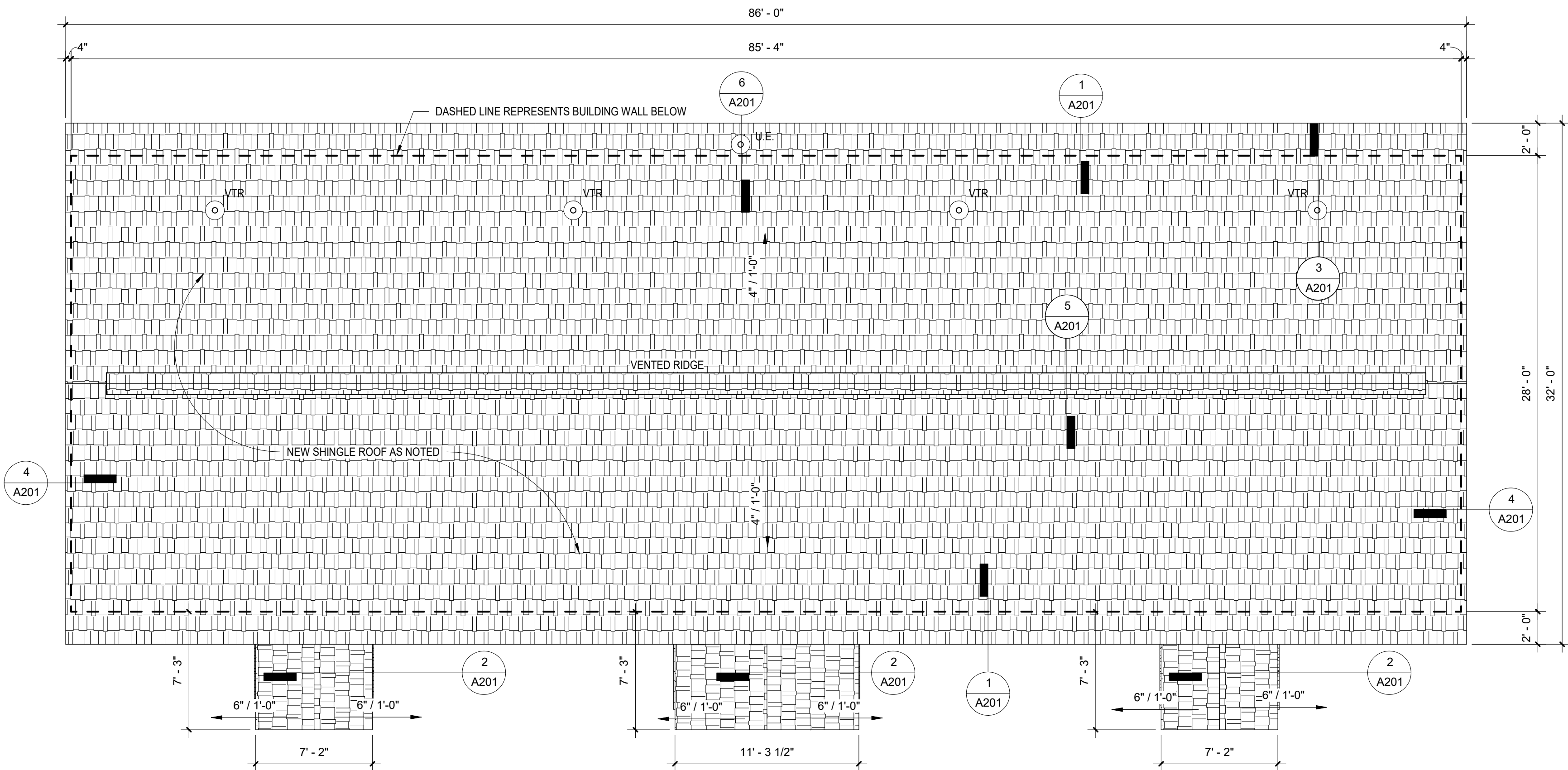
### LEGEND

- |  |  |
|--|--|
|  | DEMOLITION MARK  |
|  | NEW SHINGLES   |
|  | VTR - VENT THRU ROOF   |
|  | RIDGE VENT   |
|  | U.E. - ELECTRICAL UTILITY ENTRANCE FROM ADJACENT OVERHEAD ELECTRICAL |

### SCOPE OF WORK BUILDING TYPE C - REROOF NOTES

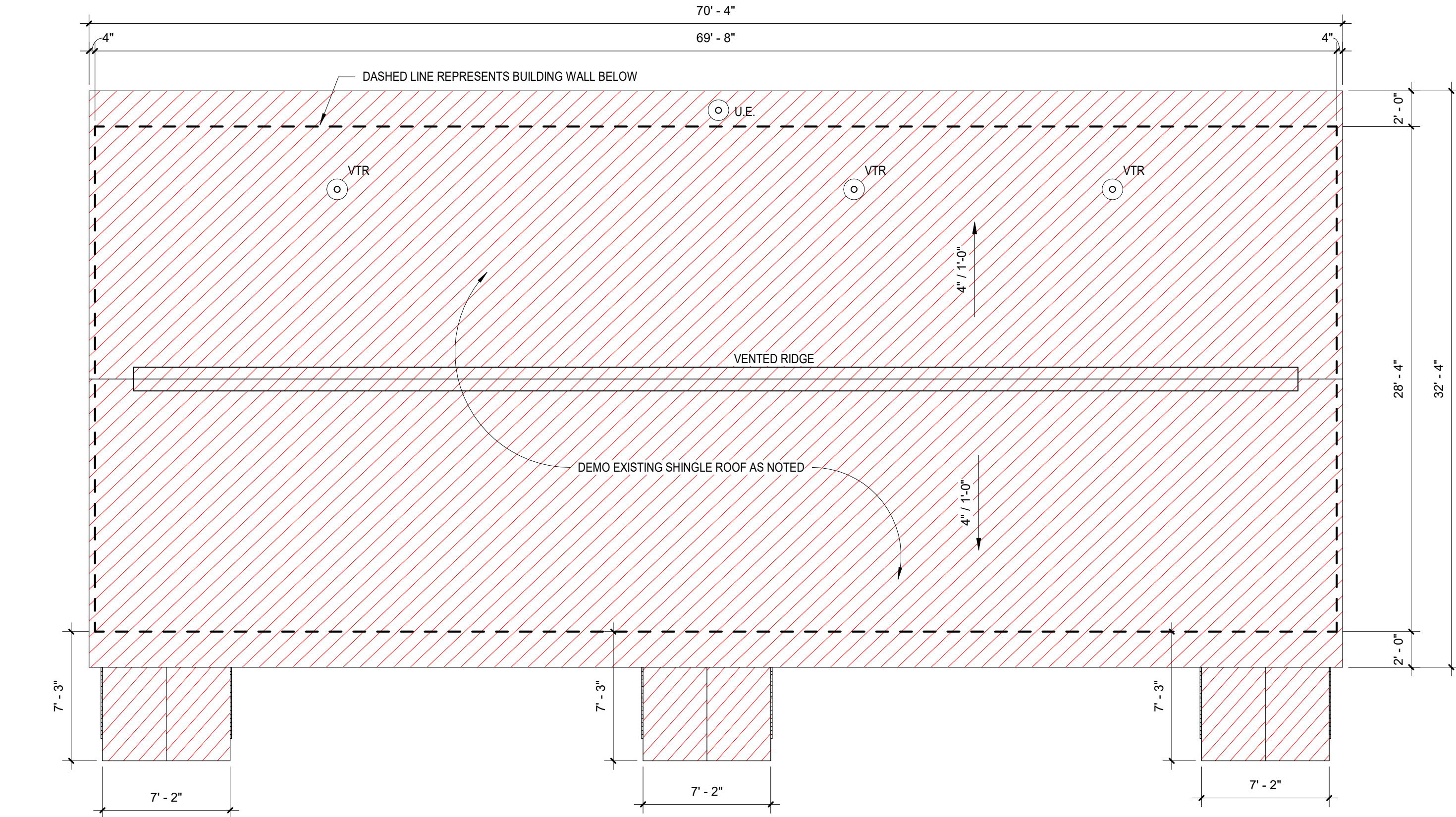
- THE FOLLOWING BUILDINGS ARE TYPE C AND THE SCOPE BELOW SHALL APPLY:
  - BUILDING #7 / IREF G
  - BUILDING #11 / IREF O
  - BUILDING #12 / IREF P
  - BUILDING #16 / IREF T
  - BUILDING #20 / IREF W
- REROOF SCOPE OF WORK ALL TYPE B BUILDINGS SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW 5/8" CDX ROOF DECK OVER 5% OF THE EXISTING DECK AREA, WHERE EXISTING DECK HAS BEEN DEMOLISHED OR WHERE PENETRATIONS ARE ABANDONED.
  - CONTRACTOR SHALL PREP THE ENTIRE ROOF DECK FOR NEW WORK.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW PIPE BOOTS.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW GALVANIZED BOOTS AND UMBRELLAS AT EXISTING UTILITY ENTRANCE PIPES.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW ROOFING SYSTEM SPECIFIED, INCLUDING UNDERLAYMENTS, SHINGLES, RIDGE VENTS, STARTER STRIPS, FLASHING AND EDGE METAL AND ALL ACCESSORIES REQUIRED FOR A COMPLETE INSTALLATION.

1 BUILDING TYPE C - DEMOLITION PLAN  
3/16" = 1'-0"

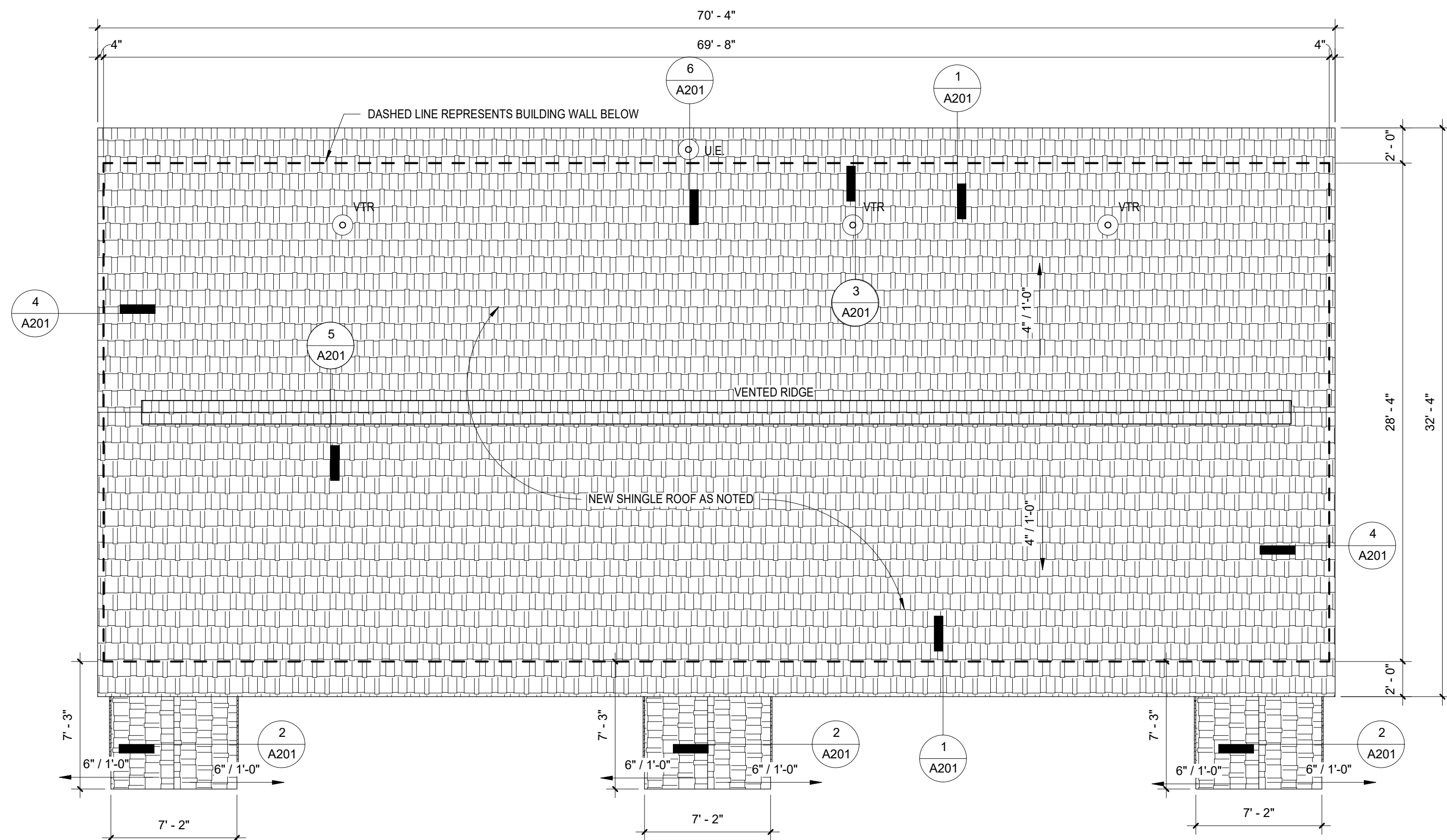


2 BUILDING TYPE C - REROOF PLAN  
3/16" = 1'-0"





1 BUILDING TYPE D - DEMOLITION PLAN  
3/16" = 1'-0"



2 BUILDING TYPE D - REROOF PLAN  
3/16" = 1'-0"

### SCOPE OF WORK BUILDING TYPE D - DEMOLITION NOTES

- THE FOLLOWING BUILDINGS ARE TYPE D AND THE SCOPE BELOW SHALL APPLY:
  - BUILDING #10 / IREF N
  - BUILDING #13 / IREF Q
- DEMOLITION SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
  - CONTRACTOR SHALL REMOVE ALL EXISTING SHINGLES, FLASHINGS AND UNDERLAYMENTS.
  - REMOVE EXISTING PIPE BOOTS AS REQUIRED TO ACCOMMODATE NEW WORK. PREP VENT PIPES FOR INSTALLATION OF NEW BOOTS.
  - CONTRACTOR SHALL RETAIN IN PLACE THE EXISTING VENT PIPES AND UTILITY ENTRANCE PIPES.
  - CONTRACTOR SHALL DEMOLISH 5% OF THE EXISTING 5/8" CDX ROOF DECK. AREAS TO BE DEMOLISHED WILL BE DETERMINED BY THE ARCHITECT IN THE FIELD.
  - CONTRACTOR SHALL PREPARE THE DECK FOR NEW WORK.

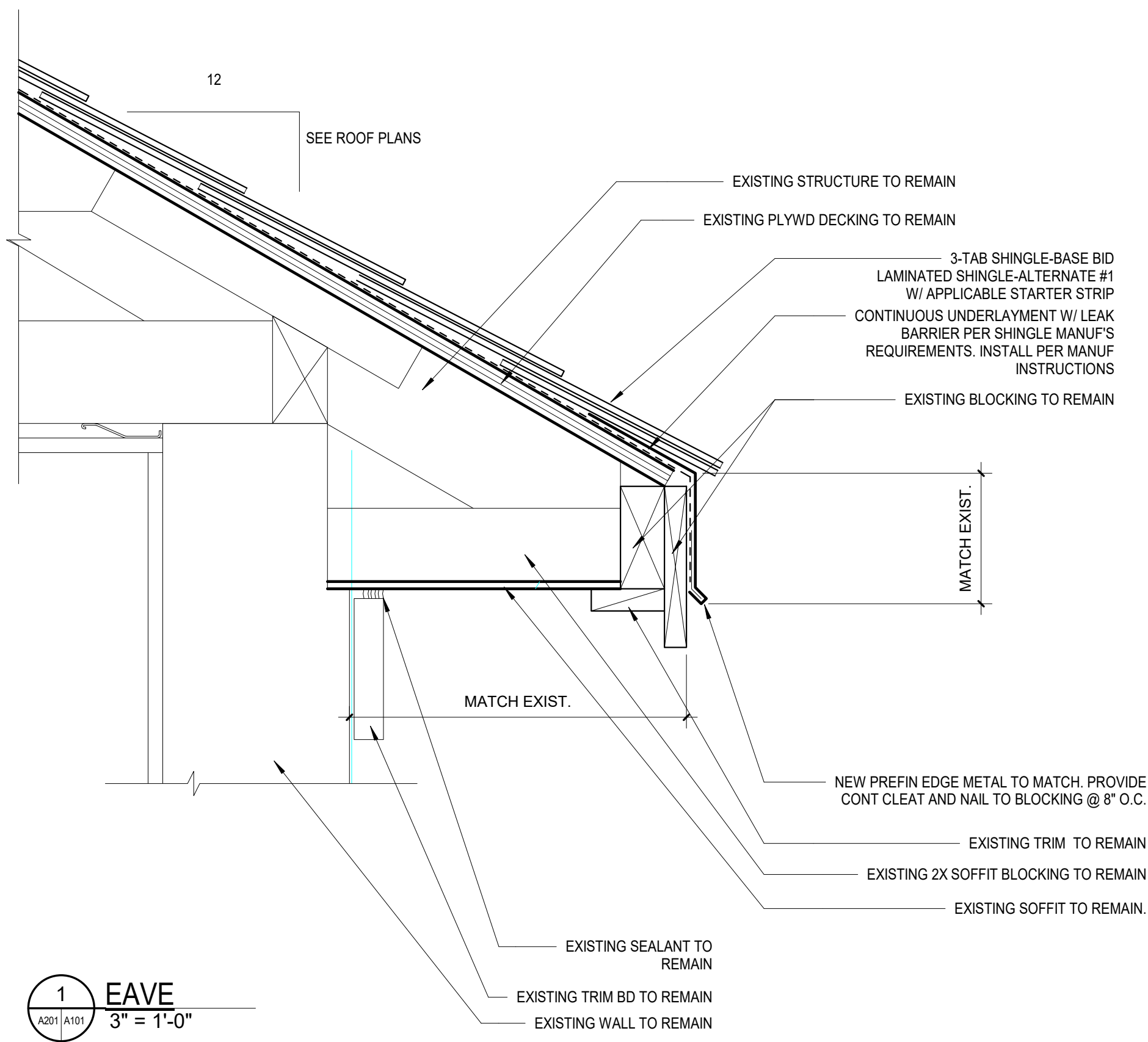
### LEGEND

- |  |  |
|--|--|
|  | DEMOLITION MARK  |
|  | NEW SHINGLES   |
|  | VTR - VENT THRU ROOF   |
|  | RIDGE VENT   |
|  | U.E. - ELECTRICAL UTILITY ENTRANCE FROM ADJACENT OVERHEAD ELECTRICAL |

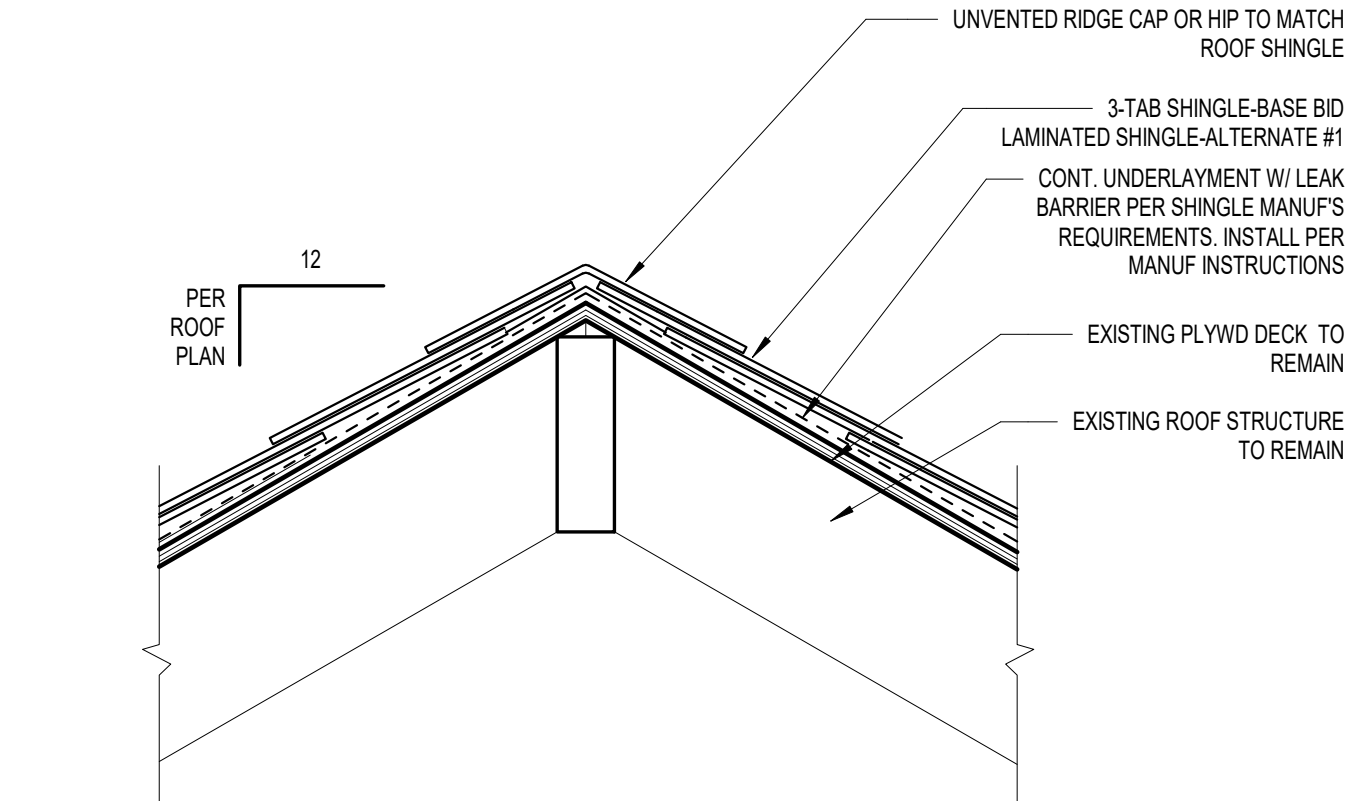
### SCOPE OF WORK BUILDING TYPE D - REROOF NOTES

- THE FOLLOWING BUILDINGS ARE TYPE D AND THE SCOPE BELOW SHALL APPLY:
  - BUILDING #10 / IREF N
  - BUILDING #13 / IREF Q
- REROOF SCOPE OF WORK ALL TYPE B BUILDINGS SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW 5/8" CDX ROOF DECK OVER 5% OF THE EXISTING DECK AREA, WHERE EXISTING DECK HAS BEEN DEMOLISHED OR WHERE PENETRATIONS ARE ABANDONED.
  - CONTRACTOR SHALL PREP THE ENTIRE ROOF DECK FOR NEW WORK.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW PIPE BOOTS.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW GALVANIZED BOOTS AND UMBRELLAS AT EXISTING UTILITY ENTRANCE PIPES.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW ROOFING SYSTEM SPECIFIED, INCLUDING UNDERLAYMENTS, SHINGLES, RIDGE VENTS, STARTER STRIPS, FLASHING AND EDGE METAL AND ALL ACCESSORIES REQUIRED FOR A COMPLETE INSTALLATION.

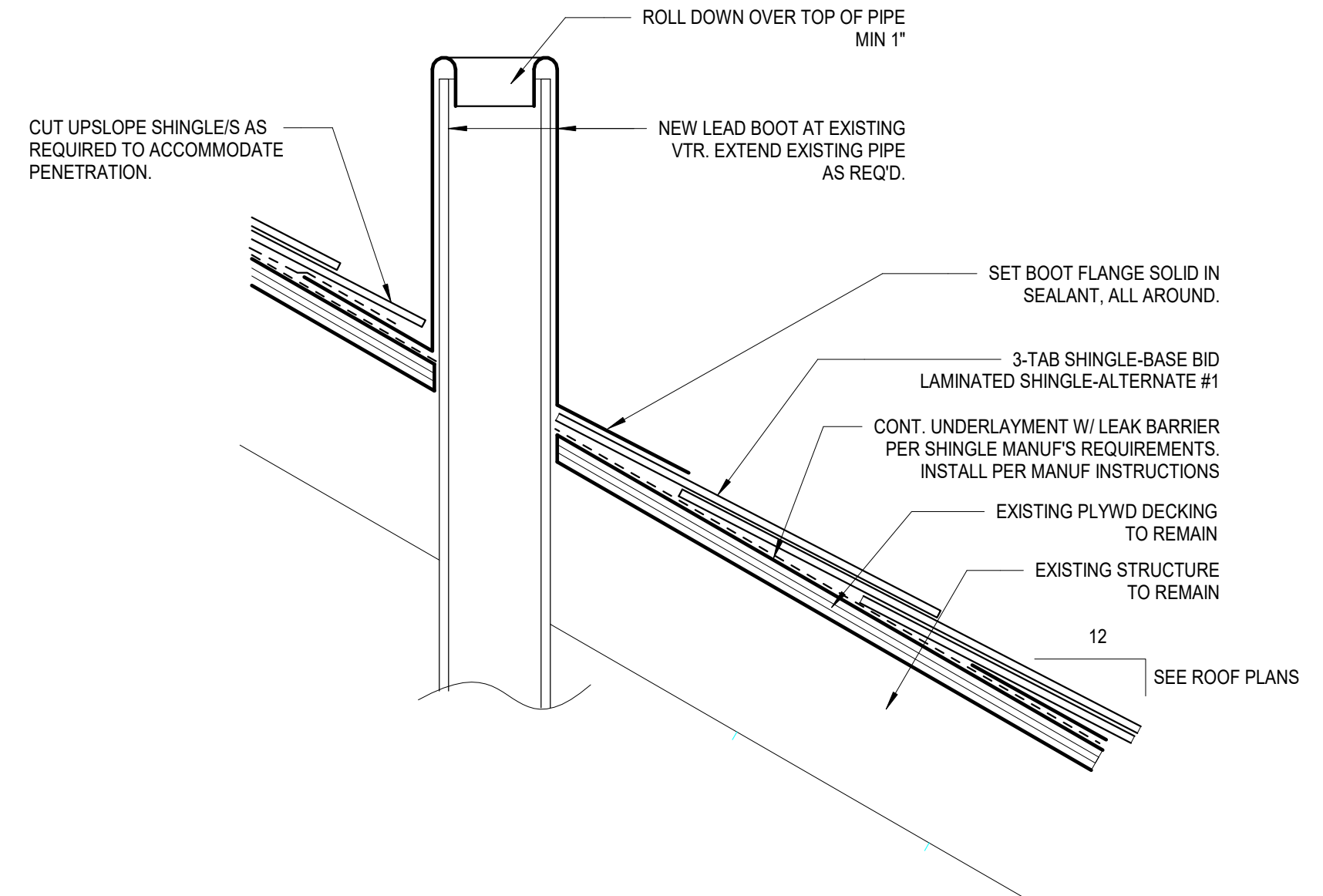




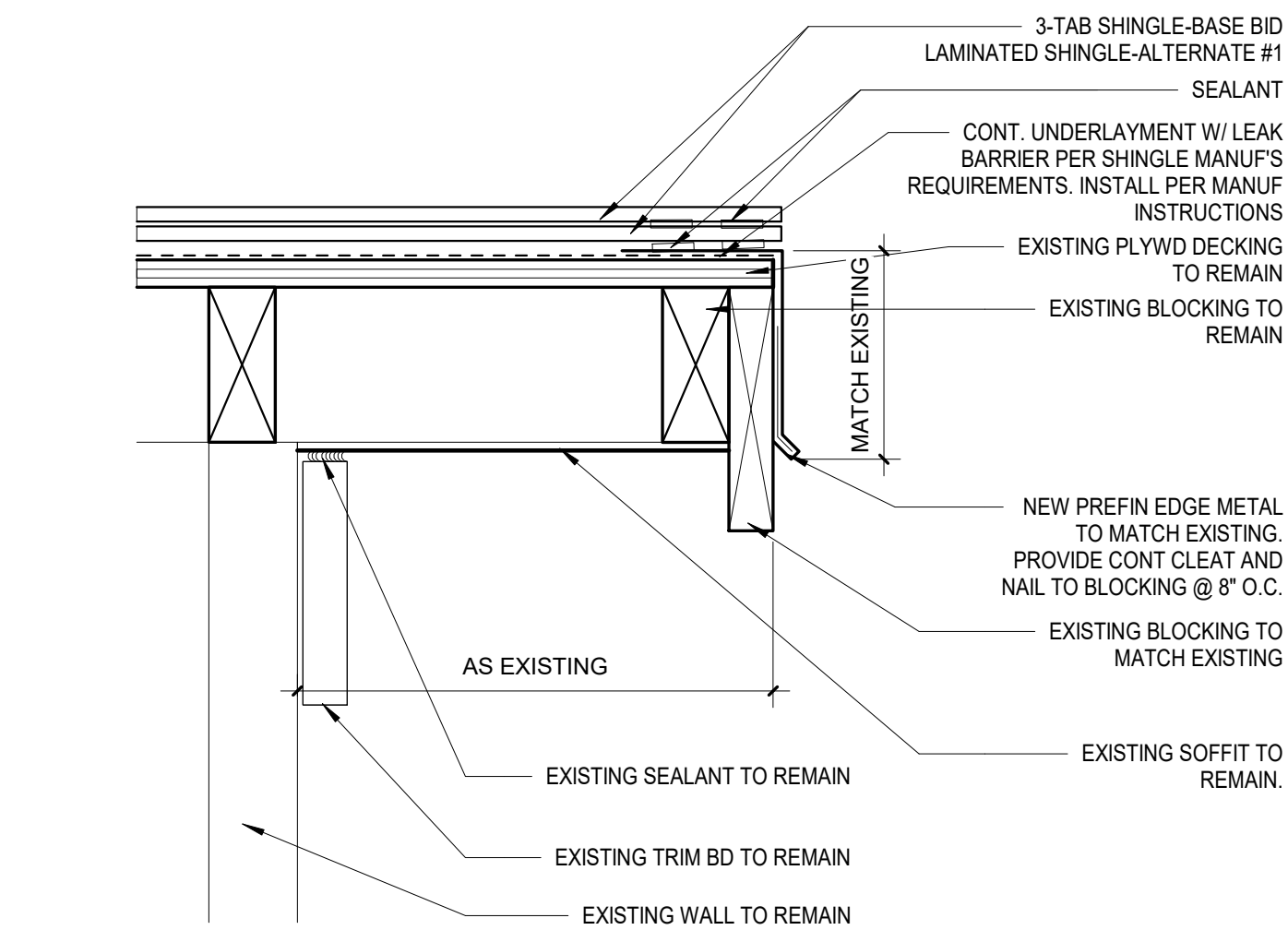
1 EAVE  
3" = 1'-0"



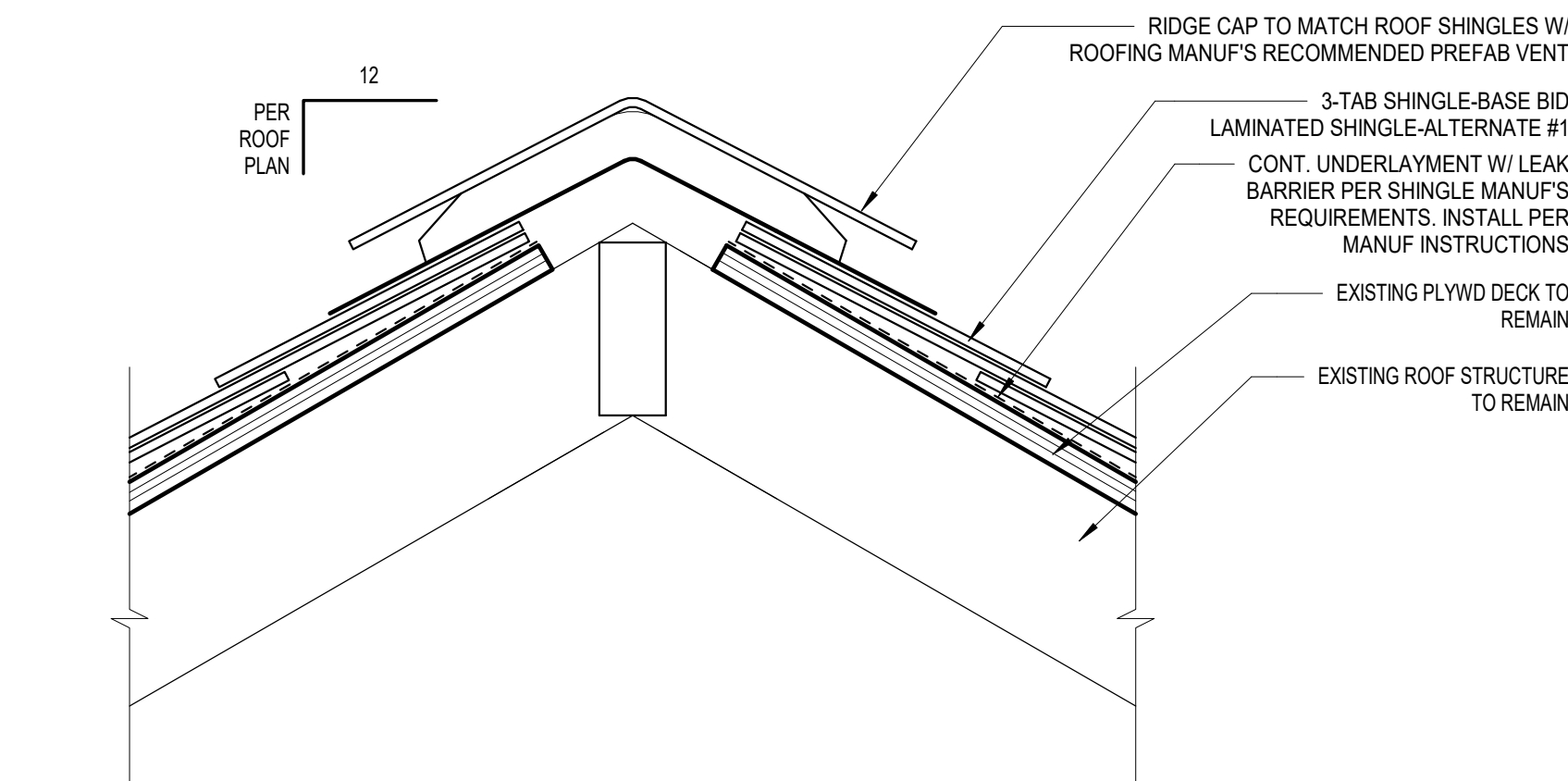
2 UNVENTED RIDGE  
3" = 1'-0"



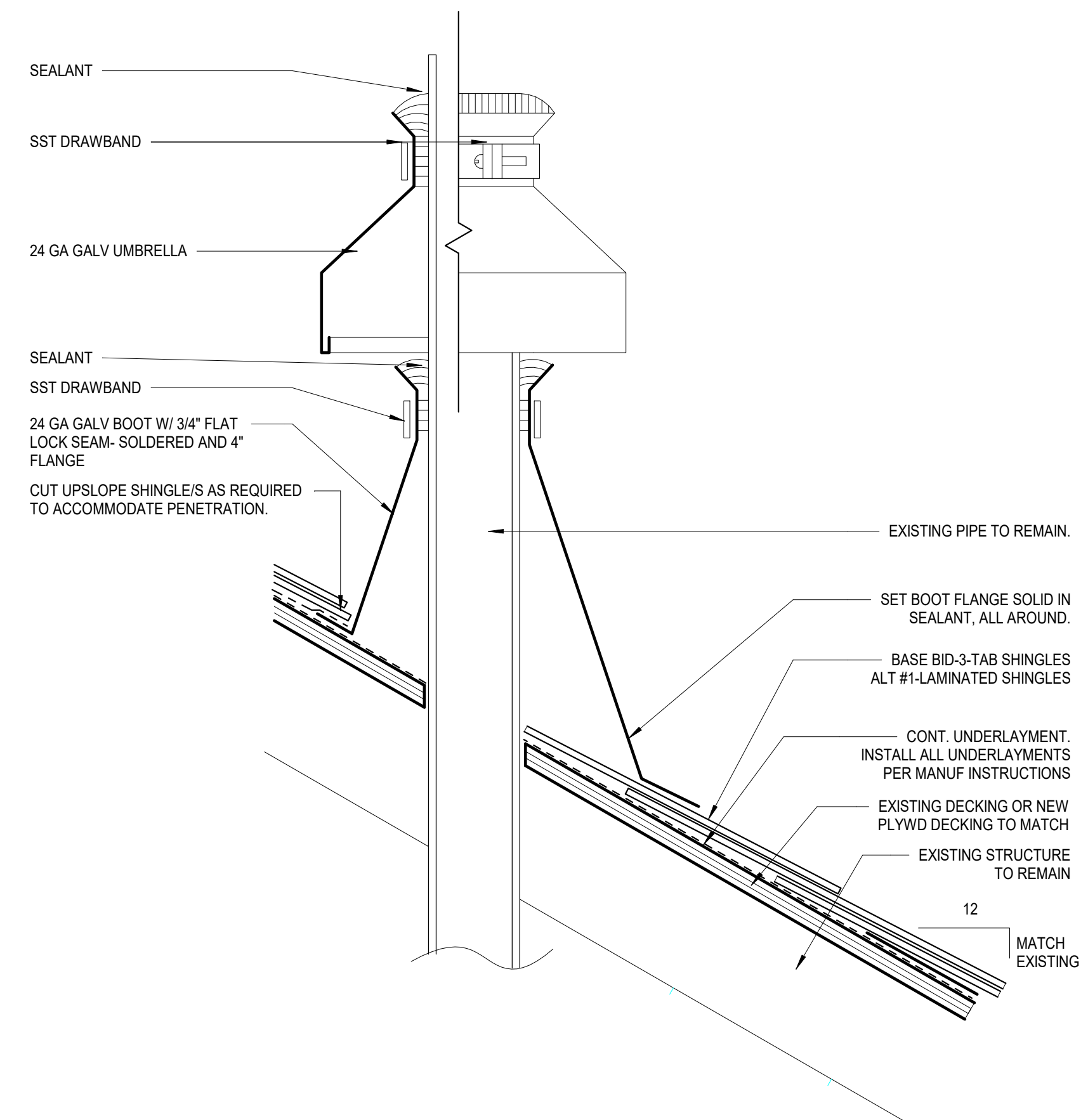
3 VTR  
3" = 1'-0"



4 RAKE  
3" = 1'-0"



5 VENTED RIDGE  
3" = 1'-0"



6 OVERHEAD UTILITY ENTRANCE  
3" = 1'-0"



IFB#RRP03.21 BHA ROOF REPLACEMENT  
PROJECT - HURRICANE ZETA REPAIRS -  
VOLUME 6 - SUNCOAST VILLAS APARTMENTS  
  
BILOXI HOUSING AUTHORITY  
330 BENACHI AVENUE BILOXI, MS 39530

VOLUME 6 - DRAWING INDEX

INDEX - GENERAL	
G000	TITLE SHEET
INDEX - ARCHITECTURAL	
A100	REFERENCE SITE PLAN
A101	BUILDING TYPES A & A1 - DEMOLITION & REROOF PLANS
A102	BUILDING TYPES B & B1 - DEMOLITION & REROOF PLANS
A103	BUILDING TYPES C & C1 - DEMOLITION & REROOF PLANS
A104	TYPES D & D1 - DEMOLITION & REROOF PLANS
A105	BUILDING TYPES E & E1 - DEMOLITION & REROOF PLANS
A106	CLINIC - DEMOLITION & REROOF PLANS
A107	1656 CARROL DRIVE - DEMOLITION & REROOF PLANS
A108	1654 CARROL DRIVE - DEMOLITION & REROOF PLANS
A109	1680 CARROL DRIVE - DEMOLITION & REROOF PLANS
A110	1686 CARROL DRIVE - DEMOLITION & REROOF PLANS
A201	SHINGLE ROOF DETAILS

PROJ #: 2021-23

IFB#RRP03.21 BHA ROOF REPLACEMENT PROJECT -  
HURRICANE ZETA REPAIRS - VOLUME 6 - SUNCOAST  
VILLAS APARTMENTS  
  
BILOXI HOUSING AUTHORITY  
330 BENACHI AVENUE BILOXI, MS 39530

DATE: 02/28/2021

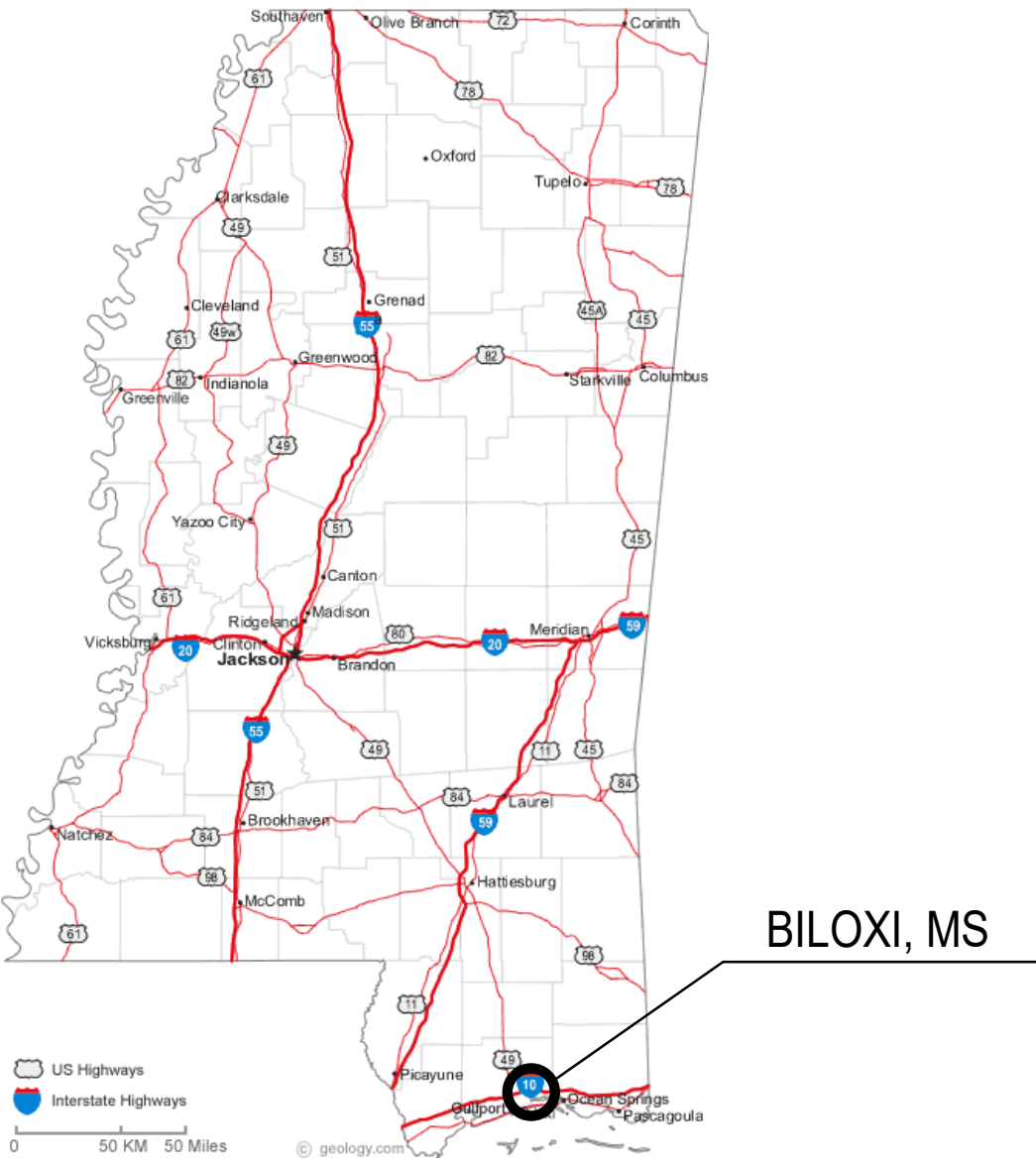
SET TYPE  
BID SET

PROJECT TEAM

ARCHITECT  
ALLRED STOLARSKI  
ARCHITECTS

711 CHURCH STREET  
OCEAN SPRINGS, MS 39564  
T (228) 762-1975  
HOPPY ALLRED, AIA, PRINCIPAL  
ARCHITECT  
hoppy@allredstolarski.com

LOCATION MAP NTS



VICINITY MAP NTS

SUNCOAST VILLAS



ALTERNATES

- ALTERNATE #1: AN ADDITIVE ALTERNATE FOR ALL LABOR, MATERIALS, AND EQUIPMENT NECESSARY TO REROOF BUILDINGS AT BAYVIEW OAKS, COMPLETE AS INDICATED ON THE DRAWINGS AND IN ACCORDANCE WITH THE SPECIFICATIONS.
- ALTERNATE #2: AN ADDITIVE ALTERNATE FOR ALL LABOR, MATERIALS, AND EQUIPMENT NECESSARY TO INSTALL A LAMINATED SHINGLE ROOF IN LIEU OF THE BASE BID 3-TAB SHINGLE ROOF, COMPLETE AS INDICATED ON THE DRAWINGS AND IN ACCORDANCE WITH THE SPECIFICATIONS.

PRIORITY WORK

- THE FOLLOWING LOCATIONS SHALL HAVE PRIORITY IN SCHEDULING:
- 239 GEORGIA
  - 1656/58 PERRY



allred  
stolarski  
architects



711 Church Street  
Ocean Springs, MS 39564

Phone: (228) 762-1975  
Email: contact@allredstolarski.com



GENERAL WORK NOTES

1. SITE IS ACCESSIBLE FROM IBERVILLE DRIVE ONLY.
2. ALL INFORMATION REGARDING EXISTING CONDITIONS IS BASED ON OWNER SUPPLIED DOCUMENTS AND MAY NOT REFLECT ACTUAL FIELD CONDITIONS. UPON DISCOVERY OF ANY DISCREPANCIES BETWEEN FIELD CONDITIONS AND DRAWINGS DEPICTING EXISTING CONDITIONS OR UPON DISCOVERY OF UNKNOWN CONDITIONS DETRIMENTAL TO THE COMPLETION OF THE WORK AS INDICATED ON THE DRAWINGS, CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT IN WRITING. THE CONTRACTOR IS RESPONSIBLE FOR ALL SHORING AND BRACING NECESSARY TO MAINTAIN STRUCTURAL INTEGRITY. AT NO TIME SHALL THE EXISTING STRUCTURAL MEMBERS BE SUBJECTED TO CUTTING, DRILLING, OR ANY MODIFICATION PROCESS THAT MAY INTERFERE WITH ITS STRUCTURAL INTEGRITY. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL DIMENSIONS AND CONDITIONS IN FIELD PRIOR TO BIDDING.
3. SALVAGE IS DEFINED AS THE CAREFUL REMOVAL AND RETAINING OF ITEMS AS SHOWN IN DRAWINGS FOR POSSIBLE REUSE OR DELIVERY TO OWNER.
4. CARE SHOULD BE TAKEN AT THE INTERFACE BETWEEN DEMOLITION AND EXISTING CONSTRUCTION TO REMAIN, TO AVOID ANY DAMAGE TO EXISTING CONSTRUCTION. AFTER REMOVAL OF EXISTING ROOFING OR CONSTRUCTION, PATCH AND REPAIR DAMAGE TO ANY EXISTING WALLS, SIDEWALKS, PAVING, CURBS, LANDSCAPING, ETC. TO A LIKE NEW CONDITION.
5. THE CONTRACTOR SHALL NOTIFY, COORDINATE, SCHEDULE, AND RECEIVE PRIOR PERMISSION FROM THE USING AGENCY PRIOR TO ANY SHUT DOWN OF BUILDING SERVICES AS REQUIRED TO COMPLETE THE WORK. NOTIFICATION SHALL INCLUDE LENGTH OF TIME REQUIRED TO SHUT DOWN, LENGTH OF TIME SERVICE WILL BE DISCONNECTED, AND TIME REQUIRED TO RECONNECT SERVICES. SHUT DOWN SHALL NOT OCCUR DURING BUSINESS HOURS.
6. THE EXISTING BUILDING ENVELOPES SHALL BE MAINTAINED IN A WATERTIGHT CONDITION AT ALL TIMES.
7. THE CONTRACTOR SHALL PROVIDE TEMPORARY PROTECTION AS NECESSARY AND AS REQUIRED TO SEAL OFF THE REST OF THE EXISTING BUILDING AND MAINTAIN BUILDING DURING DEMOLITION.
8. ALL DEMOLITION WORK SHALL BE EXECUTED IN CONFORMANCE WITH ALL CODES AND ORDINANCES AS SET FORTH BY ALL GOVERNING AUTHORITIES.
9. ALL NEW DOWNSPOUTS AND GUTTERS SHALL MATCH THE SIZE, MATERIAL, AND FINISH OF EXISTING DOWNSPOUTS AND GUTTERS THAT SHALL BE DEMOLISHED. ALL GUTTERS SHALL BE BOX PROFILE. ALL DOWNSPOUTS SHALL BE PLAIN RECTANGULAR SECTION.
10. THE FOLLOWING BUILDINGS SHALL HAVE PRIORITY IN SCHEDULING:  
A. 237/239 GEORGIA DRIVE  
B. 1656/1658 PERRY DRIVE

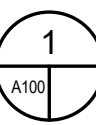
LEGEND



STREET NUMBER  
BUILDING TYPE



NO WORK THIS LOCATION.

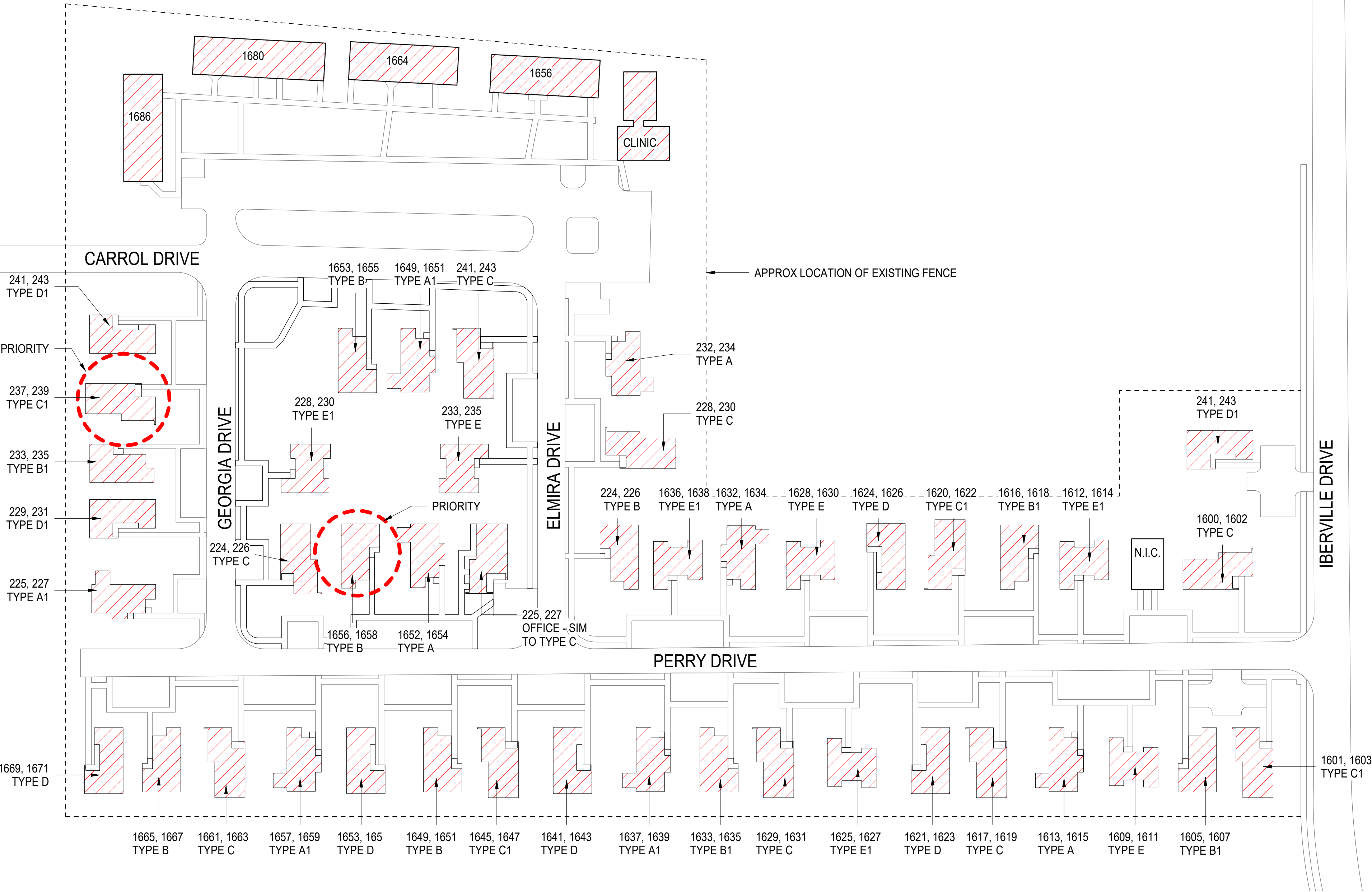


REFERENCE SITE PLAN

1" = 60'-0"



RODENBERG AVENUE



REFERENCE SITE PLAN

IFB#RRP03.21 BHA ROOF REPLACEMENT PROJECT - HURRICANE ZETA REPAIRS - VOLUME 6 - SUNCOAST VILLAS APARTMENTS

BILOXI HOUSING AUTHORITY

330 BENACHI AVENUE BILOXI, MS 39530

JOB NUMBER  
2021-23

DATE  
02/28/2021

REVISION  
DRAWN BY  
SCN

CHECKED BY  
HA



SHEET

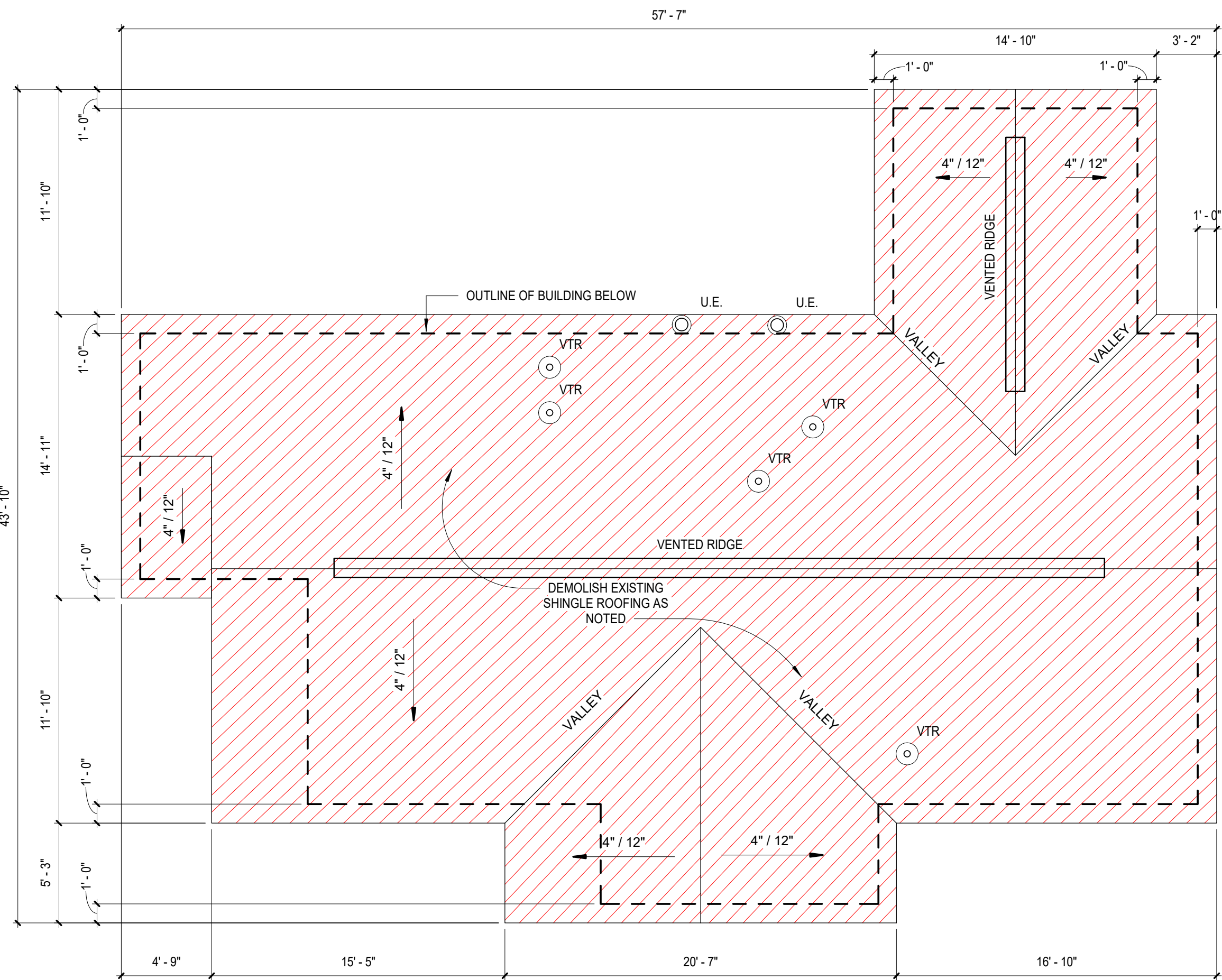
A100

711 Church Street  
Ocean Springs, MS 39564

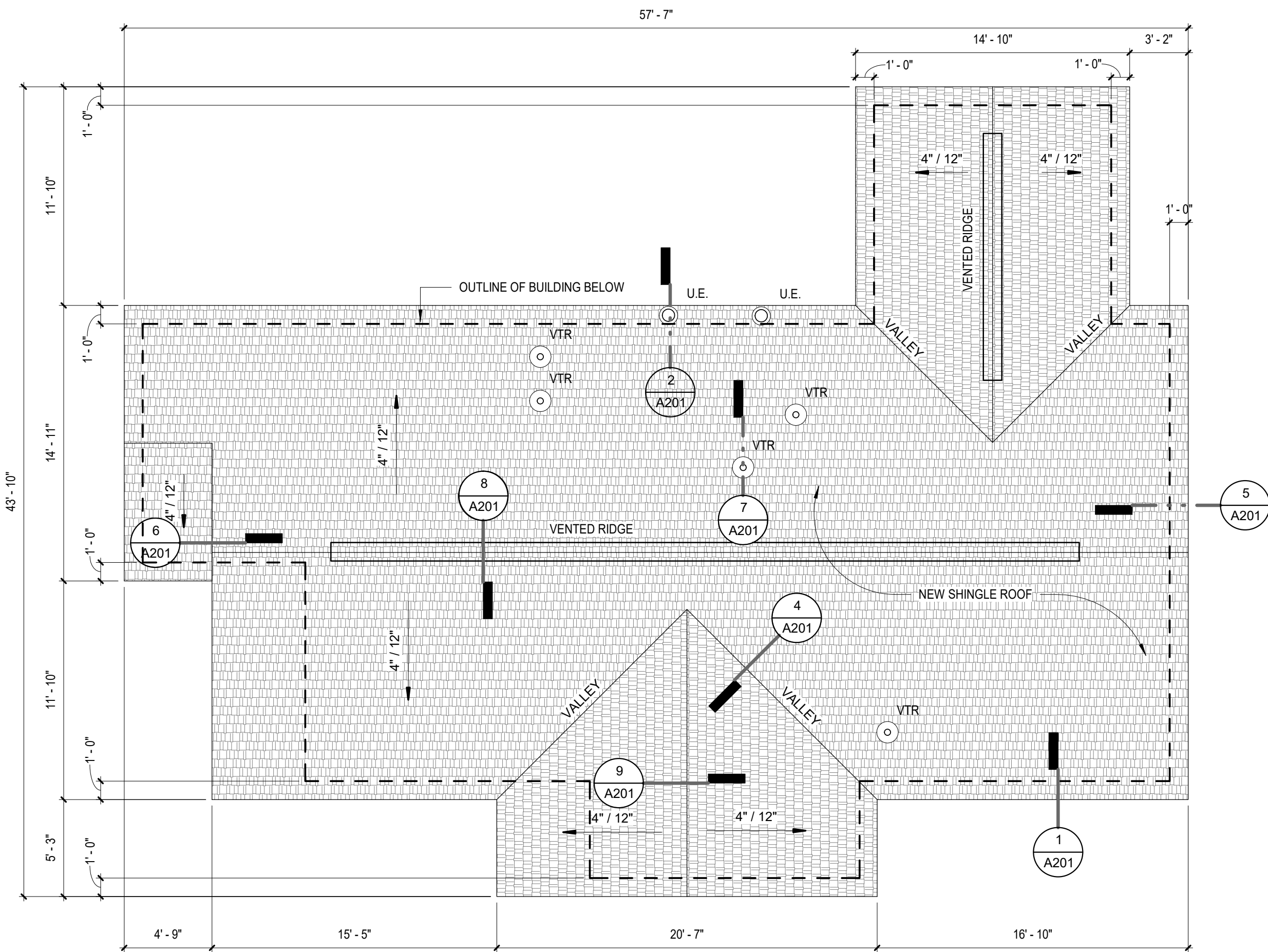
alred  
stolarski  
architects

Phone: (228) 762-1975  
Email: [contact@alredstolarski.com](mailto:contact@alredstolarski.com)

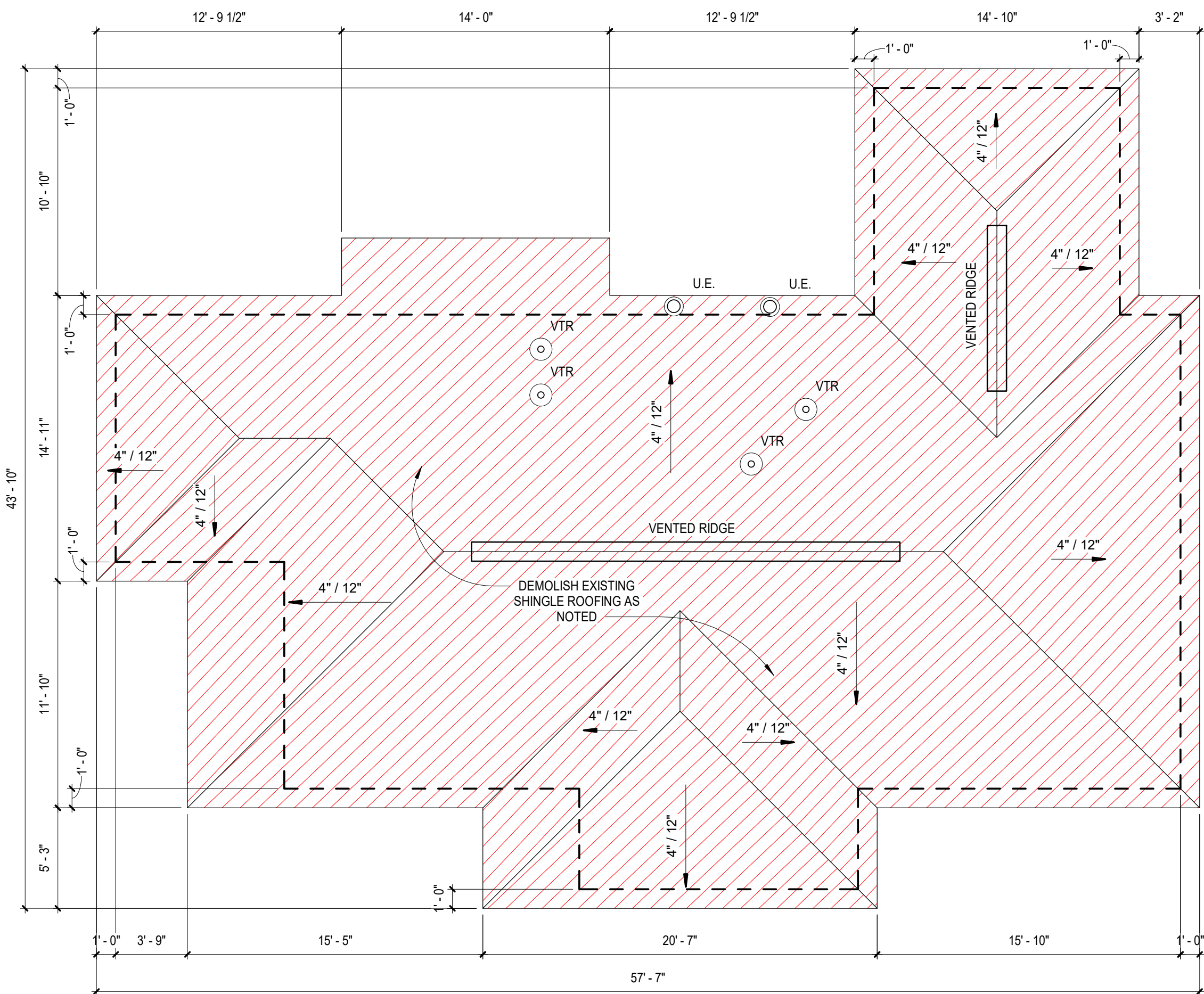




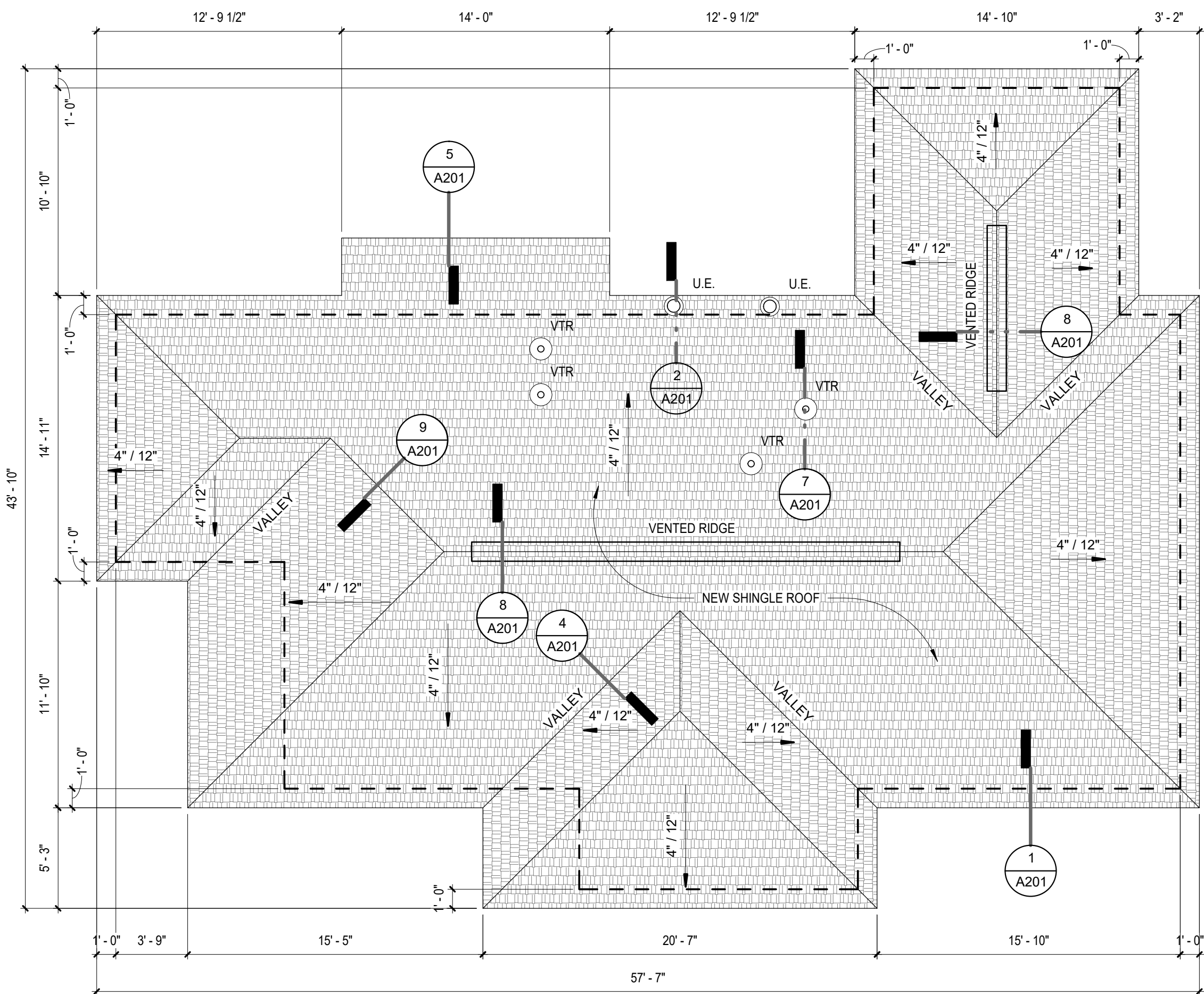
1 TYPE A - DEMOLITION PLAN  
3/16" = 1'-0"



2 TYPE A - REROOF PLAN  
3/16" = 1'-0"



3 TYPE A1 - DEMOLITION PLAN  
3/16" = 1'-0"



4 TYPE A1 - REROOF PLAN  
3/16" = 1'-0"

## SCOPE OF WORK BUILDINGS TYPE B & B1 - DEMOLITION NOTES

- THE FOLLOWING BUILDINGS ARE TYPE B:  
A. 1653, 1655 CARROL DRIVE  
B. 1665, 1667 PERRY DRIVE  
C. 1649, 1651 PERRY DRIVE  
D. 224, 226 ELMIRA DRIVE
- THE FOLLOWING BUILDINGS ARE TYPE B1:  
A. 233, 235 GEORGIA DRIVE  
B. 1653, 1658 PERRY DRIVE - THIS BUILDING SHALL HAVE PRIORITY IN SCHEDULING.  
C. 1633, 1635 PERRY DRIVE  
D. 1616, 1618 PERRY DRIVE  
E. 1605, 1607 PERRY DRIVE
- DEMOLITION SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:  
A. CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE ROOFING MATERIAL.  
B. CONTRACTOR SHALL DEMOLISH ALL EXISTING UNDERLAYMENTS.  
C. CONTRACTOR SHALL DEMOLISH ALL PIPE BOOTS, CRICKETS AND OTHER PENETRATION FLASHINGS.  
D. CONTRACTOR SHALL RETAIN IN PLACE ALL EXISTING VTR'S, FLUES, AND UTILITY ENTRANCE PIPES.  
E. CONTRACTOR SHALL DEMOLISH ALL METAL EAVE AND RAKE TRIM.  
F. CONTRACTOR SHALL DEMOLISH ALL FLASHINGS AND COUNTER FLASHINGS NOT OTHERWISE NOTED TO REMAIN. EXISTING STEPPED THRU-WALL FLASHING SHALL REMAIN IN PLACE AND SHALL BE REUSED.  
G. CONTRACTOR SHALL DEMOLISH 5% OF THE EXISTING 5/8" CDX ROOF DECK. AREAS TO BE DEMOLISHED WILL BE DETERMINED BY THE ARCHITECT IN THE FIELD.  
H. CONTRACTOR SHALL PREPARE THE DECK FOR NEW WORK.

## LEGEND

- DEMOLITION MARK
- NEW SHINGLES
- VENTED RIDGE

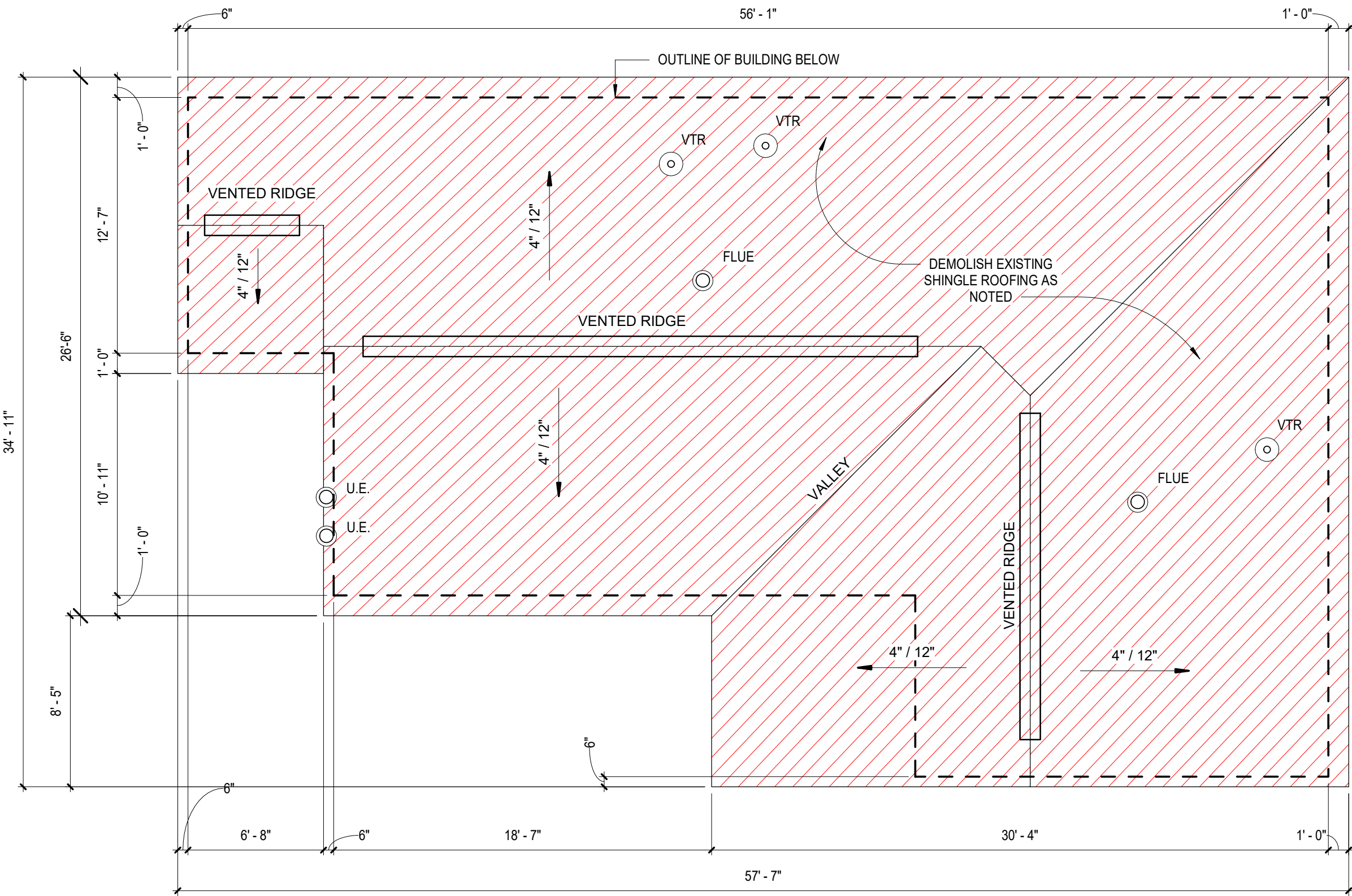
- VTR - EXISTING VENT THRU ROOF TO REMAIN. PROVIDE NEW BOOT.
- FLUE - EXISTING FLUE WITH COWL TO REMAIN IN PLACE. PROVIDE NEW BOOT.
- T.V. - TURTLE VENT - EXISTING. DEMOLISH AND PROVIDE NEW IN EXISTING LOCATION.
- G.V. - GABLE VENT - EXISTING. PROTECT AND RETAIN IN PLACE.
- U.E. - UTILITY ENTRANCE - EXISTING PIPE TO REMAIN IN PLACE. PROVIDE NEW BOOT.

## SCOPE OF WORK BUILDINGS TYPE A & A1 - REROOF NOTES

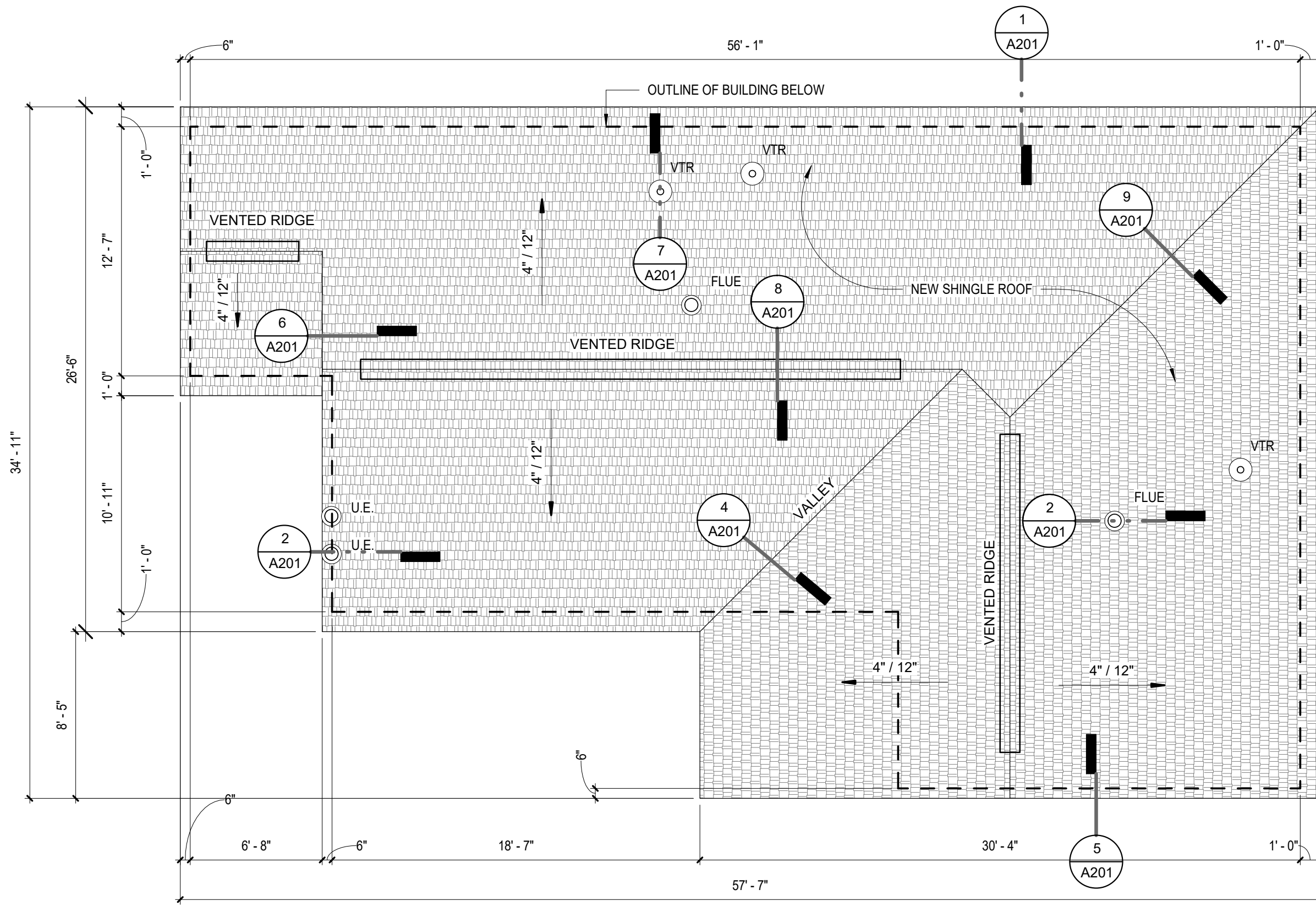
- THE FOLLOWING BUILDINGS ARE TYPE A:  
A. 1652, 1654 PERRY DRIVE  
B. 1632, 1634 PERRY DRIVE  
C. 1613, 1615 PERRY DRIVE  
D. 232, 234 ELMIRA DRIVE
- THE FOLLOWING BUILDINGS ARE TYPE A1:  
A. 1637, 1639 PERRY DRIVE  
B. 1657, 1659 PERRY DRIVE  
C. 225, 227 GEORGIA DRIVE  
D. 1649, 1651 CARROL DRIVE
- REROOF SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:  
A. CONTRACTOR SHALL PROVIDE AND INSTALL NEW 5/8" CDX ROOF DECK OVER 5% OF THE EXISTING DECK AREA, WHERE EXISTING DECK HAS BEEN DEMOLISHED OR WHERE PENETRATIONS ARE ABANDONED.  
B. CONTRACTOR SHALL PROVIDE AND INSTALL NEW UNDERLAYMENT AS SPECIFIED AND DETAILED.  
C. CONTRACTOR SHALL PROVIDE AND INSTALL NEW FLASHING AT VTR'S.  
D. CONTRACTOR SHALL PROVIDE AND INSTALL NEW GALVANIZED BOOTS AND UMBRELLAS AT EXISTING UTILITY ENTRANCE PIPES.  
E. CONTRACTOR SHALL PROVIDE AND INSTALL NEW ROOF SHINGLES AS SPECIFIED AND DETAILED.  
F. CONTRACTOR SHALL PROVIDE AND INSTALL NEW METAL RAKE AND EAVE TRIM.  
G. CONTRACTOR SHALL PROVIDE AND INSTALL NEW COUNTERFLASHING / THRU-WALL FLASHING.



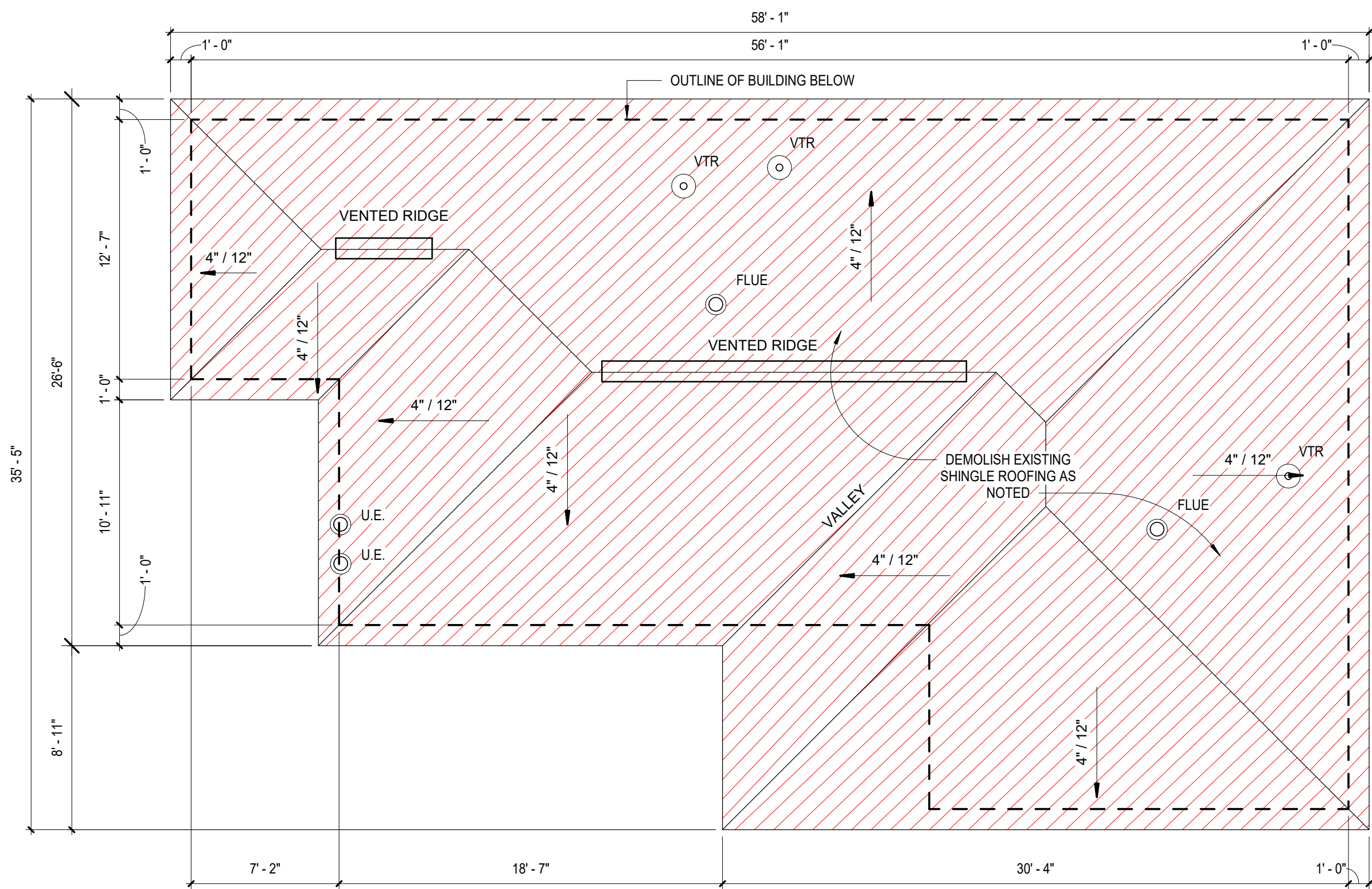




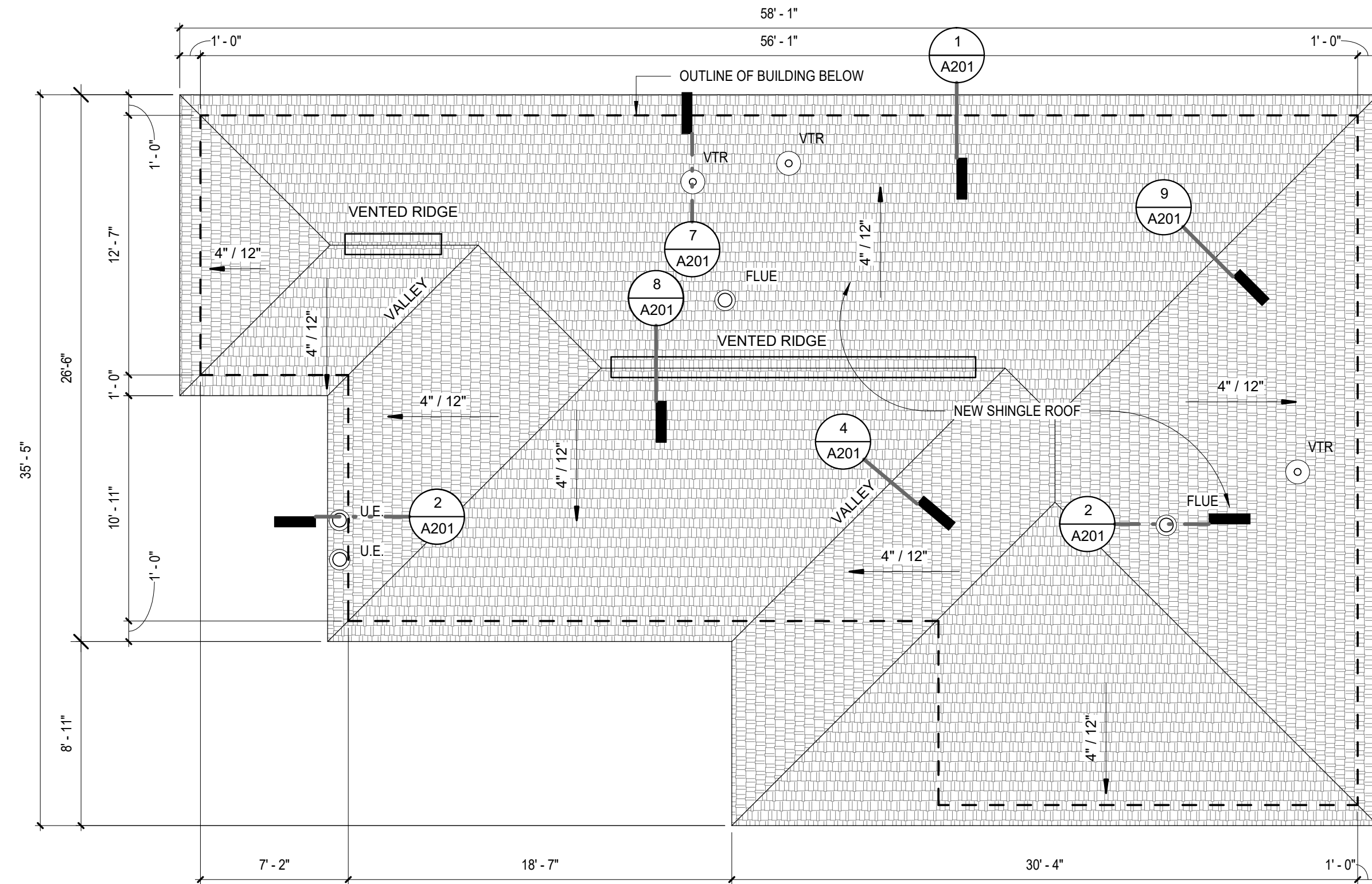
1 TYPE B - DEMOLITION PLAN  
3/16" = 1'-0"



2 TYPE B - REROOF PLAN  
3/16" = 1'-0"



3 TYPE B1 - DEMOLITION PLAN  
3/16" = 1'-0"

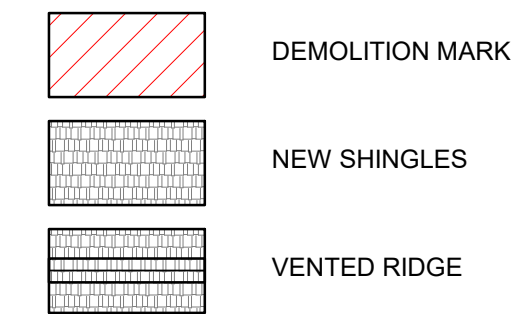


4 TYPE B1 - RENOVATION PLAN  
3/16" = 1'-0"

## SCOPE OF WORK BUILDINGS TYPE B & B1 - DEMOLITION NOTES

- THE FOLLOWING BUILDINGS ARE TYPE B:  
A. 1653, 1655 CARROL DRIVE  
B. 1665, 1667 PERRY DRIVE  
C. 1649, 1651 PERRY DRIVE  
D. 224, 226 ELMIRA DRIVE
- THE FOLLOWING BUILDINGS ARE TYPE B1:  
A. 233, 235 GEORGIA DRIVE  
B. 1653, 1658 PERRY DRIVE - THIS BUILDING SHALL HAVE PRIORITY IN SCHEDULING.  
C. 1633, 1635 PERRY DRIVE  
D. 1616, 1618 PERRY DRIVE  
E. 1605, 1607 PERRY DRIVE
- DEMOLITION SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:  
A. CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE ROOFING MATERIAL.  
B. CONTRACTOR SHALL DEMOLISH ALL EXISTING UNDERLAYMENTS.  
C. CONTRACTOR SHALL DEMOLISH ALL PIPE BOOTS, CRICKETS AND OTHER PENETRATION FLASHINGS.  
D. CONTRACTOR SHALL RETAIN IN PLACE ALL EXISTING VTR'S, FLUES, AND UTILITY ENTRANCE PIPES.  
E. CONTRACTOR SHALL DEMOLISH ALL METAL EAVE AND RAKE TRIM.  
F. CONTRACTOR SHALL DEMOLISH ALL FLASHINGS AND COUNTER FLASHINGS NOT OTHERWISE NOTED TO REMAIN. EXISTING STEPPED THRU-WALL FLASHING SHALL REMAIN IN PLACE AND SHALL BE REUSED.  
G. CONTRACTOR SHALL DEMOLISH 5% OF THE EXISTING 5/8" CDX ROOF DECK. AREAS TO BE DEMOLISHED WILL BE DETERMINED BY THE ARCHITECT IN THE FIELD.  
H. CONTRACTOR SHALL PREPARE THE DECK FOR NEW WORK.

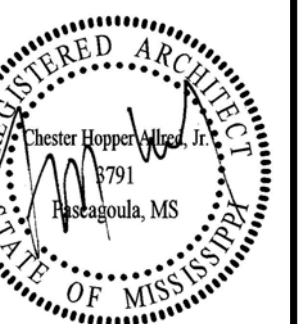
## LEGEND



- VTR - EXISTING VENT THRU ROOF TO REMAIN. PROVIDE NEW BOOT.  
 FLUE - EXISTING FLUE WITH COWL TO REMAIN IN PLACE. PROVIDE NEW BOOT.  
 T.V. - TURTLE VENT - EXISTING. DEMOLISH AND PROVIDE NEW IN EXISTING LOCATION.  
 G.V. - GABLE VENT - EXISTING. PROTECT AND RETAIN IN PLACE.  
 U.E. - UTILITY ENTRANCE - EXISTING PIPE TO REMAIN IN PLACE. PROVIDE NEW BOOT.

## SCOPE OF WORK BUILDINGS TYPE B & B1 - REROOF NOTES

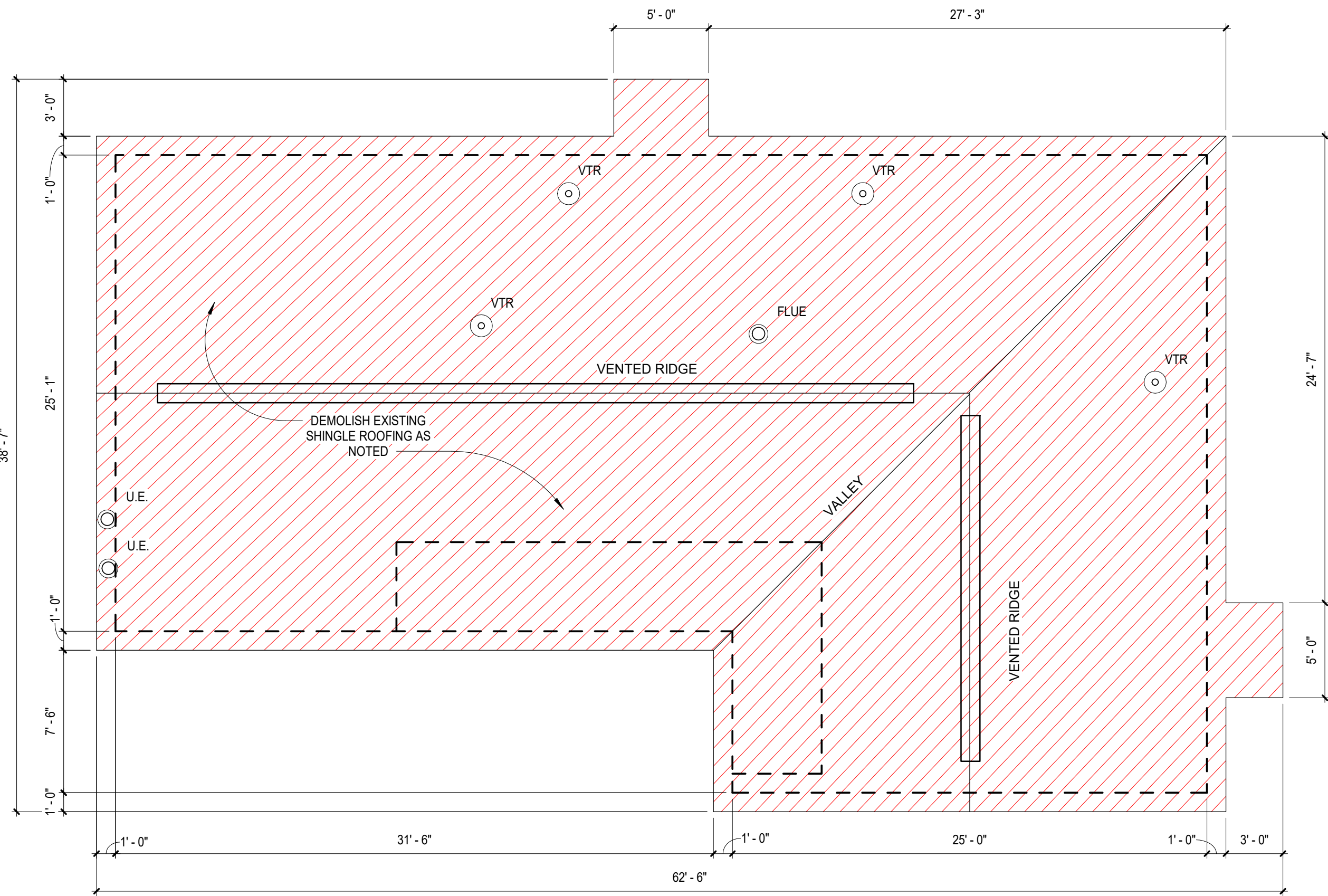
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B. 1665, 1667 PERRY DRIVE  
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C. 1633, 1635 PERRY DRIVE  
D. 1616, 1618 PERRY DRIVE  
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- REROOF SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:  
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B. CONTRACTOR SHALL PROVIDE AND INSTALL NEW UNDERLAYMENT AS SPECIFIED AND DETAILED.  
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D. CONTRACTOR SHALL PROVIDE AND INSTALL NEW GALVANIZED BOOTS AND UMBRELLAS AT EXISTING UTILITY ENTRANCE PIPES AND FLUES.  
E. CONTRACTOR SHALL PROVIDE AND INSTALL NEW ROOF SHINGLES AS SPECIFIED AND DETAILED.  
F. CONTRACTOR SHALL PROVIDE AND INSTALL NEW METAL RAKE AND EAVE TRIM.  
G. CONTRACTOR SHALL PROVIDE AND INSTALL NEW COUNTERFLASHING / THRU-WALL FLASHING.



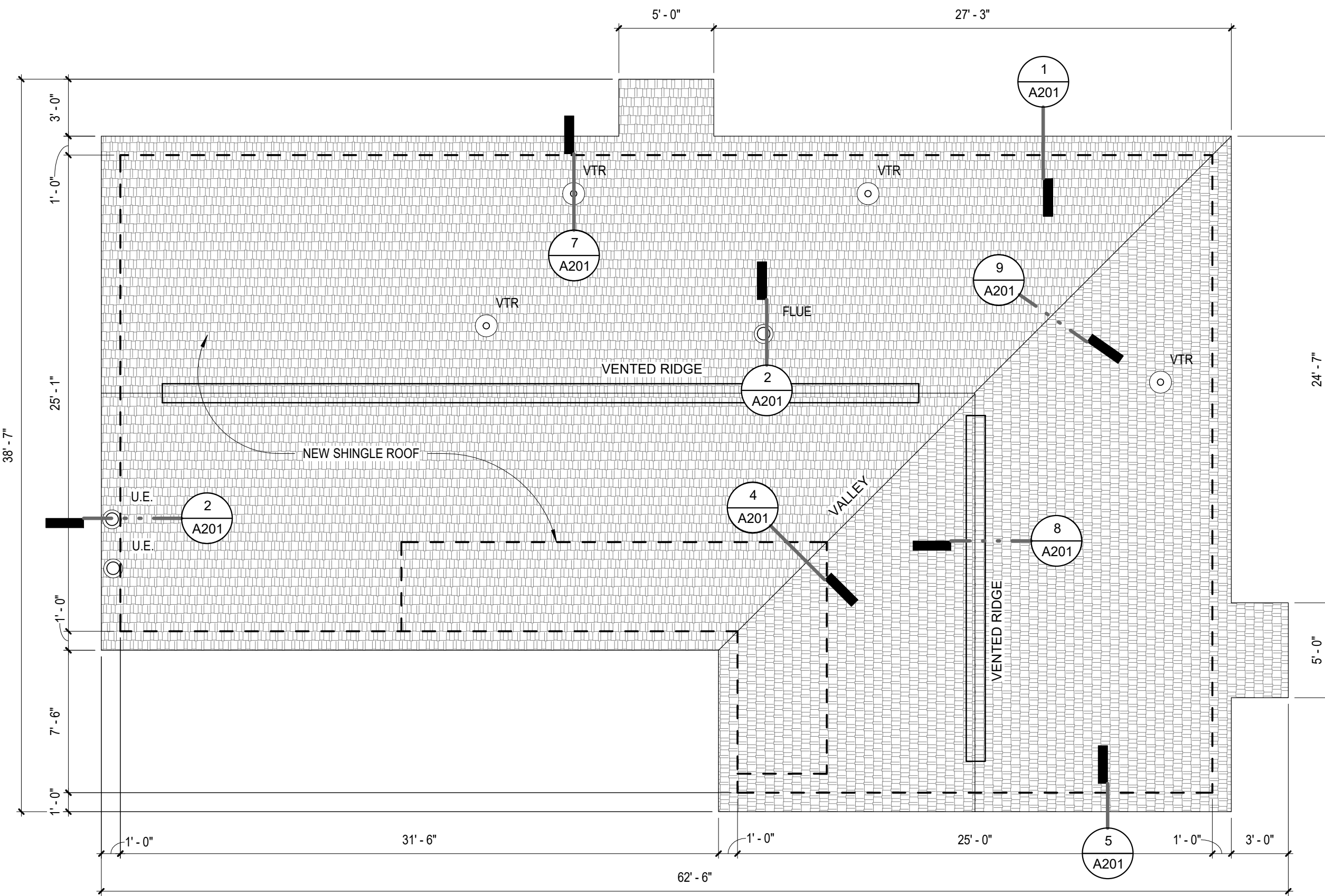




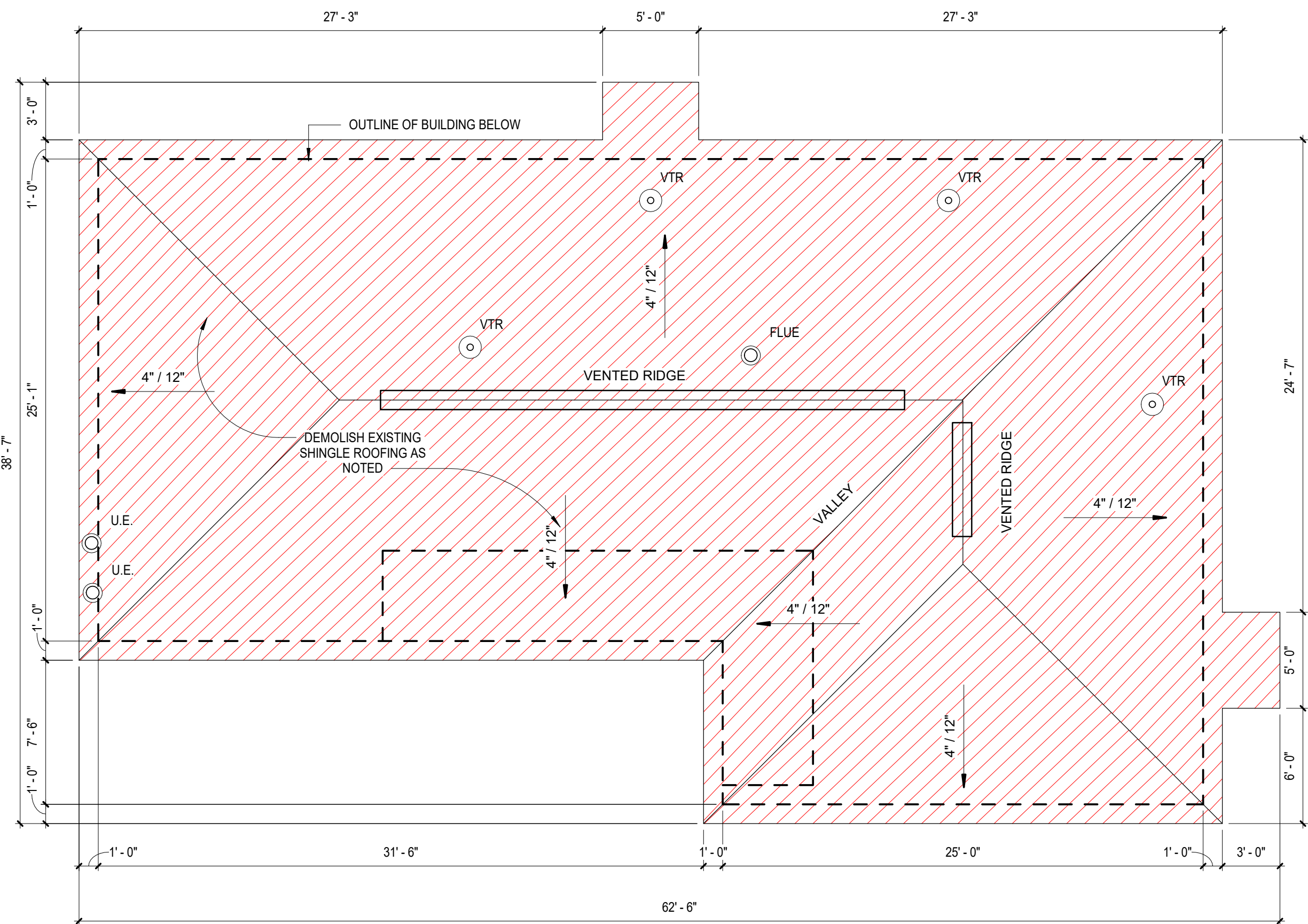




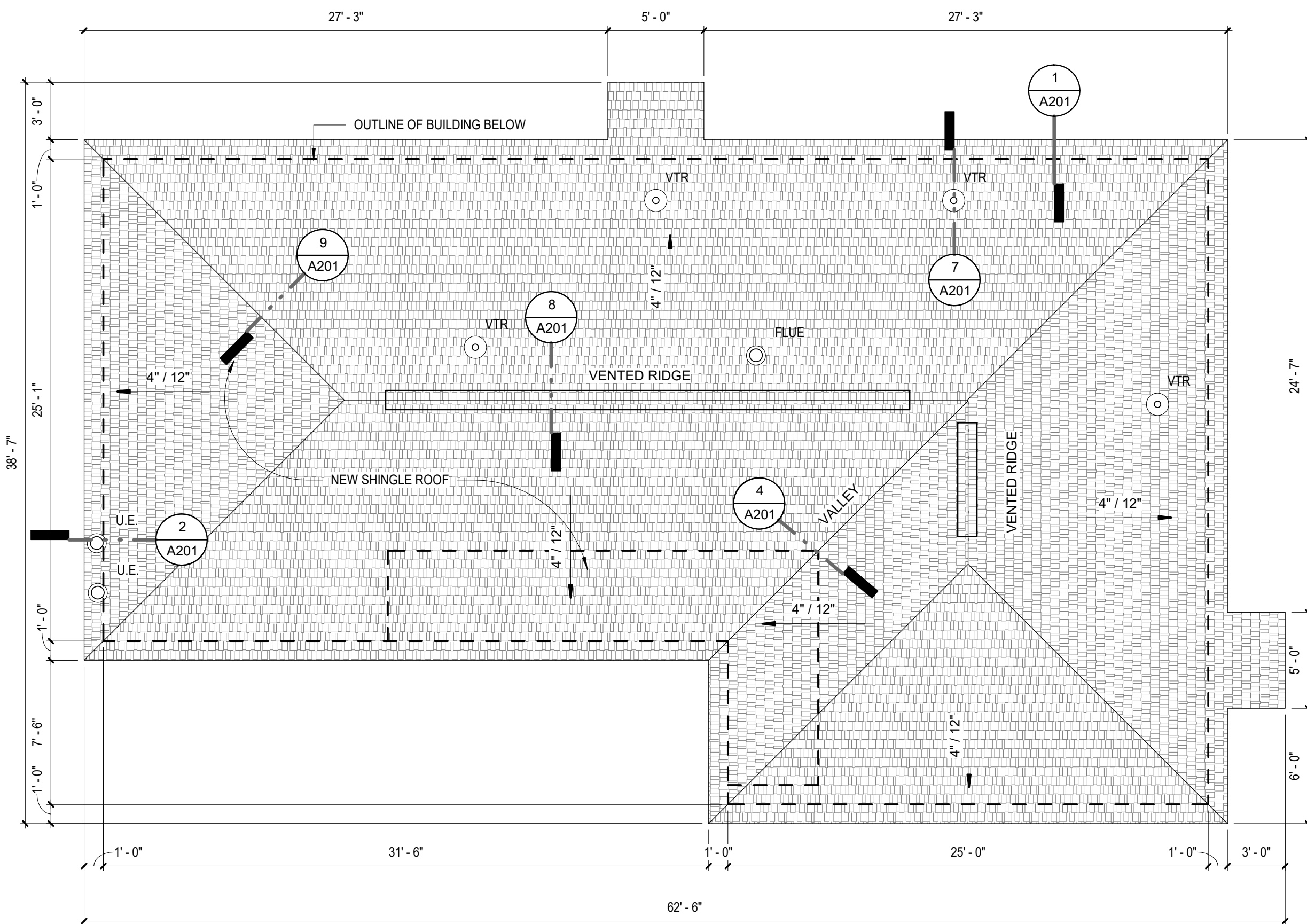
1 TYPE D - DEMOLITION PLAN  
3/16" = 1'-0"



2 TYPE D - REROOF PLAN  
3/16" = 1'-0"



3 TYPE D1 - DEMOLITION PLAN  
3/16" = 1'-0"



4 TYPE D1 - REROOF PLAN  
3/16" = 1'-0"

## SCOPE OF WORK BUILDINGS TYPE D & D1 - DEMOLITION NOTES

- THE FOLLOWING BUILDINGS ARE TYPE D:
- A. 229, 231 GEORGIA DRIVE
  - B. 1653, 1655 PERRY DRIVE
  - C. 1641, 1643 PERRY DRIVE
  - D. 1624, 1626 PERRY DRIVE
- THE FOLLOWING BUILDINGS ARE TYPE D1:
- A. 241, 243 GEORGIA DRIVE
  - B. 1669, 1671 PERRY DRIVE
  - C. 1621, 1623 PERRY DRIVE
  - D. 241, 243 IBERVILLE DRIVE
- DEMOLITION SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
- A. CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE ROOFING MATERIAL.
  - B. CONTRACTOR SHALL DEMOLISH ALL EXISTING UNDERLAYMENTS.
  - C. CONTRACTOR SHALL DEMOLISH ALL PIPE BOOTS, CRICKETS AND OTHER PENETRATION FLASHINGS.
  - D. CONTRACTOR SHALL RETAIN IN PLACE ALL EXISTING GAS FLUES, UTILITY ENTRANCE PIPES, AND VTR'S.
  - E. CONTRACTOR SHALL DEMOLISH ALL METAL EAVE AND RAKE TRIM.
  - F. CONTRACTOR SHALL DEMOLISH ALL FLASHINGS AND COUNTER FLASHINGS NOT OTHERWISE NOTED TO REMAIN. EXISTING STEPPED THRU-WALL FLASHING SHALL REMAIN IN PLACE AND SHALL BE REUSED.
  - G. CONTRACTOR SHALL DEMOLISH 5% OF THE EXISTING 5/8" CDX ROOF DECK. AREAS TO BE DEMOLISHED WILL BE DETERMINED BY THE ARCHITECT IN THE FIELD.
  - H. CONTRACTOR SHALL PREPARE THE DECK FOR NEW WORK.

## LEGEND

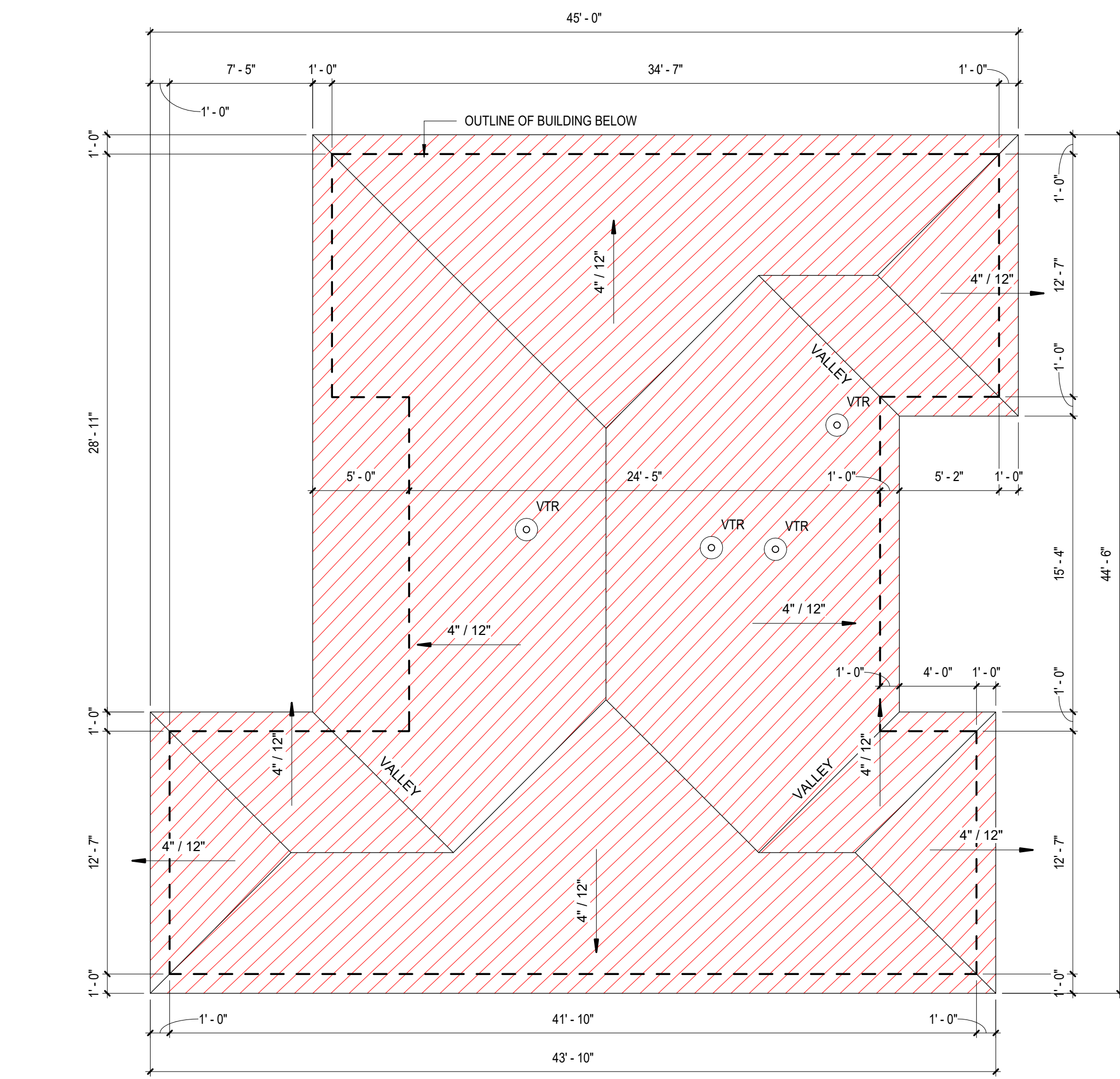
- DEMOLITION MARK
- NEW SHINGLES
- VENTED RIDGE
- VTR - EXISTING VENT THRU ROOF TO REMAIN. PROVIDE NEW BOOT.
- FLUE - EXISTING FLUE WITH COWL TO REMAIN IN PLACE. PROVIDE NEW BOOT.
- T.V. - TURTLE VENT - EXISTING. DEMOLISH AND PROVIDE NEW IN EXISTING LOCATION.
- G.V. - GABLE VENT - EXISTING. PROTECT AND RETAIN IN PLACE.
- U.E. - UTILITY ENTRANCE - EXISTING PIPE TO REMAIN IN PLACE. PROVIDE NEW BOOT.

## SCOPE OF WORK BUILDINGS TYPE D & D1 - REROOF NOTES

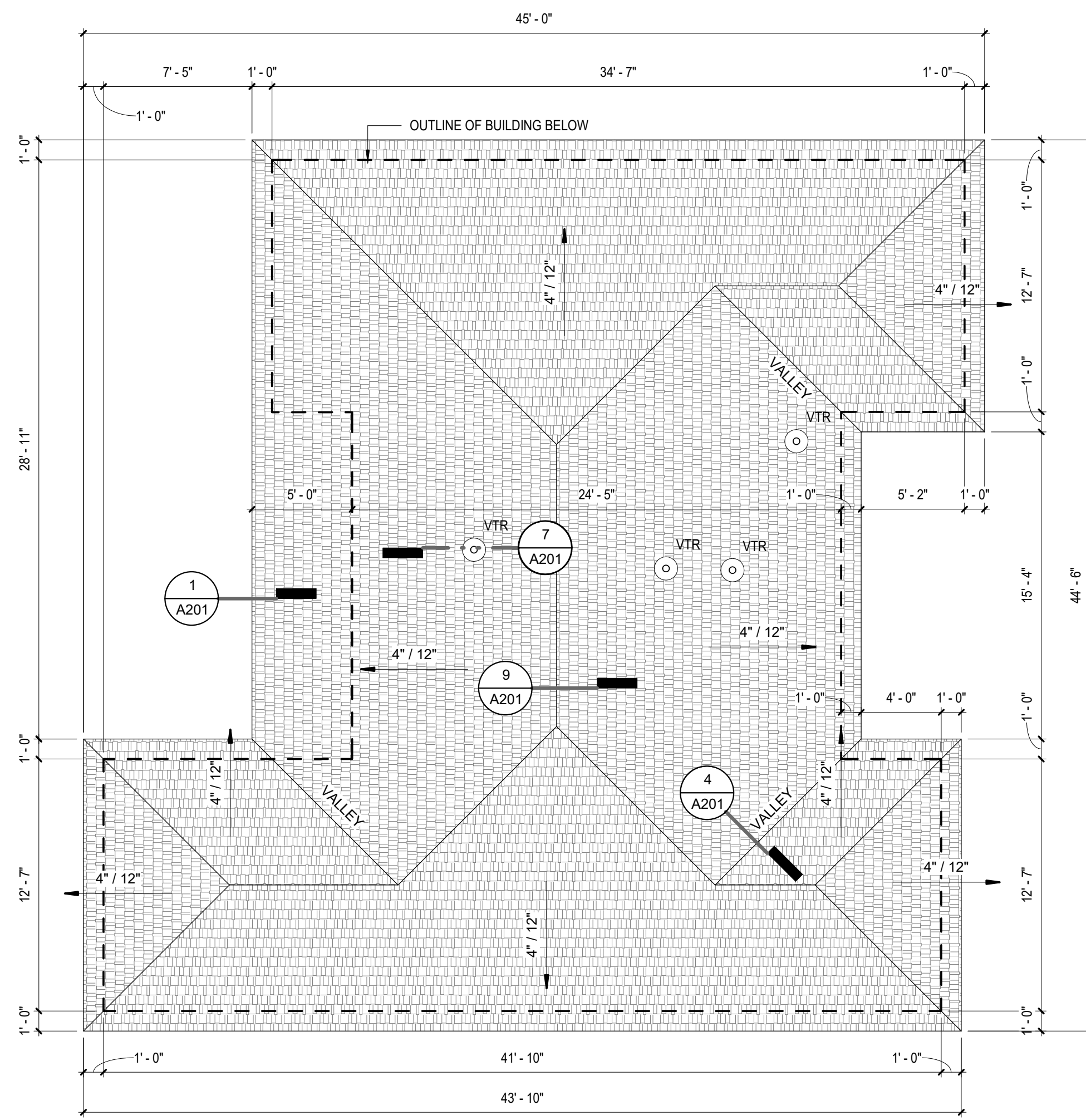
- THE FOLLOWING BUILDINGS ARE TYPE D:
- THE FOLLOWING BUILDINGS ARE TYPE D1:
- REROOF SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
  - A. CONTRACTOR SHALL PROVIDE AND INSTALL NEW 5/8" CDX ROOF DECK OVER 5% OF THE EXISTING DECK AREA, WHERE EXISTING DECK HAS BEEN DEMOLISHED OR WHERE PENETRATIONS ARE ABANDONED.
  - B. CONTRACTOR SHALL PROVIDE AND INSTALL NEW UNDERLAYMENT AS SPECIFIED AND DETAILED.
  - C. CONTRACTOR SHALL PROVIDE AND INSTALL NEW FLASHING AT VTR'S.
  - D. CONTRACTOR SHALL PROVIDE AND INSTALL NEW GALVANIZED BOOTS AND UMBRELLAS AT EXISTING UTILITY ENTRANCE PIPES AND FLUES.
  - E. CONTRACTOR SHALL PROVIDE AND INSTALL NEW ROOF SHINGLES AS SPECIFIED AND DETAILED.
  - F. CONTRACTOR SHALL PROVIDE AND INSTALL NEW METAL RAKE AND EAVE TRIM.
  - G. CONTRACTOR SHALL PROVIDE AND INSTALL NEW COUNTERFLASHING / THRU-WALL FLASHING.



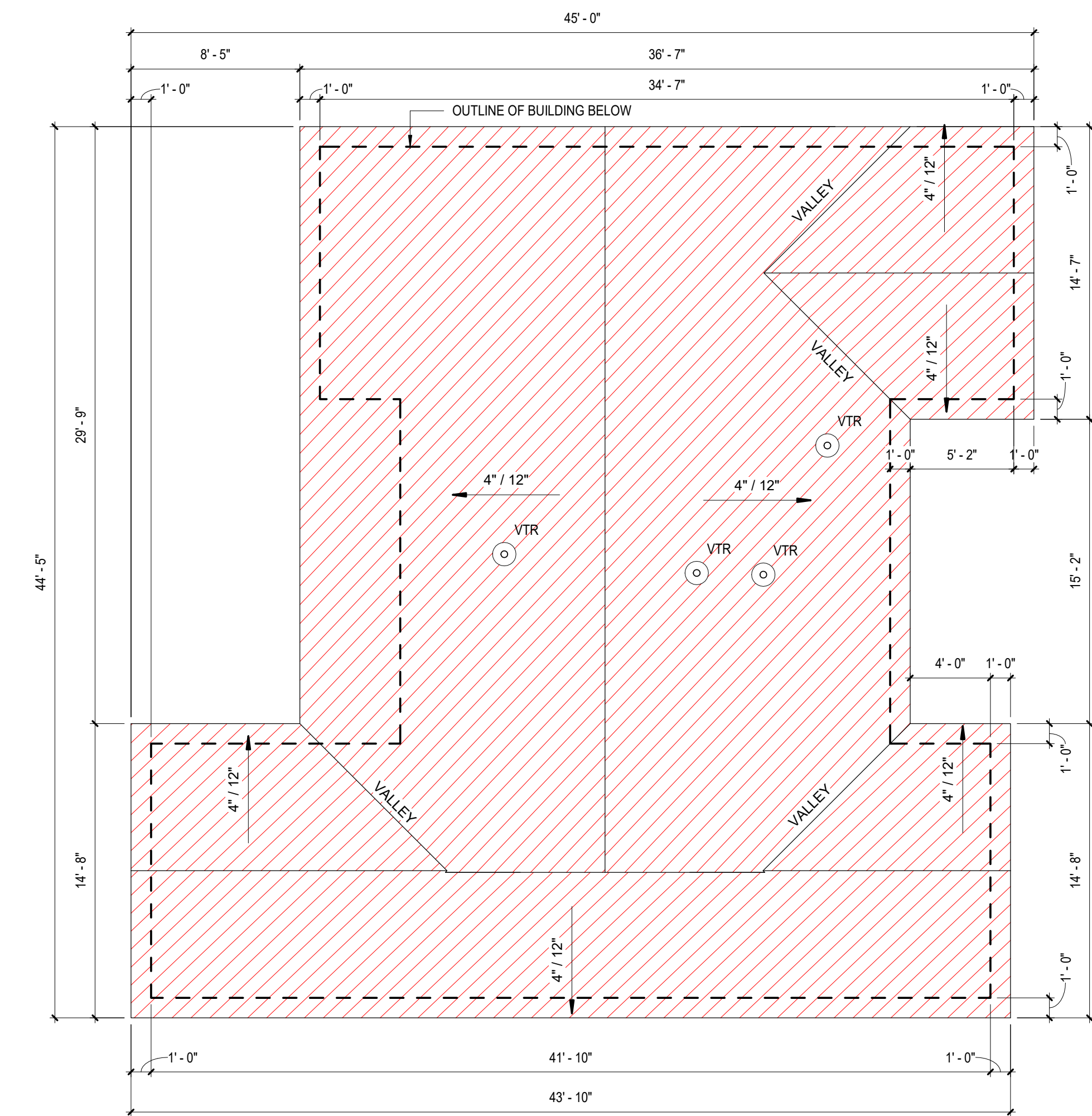




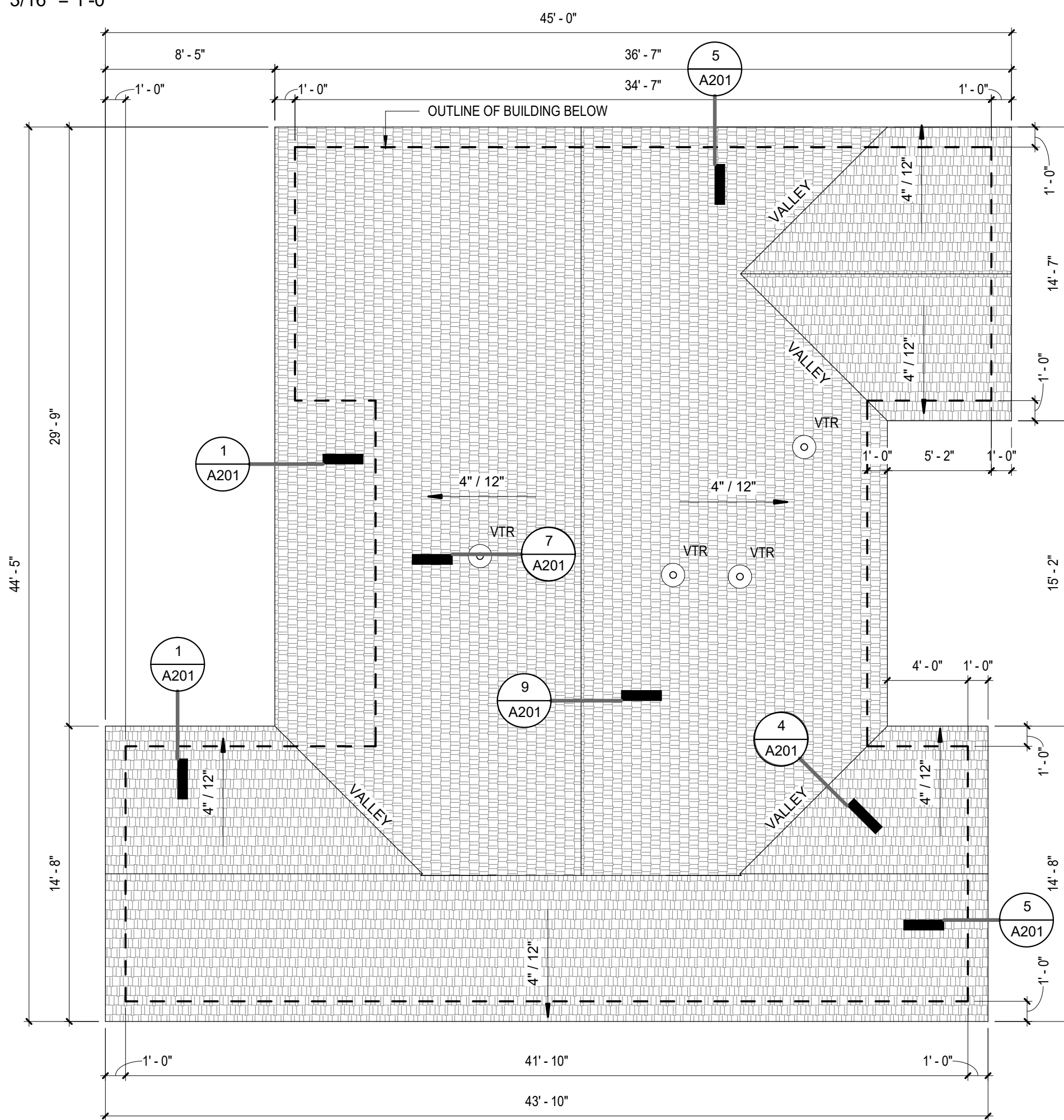
1 TYPE E - DEMOLITION PLAN  
3/16" = 1'-0"



2 TYPE E - REROOF PLAN  
3/16" = 1'-0"



3 TYPE E1 - DEMOLITION PLAN  
3/16" = 1'-0"



4 TYPE E1 - REROOF PLAN  
3/16" = 1'-0"

## SCOPE OF WORK BUILDINGS TYPE E & E1 - DEMOLITION NOTES

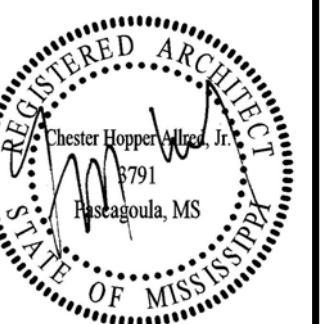
- THE FOLLOWING BUILDINGS ARE TYPE E:  
A. 233, 235 ELMIRA DRIVE  
B. 1628, 1630 PERRY DRIVE  
C. 1609, 1611 PERRY DRIVE
- THE FOLLOWING BUILDINGS ARE TYPE E1:  
A. 228, 230 GEORGIA DRIVE  
B. 1636, 1628 PERRY DRIVE  
C. 1612, 1614 PERRY DRIVE  
D. 1625, 1627 PERRY DRIVE
- DEMOLITION SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:  
A. CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE ROOFING MATERIAL.  
B. CONTRACTOR SHALL DEMOLISH ALL EXISTING UNDERLAYMENTS.  
C. CONTRACTOR SHALL DEMOLISH ALL PIPE BOOTS, CRICKETS AND OTHER PENETRATION FLASHINGS.  
D. CONTRACTOR SHALL RETAIN IN PLACE ALL EXISTING VTR'S.  
E. CONTRACTOR SHALL DEMOLISH ALL METAL EAVE AND RAKE TRIM.  
F. CONTRACTOR SHALL DEMOLISH ALL FLASHINGS AND COUNTER FLASHINGS NOT OTHERWISE NOTED TO REMAIN.  
G. CONTRACTOR SHALL DEMOLISH 5% OF THE EXISTING 5/8" CDX ROOF DECK. AREAS TO BE DEMOLISHED WILL BE DETERMINED BY THE ARCHITECT IN THE FIELD.  
H. CONTRACTOR SHALL PREPARE THE DECK FOR NEW WORK.

## LEGEND

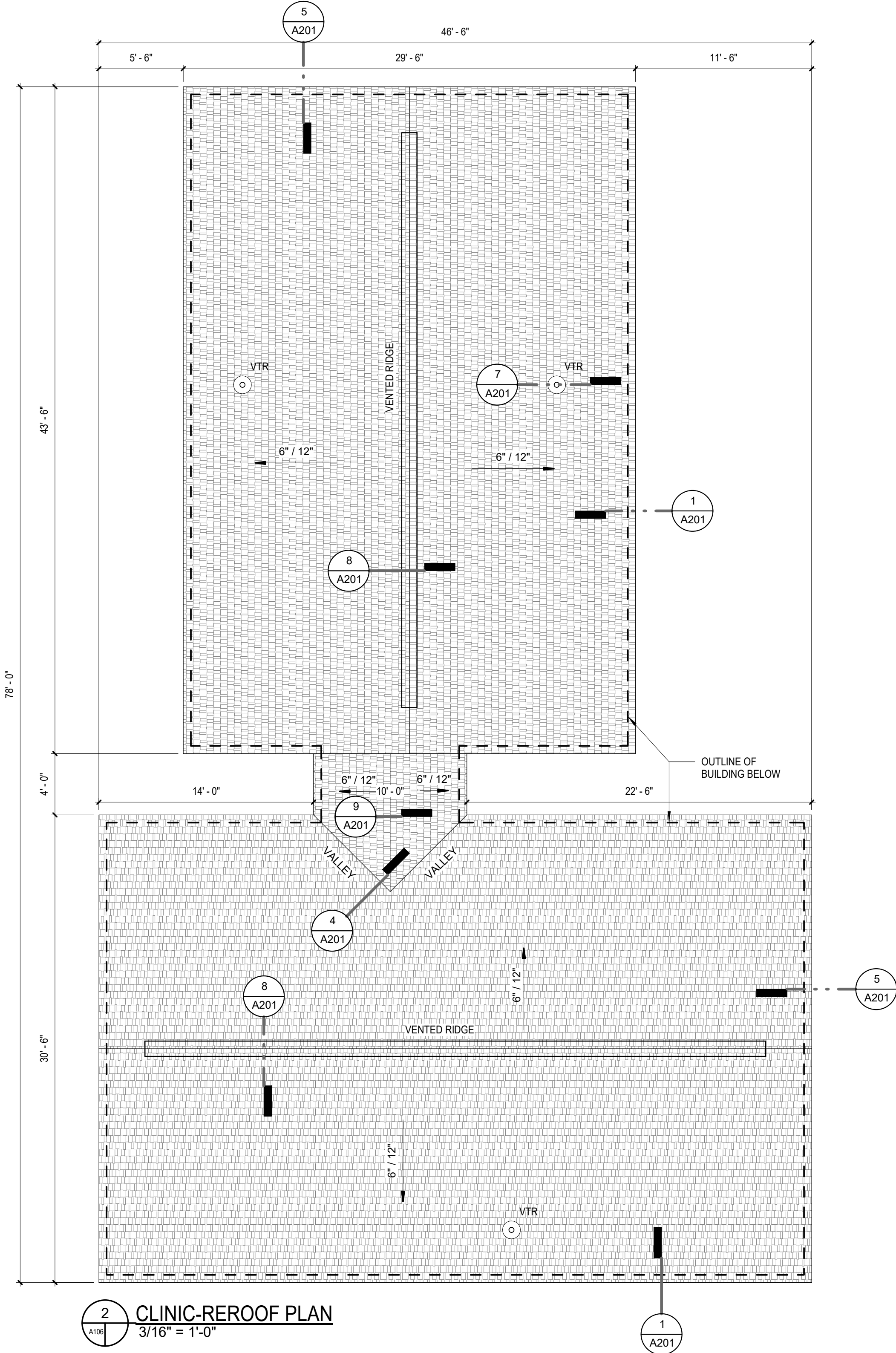
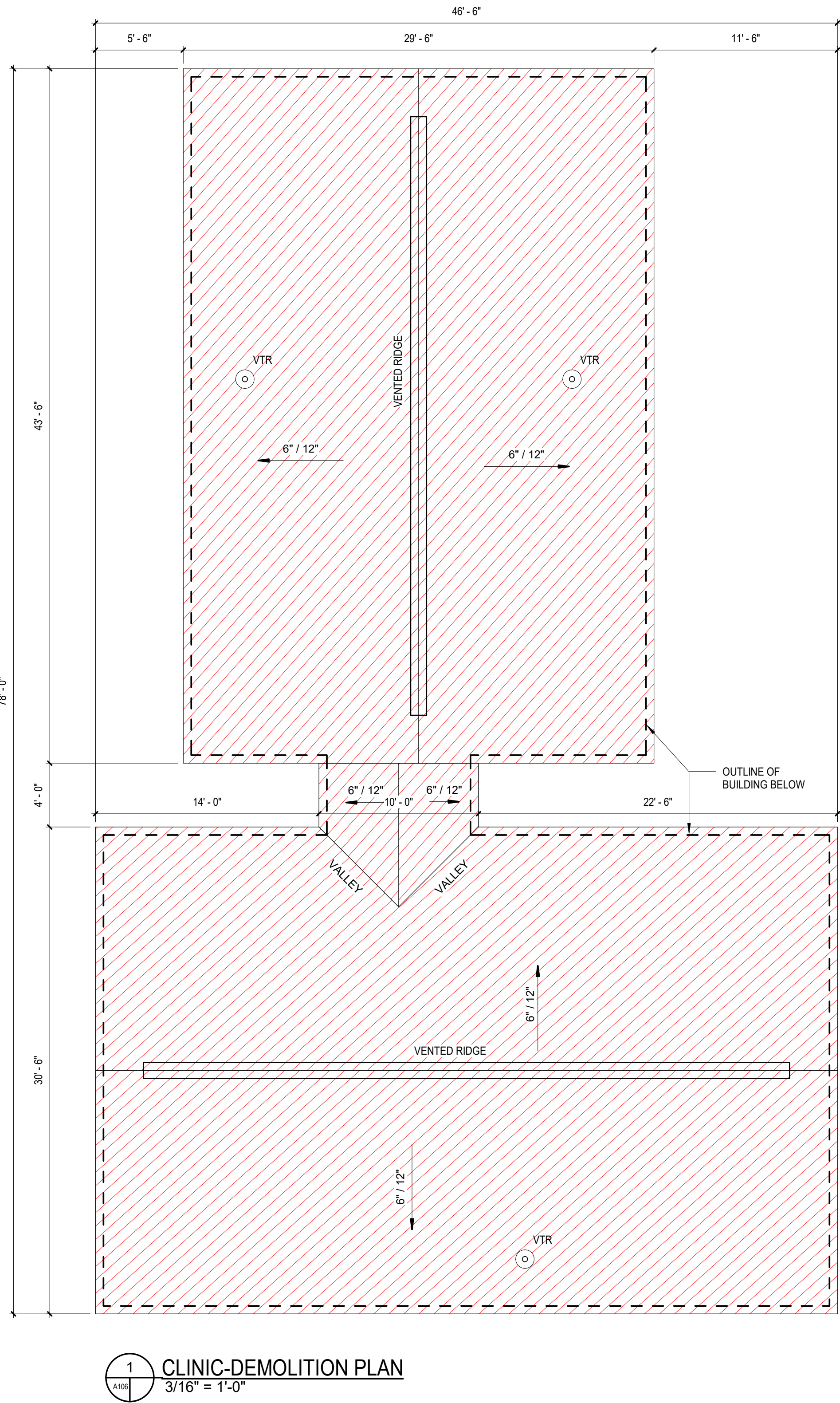
	DEMOLITION MARK
	NEW SHINGLES
	VENTED RIDGE
	VTR - EXISTING VENT THRU ROOF TO REMAIN. PROVIDE NEW BOOT.
	FLUE - EXISTING FLUE WITH COWL TO REMAIN IN PLACE. PROVIDE NEW BOOT.
	T.V. - TURTLE VENT - EXISTING. DEMOLISH AND PROVIDE NEW IN EXISTING LOCATION.
	G.V. - GABLE VENT - EXISTING. PROTECT AND RETAIN IN PLACE
	U.E. - UTILITY ENTRANCE - EXISTING PIPE TO REMAIN IN PLACE. PROVIDE NEW BOOT.

## SCOPE OF WORK BUILDINGS TYPE E & E1 - REROOF NOTES

- THE FOLLOWING BUILDINGS ARE TYPE E:  
A. 233, 235 ELMIRA DRIVE  
B. 1628, 1630 PERRY DRIVE  
C. 1609, 1611 PERRY DRIVE
- THE FOLLOWING BUILDINGS ARE TYPE E1:  
A. 228, 230 GEORGIA DRIVE  
B. 1636, 1628 PERRY DRIVE  
C. 1612, 1614 PERRY DRIVE  
D. 1625, 1627 PERRY DRIVE
- REROOF SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:  
A. CONTRACTOR SHALL PROVIDE AND INSTALL NEW 5/8" CDX ROOF DECK OVER 5% OF THE EXISTING DECK AREA, WHERE EXISTING DECK HAS BEEN DEMOLISHED OR WHERE PENETRATIONS ARE ABANDONED.  
B. CONTRACTOR SHALL PROVIDE AND INSTALL NEW UNDERLAYMENT AS SPECIFIED AND DETAILED.  
C. CONTRACTOR SHALL PROVIDE AND INSTALL NEW FLASHING AT GAS FLUES AND VTR'S.  
D. CONTRACTOR SHALL PROVIDE AND INSTALL NEW ROOF SHINGLES AS SPECIFIED AND DETAILED.  
E. CONTRACTOR SHALL PROVIDE AND INSTALL NEW METAL RAKE AND EAVE TRIM.  
F. CONTRACTOR SHALL PROVIDE AND INSTALL NEW COUNTERFLASHING / THRU-WALL FLASHING.







### SCOPE OF WORK CLINIC-DEMOLITION NOTES

- DEMOLITION SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
  - CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE ROOFING MATERIAL.
  - CONTRACTOR SHALL DEMOLISH ALL EXISTING UNDERLAYMENTS.
  - CONTRACTOR SHALL DEMOLISH ALL PIPE BOOTS, CRICKETS AND OTHER PENETRATION FLASHINGS.
  - CONTRACTOR SHALL RETAIN IN PLACE ALL EXISTING VTR'S.
  - CONTRACTOR SHALL DEMOLISH ALL METAL EAVE AND RAKE TRIM.
  - CONTRACTOR SHALL DEMOLISH ALL FLASHINGS AND COUNTER FLASHINGS NOT OTHERWISE NOTED TO REMAIN. EXISTING STEPPED THRU-WALL FLASHING SHALL REMAIN IN PLACE AND SHALL BE REUSED.
  - CONTRACTOR SHALL DEMOLISH 5% OF THE EXISTING 5/8" CDX ROOF DECK. AREAS TO BE DEMOLISHED WILL BE DETERMINED BY THE ARCHITECT IN THE FIELD.
  - CONTRACTOR SHALL PREPARE THE DECK FOR NEW WORK.
- NOTE: ALL CURBS IN GOOD CONTITION SHALL REMAIN IN PLACE AND SHALL BE REUSED

### LEGEND

	DEMOLITION MARK
	NEW SHINGLES
	VENTED RIDGE
	VTR - EXISTING VENT THRU ROOF TO REMAIN. PROVIDE NEW BOOT.
	FLUE - EXISTING FLUE WITH COWL TO REMAIN IN PLACE. PROVIDE NEW BOOT.
	T.V. - TURTLE VENT - EXISTING. DEMOLISH AND PROVIDE NEW IN EXISTING LOCATION.
	G.V. - GABLE VENT - EXISTING. PROTECT AND RETAIN IN PLACE
	U.E. - UTILITY ENTRANCE - EXISTING PIPE TO REMAIN IN PLACE. PROVIDE NEW BOOT.

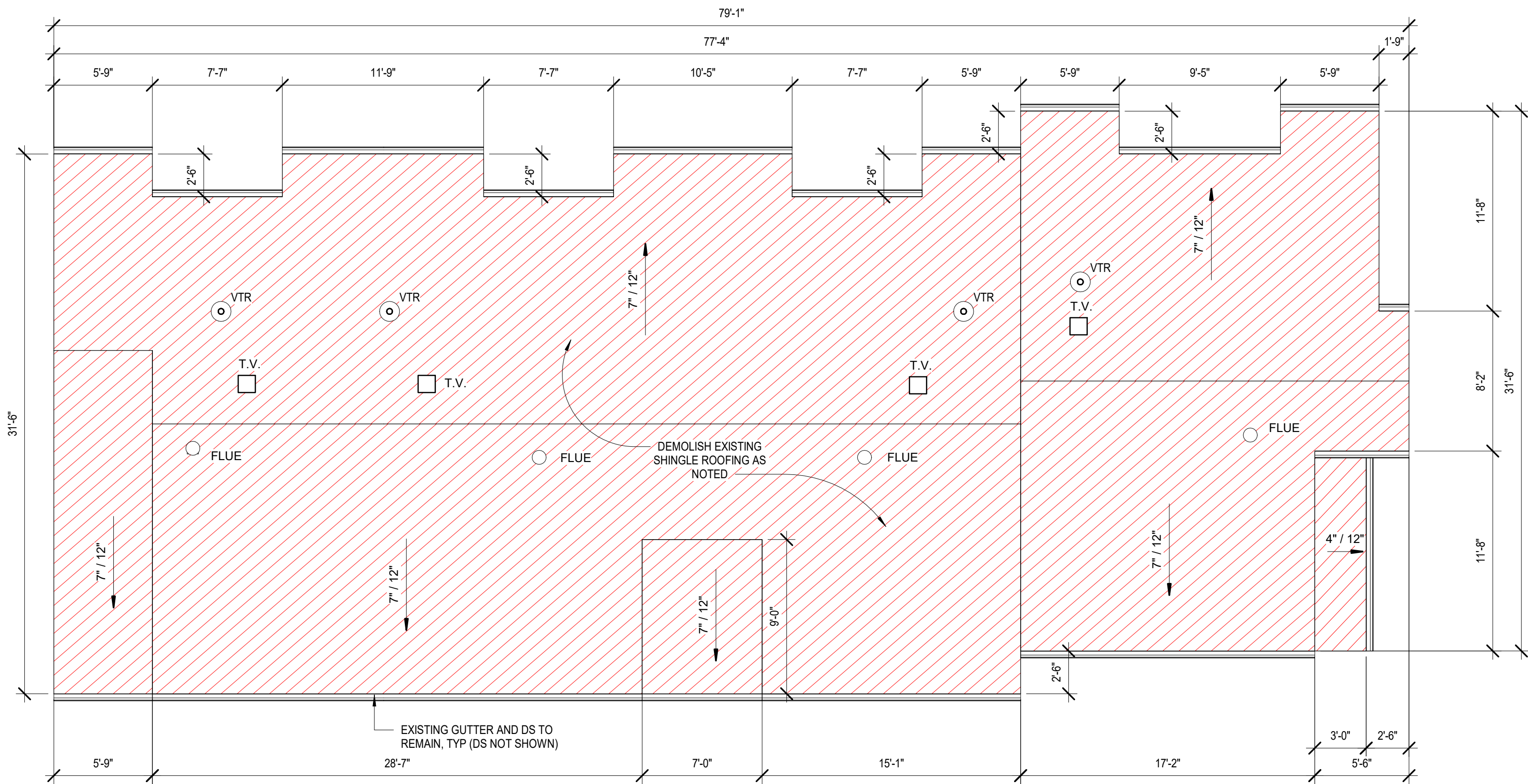
### SCOPE OF WORK CLINIC - REROOF NOTES

- REROOF SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW 5/8" CDX ROOF DECK OVER 5% OF THE EXISTING DECK AREA, WHERE EXISTING DECK HAS BEEN DEMOLISHED OR WHERE PENETRATIONS ARE ABANDONED.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW UNDERLAYMENT AS SPECIFIED AND DETAILED.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW FLASHING AT VTR'S.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW ROOF SHINGLES AS SPECIFIED AND DETAILED.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW METAL RAKE AND EAVE TRIM.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW COUNTERFLASHING / THRU-WALL FLASHING.

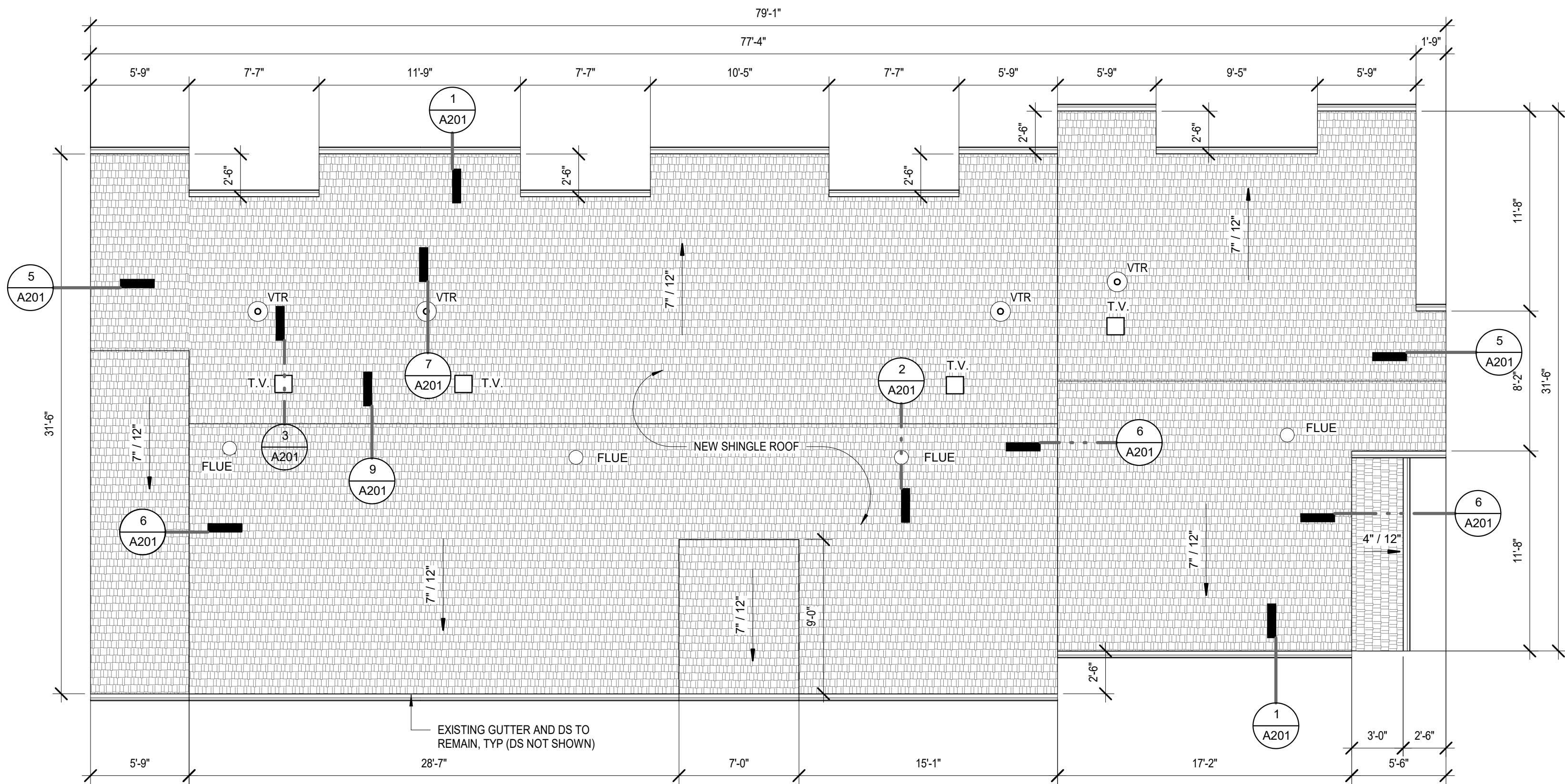




2 1656 CARROL DRIVE - DEMOLITION PLAN  
3/16" = 1'-0"



1 1656 CARROL DRIVE - REROOF PLAN  
3/16" = 1'-0"



### SCOPE OF WORK 1656 CARROL DRIVE - DEMOLITION NOTES

- DEMOLITION SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
  - CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE ROOFING MATERIAL.
  - CONTRACTOR SHALL DEMOLISH ALL EXISTING UNDERLAYMENTS.
  - CONTRACTOR SHALL DEMOLISH ALL PIPE BOOTS, CRICKETS AND OTHER PENETRATION FLASHINGS.
  - CONTRACTOR SHALL DEMOLISH ALL TURTLE VENTS, THEN PREP THE ROOF OPENING FOR A NEW VENT.
  - CONTRACTOR SHALL RETAIN IN PLACE ALL EXISTING GAS FLUES AND VTR'S.
  - CONTRACTOR SHALL REMOVE AND SALVAGE FOR REINSTALLATION ALL EXISTING GUTTERS AND DOWNSPOUTS, INCLUDING STRAPS, MOUNTINGS, AND OTHER ACCESSORIES. CLEAN THE GUTTERS OF TRASH AND DEBRIS.
  - CONTRACTOR SHALL DEMOLISH ALL METAL EAVE AND RAKE TRIM.
  - CONTRACTOR SHALL DEMOLISH ALL FLASHINGS AND COUNTER FLASHINGS NOT OTHERWISE NOTED TO REMAIN.
  - EXISTING STEPPED THRU-WALL FLASHING SHALL REMAIN IN PLACE AND SHALL BE REUSED.
  - CONTRACTOR SHALL DEMOLISH 5% OF THE EXISTING 5/8" CDX ROOF DECK. AREAS TO BE DEMOLISHED WILL BE DETERMINED BY THE ARCHITECT IN THE FIELD.
  - CONTRACTOR SHALL PREPARE THE DECK FOR NEW WORK.
- NOTE: ALL CURBS IN GOOD CONTITION SHALL REMAIN IN PLACE AND SHALL BE REUSED

### LEGEND

	DEMOLITION MARK
	NEW SHINGLES
	VENTED RIDGE
	VTR - EXISTING VENT THRU ROOF TO REMAIN. PROVIDE NEW BOOT.
	FLUE - EXISTING FLUE WITH COWL TO REMAIN IN PLACE. PROVIDE NEW BOOT.
	TURTLE VENT - EXISTING. DEMOLISH AND PROVIDE NEW IN EXISTING LOCATION.
	GABLE VENT - EXISTING. PROTECT AND RETAIN IN PLACE
	UTILITY ENTRANCE - EXISTING PIPE TO REMAIN IN PLACE. PROVIDE NEW BOOT.

### SCOPE OF WORK 1656 CARROL DRIVE - REROOF NOTES

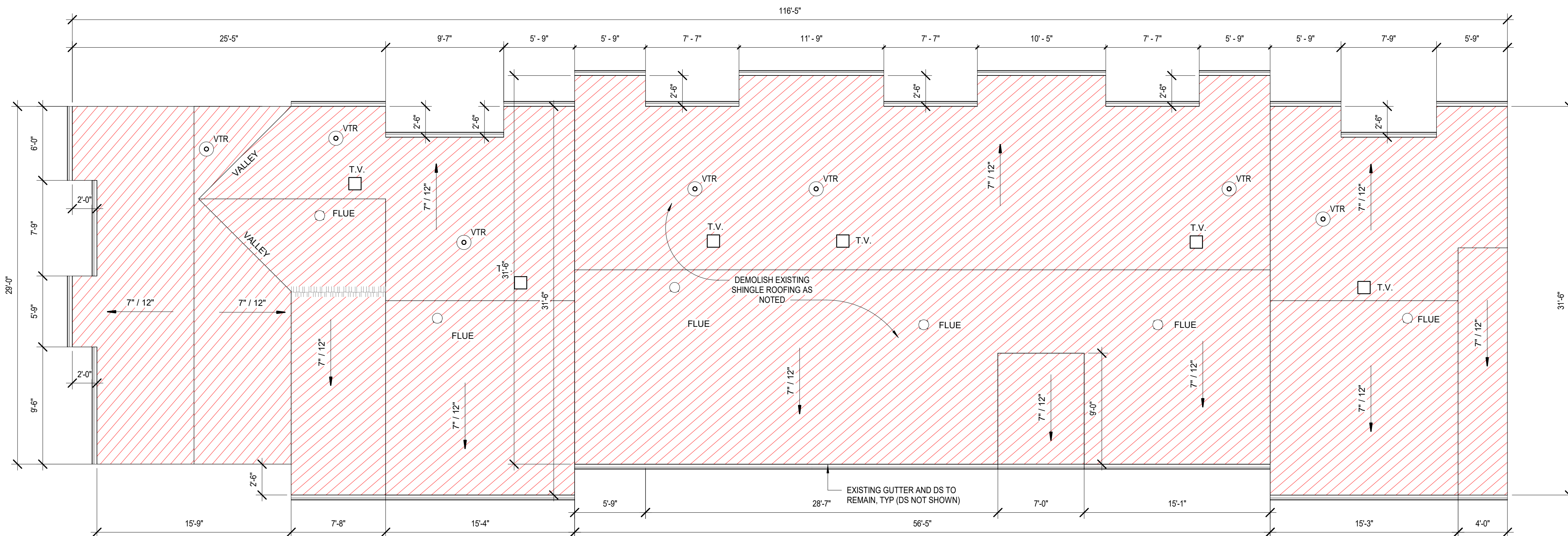
- REROOF SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW 5/8" CDX ROOF DECK OVER 5% OF THE EXISTING DECK AREA, WHERE EXISTING DECK HAS BEEN DEMOLISHED OR WHERE PENETRATIONS ARE ABANDONED.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW UNDERLAYMENT AS SPECIFIED AND DETAILED.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW TURTLE VENTS IN LOCATIONS DRAWN.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW FLASHING AT GAS FLUES AND VTR'S.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW ROOF SHINGLES AS SPECIFIED AND DETAILED.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW METAL RAKE AND EAVE TRIM.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW COUNTERFLASHING / THRU-WALL FLASHING.
  - CONTRACTOR SHALL REINSTALL SALVAGED GUTTERS AND DOWNSPOUTS.



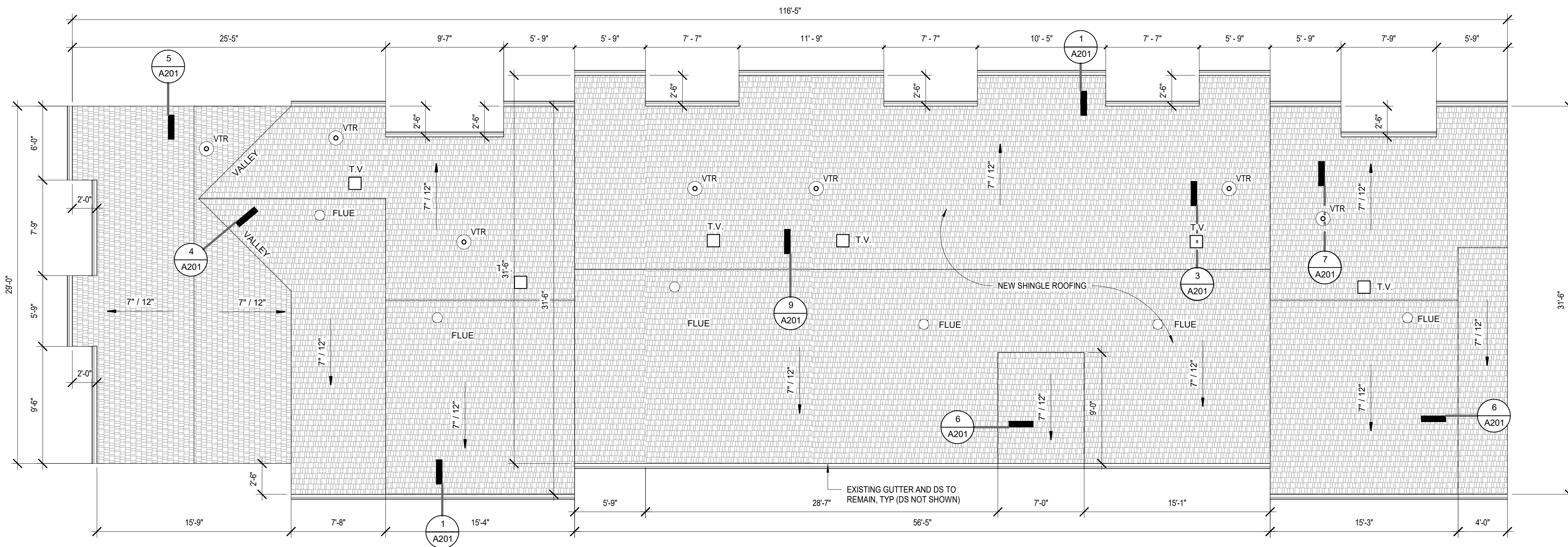








1  
A109  
1680 CAROL DRIVE - DEMOLITION PLAN  
3/16" = 1'-0"



2  
A109  
1680 CAROL DRIVE - REROOF PLAN  
3/16" = 1'-0"

## SCOPE OF WORK 1680 CAROL DRIVE - DEMOLITION NOTES

- DEMOLITION SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
  - CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE ROOFING MATERIAL.
  - CONTRACTOR SHALL DEMOLISH ALL EXISTING UNDERLAYMENTS.
  - CONTRACTOR SHALL DEMOLISH ALL PIPE BOOTS, CRICKETS AND OTHER PENETRATION FLASHINGS.
  - CONTRACTOR SHALL DEMOLISH ALL TURBINE VENTS, ASSOCIATED CRICKETS AND CURBS, THEN ABANDON THE PENETRATION AND PATCH THE DECK.
  - CONTRACTOR SHALL DEMOLISH ALL TURTLE VENTS, THEN PREP THE ROOF OPENING FOR A NEW VENT.
  - CONTRACTOR SHALL RETAIN IN PLACE ALL EXISTING GAS FLUES AND VTRS.
  - CONTRACTOR SHALL REMOVE AND SALVAGE FOR REINSTALLATION ALL EXISTING GUTTERS AND DOWNSPOUTS, INCLUDING STRAPS, MOUNTINGS, AND OTHER ACCESSORIES. CLEAN THE GUTTERS OF TRASH AND DEBRIS.
  - CONTRACTOR SHALL DEMOLISH ALL METAL EAVE AND RAKE TRIM.
  - CONTRACTOR SHALL DEMOLISH ALL FLASHINGS AND COUNTER FLASHINGS NOT OTHERWISE NOTED TO REMAIN. EXISTING STEPPED THRU-WALL FLASHING SHALL REMAIN IN PLACE AND SHALL BE REUSED.
  - CONTRACTOR SHALL DEMOLISH 5% OF THE EXISTING 5/8" CDX ROOF DECK. AREAS TO BE DEMOLISHED WILL BE DETERMINED BY THE ARCHITECT IN THE FIELD.
  - CONTRACTOR SHALL PREPARE THE DECK FOR NEW WORK.
- NOTE: ALL CURBS IN GOOD CONTITION SHALL REMAIN IN PLACE AND SHALL BE REUSED

## LEGEND

	DEMOLITION MARK
	NEW SHINGLES
	VENTED RIDGE
	VTR - EXISTING VENT THRU ROOF TO REMAIN. PROVIDE NEW BOOT.
	FLUE - EXISTING FLUE WITH COWL TO REMAIN IN PLACE. PROVIDE NEW BOOT.
	TURTLE VENT - EXISTING. DEMOLISH AND PROVIDE NEW IN EXISTING LOCATION.
	GABLE VENT - EXISTING. PROTECT AND RETAIN IN PLACE
	UTILITY ENTRANCE - EXISTING PIPE TO REMAIN IN PLACE. PROVIDE NEW BOOT.

## SCOPE OF WORK 1680 CAROL DRIVE - REROOF NOTES

- REROOF SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW 5/8" CDX ROOF DECK OVER 5% OF THE EXISTING DECK AREA, WHERE EXISTING DECK HAS BEEN DEMOLISHED OR WHERE PENETRATIONS ARE ABANDONED.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW UNDERLAYMENT AS SPECIFIED AND DETAILED.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW TURTLE VENTS IN LOCATIONS DRAWN.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW FLASHING AT GAS FLUES AND VTRS.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW ROOF SHINGLES AS SPECIFIED AND DETAILED.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW METAL RAKE AND EAVE TRIM.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW COUNTERFLASHING / THRU-WALL FLASHING.
  - CONTRACTOR SHALL REINSTALL SALVAGED GUTTERS AND DOWNSPOUTS.

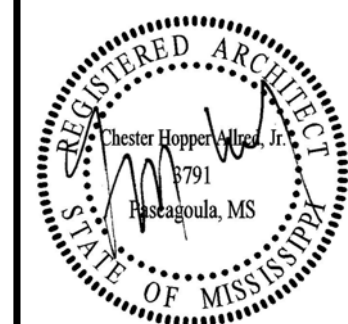
1680 CAROL DRIVE - DEMOLITION &  
REROOF PLANS  
IFB#RRP03.21 BHA ROOF REPLACEMENT PROJECT - HURRICANE  
ZETA REPAIRS - VOLUME 6 - SUNCOAST VILLAS APARTMENTS

711 Church Street  
Ocean Springs, MS 39564

alred  
stolarski  
architects

BILOXI HOUSING AUTHORITY  
330 BENACHI AVENUE BILOXI, MS 39530

JOB NUMBER  
2021-23  
DATE  
02/28/2021  
REVISION  
DRAWN BY  
SCN  
CHECKED BY  
HA

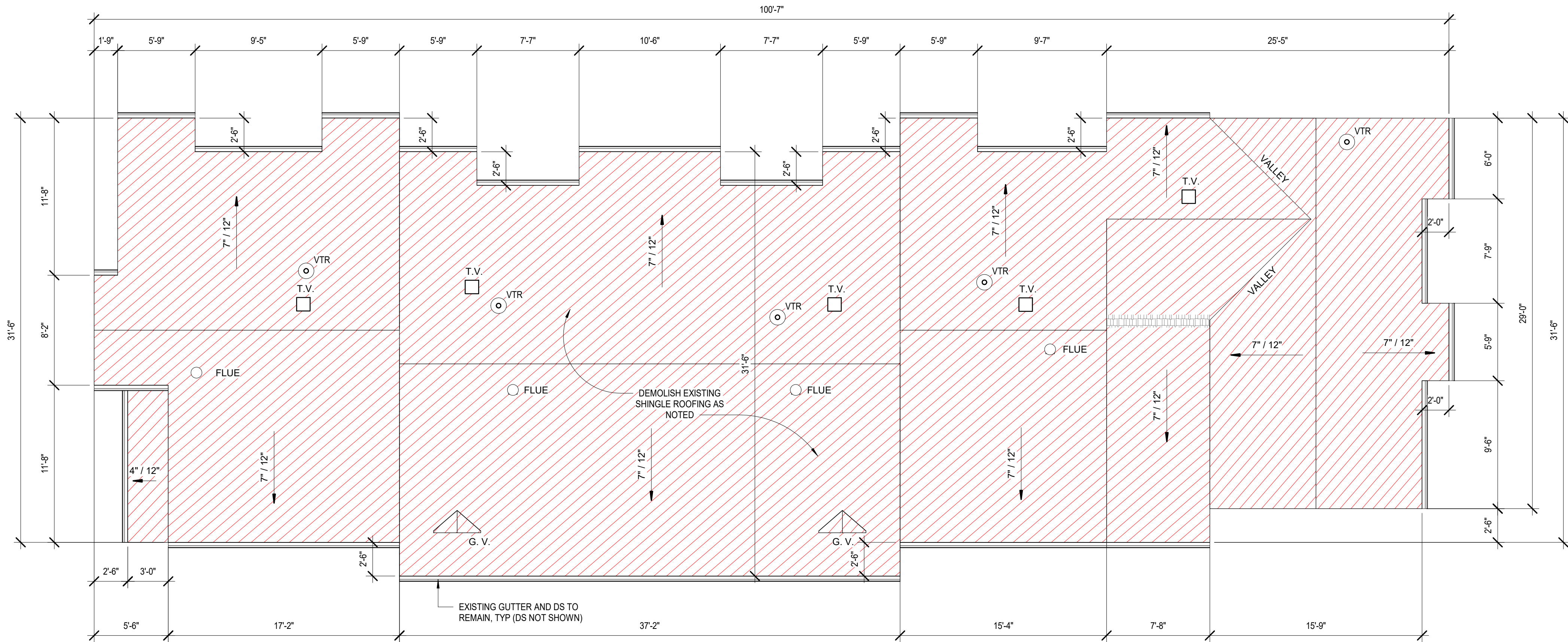


SHEET

A109



1 1686 CARROL DRIVE - DEMOLITION PLAN  
3/16" = 1'-0"



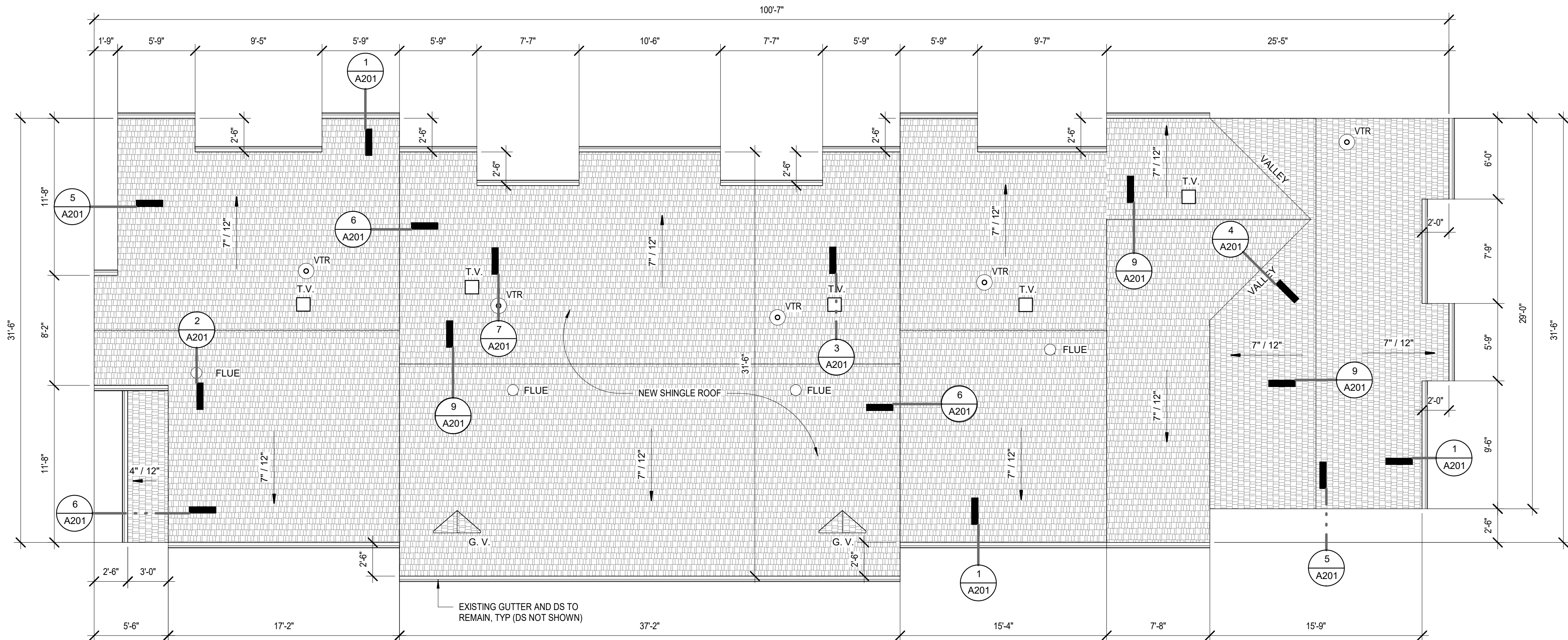
### SCOPE OF WORK 1686 CARROL DRIVE - DEMOLITION NOTES

- DEMOLITION SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
  - CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE ROOFING MATERIAL.
  - CONTRACTOR SHALL DEMOLISH ALL EXISTING UNDERLAYMENTS.
  - CONTRACTOR SHALL DEMOLISH ALL PIPE BOOTS, CRICKETS AND OTHER PENETRATION FLASHINGS.
  - CONTRACTOR SHALL DEMOLISH ALL TURTLE VENTS, THEN PREP THE ROOF OPENING FOR A NEW VENT.
  - CONTRACTOR SHALL RETAIN IN PLACE ALL EXISTING GAS FLUES AND VTRS.
  - CONTRACTOR SHALL RETAIN IN PLACE ALL GABLE VENTS.
  - CONTRACTOR SHALL REMOVE AND SALVAGE FOR REINSTALLATION ALL EXISTING GUTTERS AND DOWNSPOUTS, INCLUDING STRAPS, MOUNTINGS, AND OTHER ACCESSORIES. CLEAN THE GUTTERS OF TRASH AND DEBRIS.
  - CONTRACTOR SHALL DEMOLISH ALL METAL EAVE AND RAKE TRIM.
  - CONTRACTOR SHALL DEMOLISH ALL FLASHINGS AND COUNTER FLASHINGS NOT OTHERWISE NOTED TO REMAIN. EXISTING STEPPED THRU-WALL FLASHING SHALL REMAIN IN PLACE AND SHALL BE REUSED.
  - CONTRACTOR SHALL DEMOLISH 5% OF THE EXISTING 5/8" CDX ROOF DECK. AREAS TO BE DEMOLISHED WILL BE DETERMINED BY THE ARCHITECT IN THE FIELD.
  - CONTRACTOR SHALL PREPARE THE DECK FOR NEW WORK.
- NOTE: ALL CURBS IN GOOD CONTITION SHALL REMAIN IN PLACE AND SHALL BE REUSED

### LEGEND

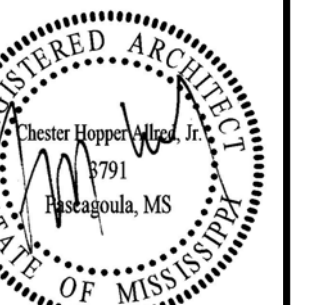
	DEMOLITION MARK
	NEW SHINGLES
	VENTED RIDGE
	VTR - EXISTING VENT THRU ROOF TO REMAIN. PROVIDE NEW BOOT.
	FLUE - EXISTING FLUE WITH COWL TO REMAIN IN PLACE. PROVIDE NEW BOOT.
	T.V. - TURTLE VENT - EXISTING. DEMOLISH AND PROVIDE NEW IN EXISTING LOCATION.
	G.V. - GABLE VENT - EXISTING. PROTECT AND RETAIN IN PLACE
	U.E. - UTILITY ENTRANCE - EXISTING PIPE TO REMAIN IN PLACE. PROVIDE NEW BOOT.

2 1686 CARROL DRIVE - REROOF PLAN  
3/16" = 1'-0"

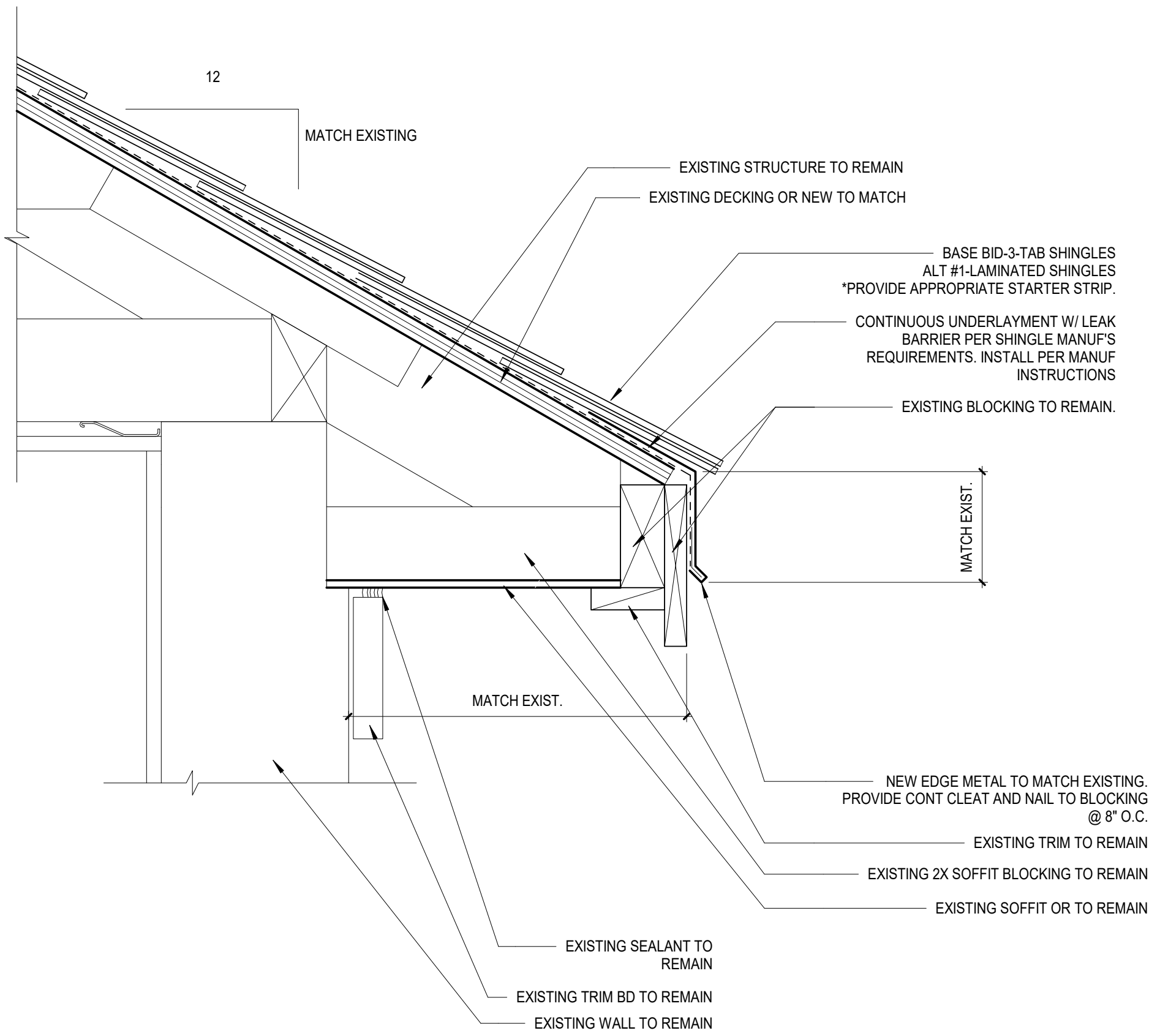


### SCOPE OF WORK 1686 CARROL DRIVE - REROOF NOTES

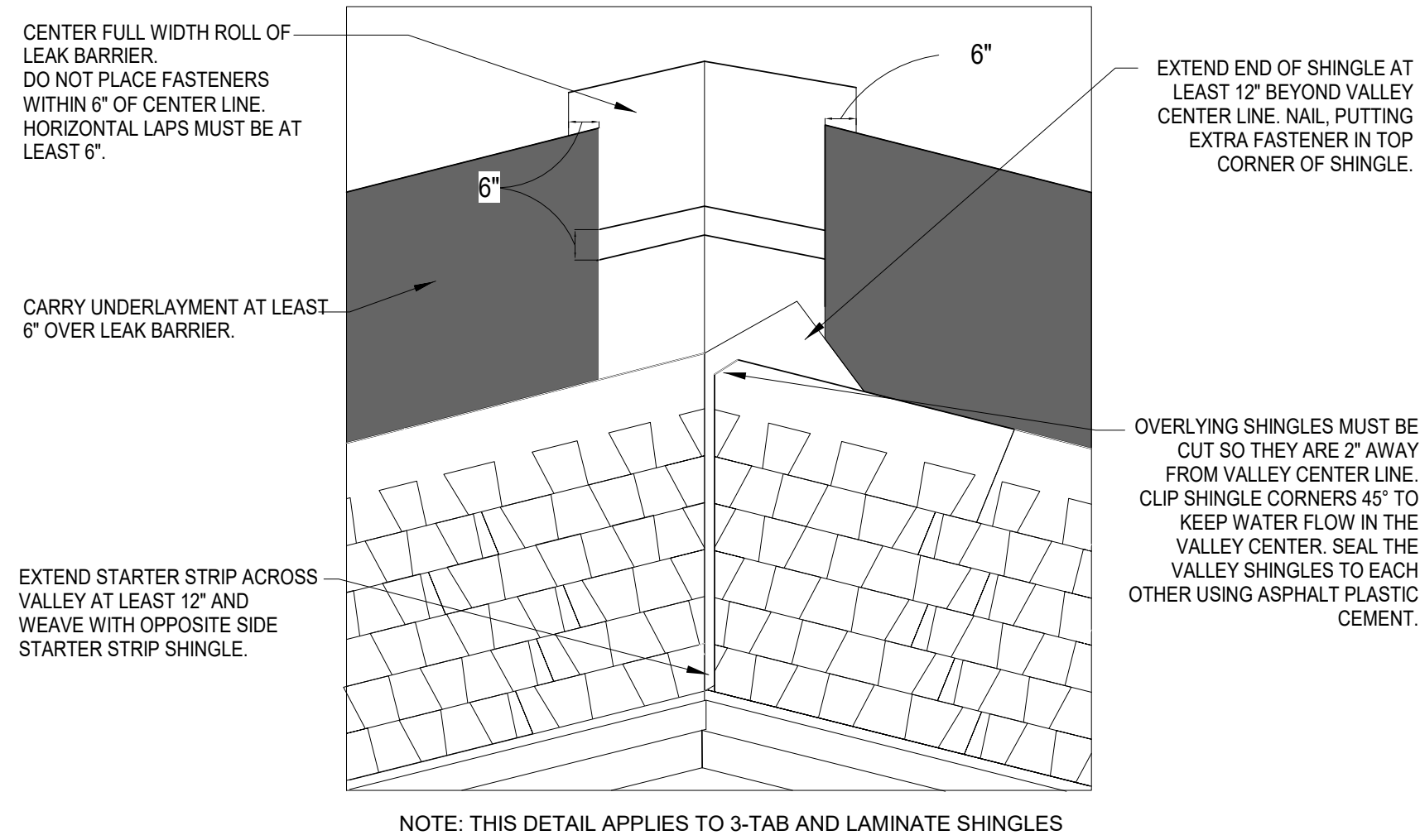
- REROOF SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW 5/8" CDX ROOF DECK OVER 5% OF THE EXISTING DECK AREA, WHERE EXISTING DECK HAS BEEN DEMOLISHED OR WHERE PENETRATIONS ARE ABANDONED.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW UNDERLAYMENT AS SPECIFIED AND DETAILED.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW TURTLE VENTS IN LOCATIONS DRAWN.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW FLASHING AT GAS FLUES AND VTRS.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW ROOF SHINGLES AS SPECIFIED AND DETAILED.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW RAKE AND EAVE TRIM.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW COUNTERFLASHING / THRU-WALL FLASHING.
  - CONTRACTOR SHALL REINSTALL SALVAGED GUTTERS AND DOWNSPOUTS.



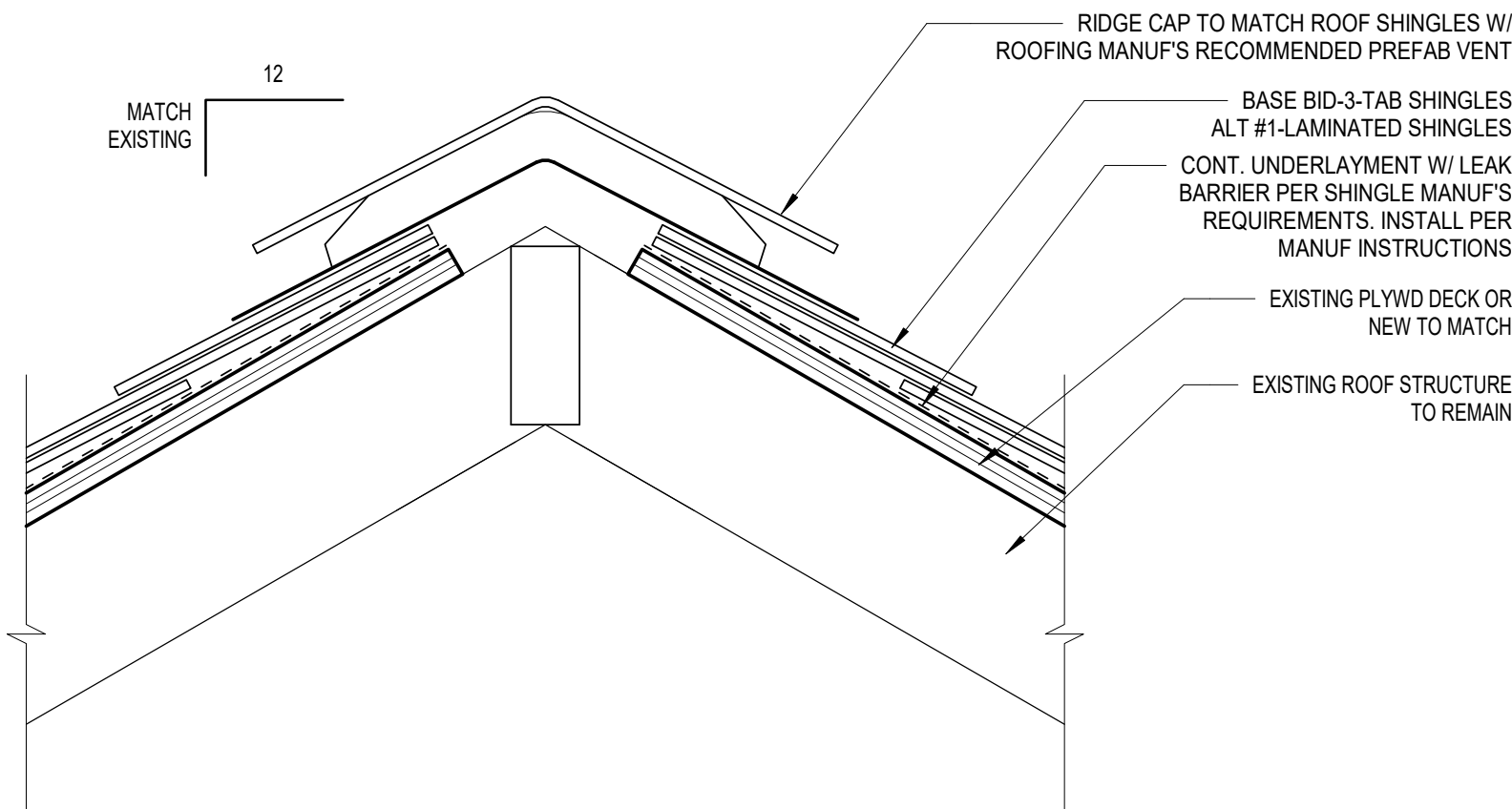




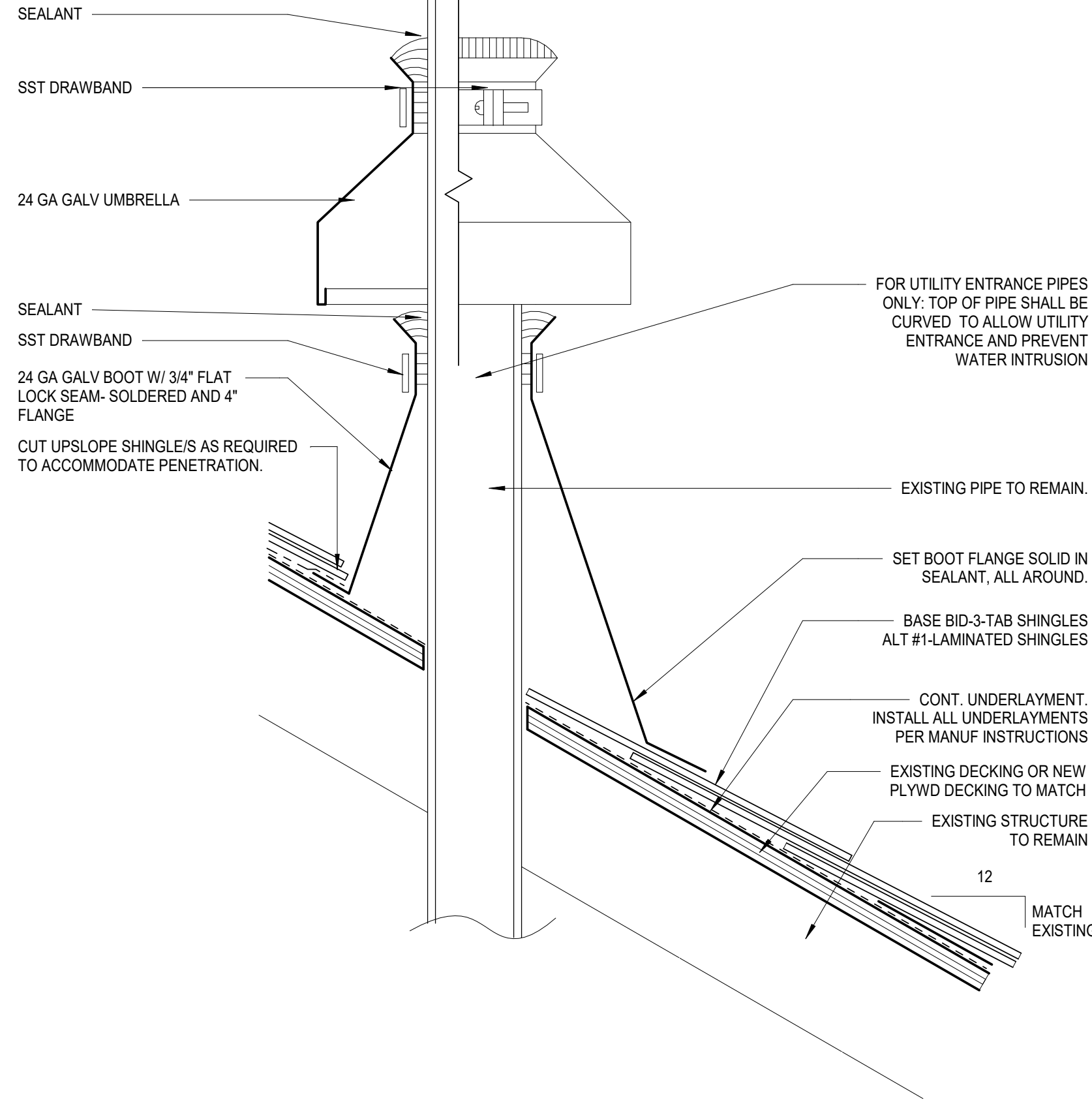
1 EAVE  
3" = 1'-0"



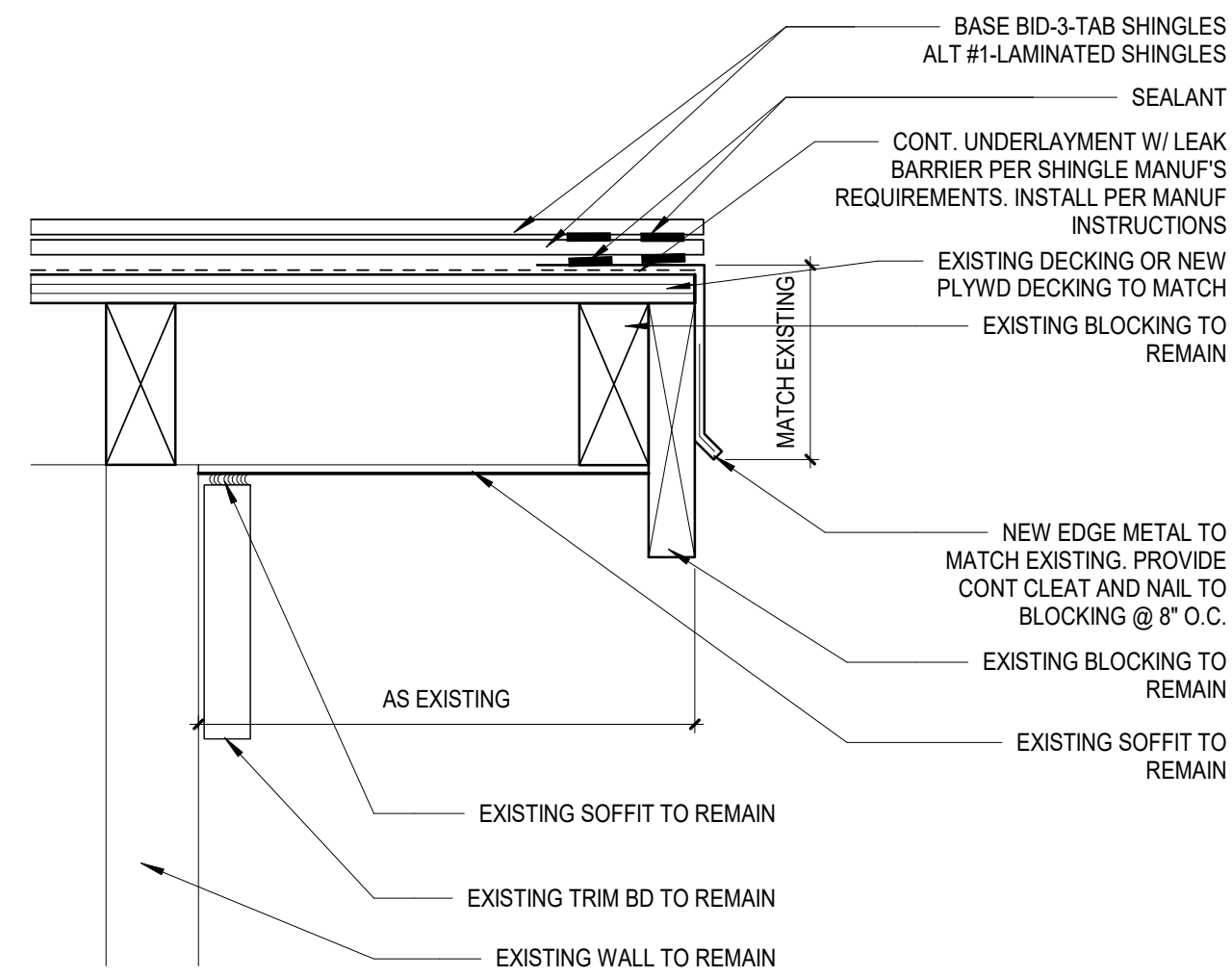
4 VALLEY FLASHING  
N.T.S.



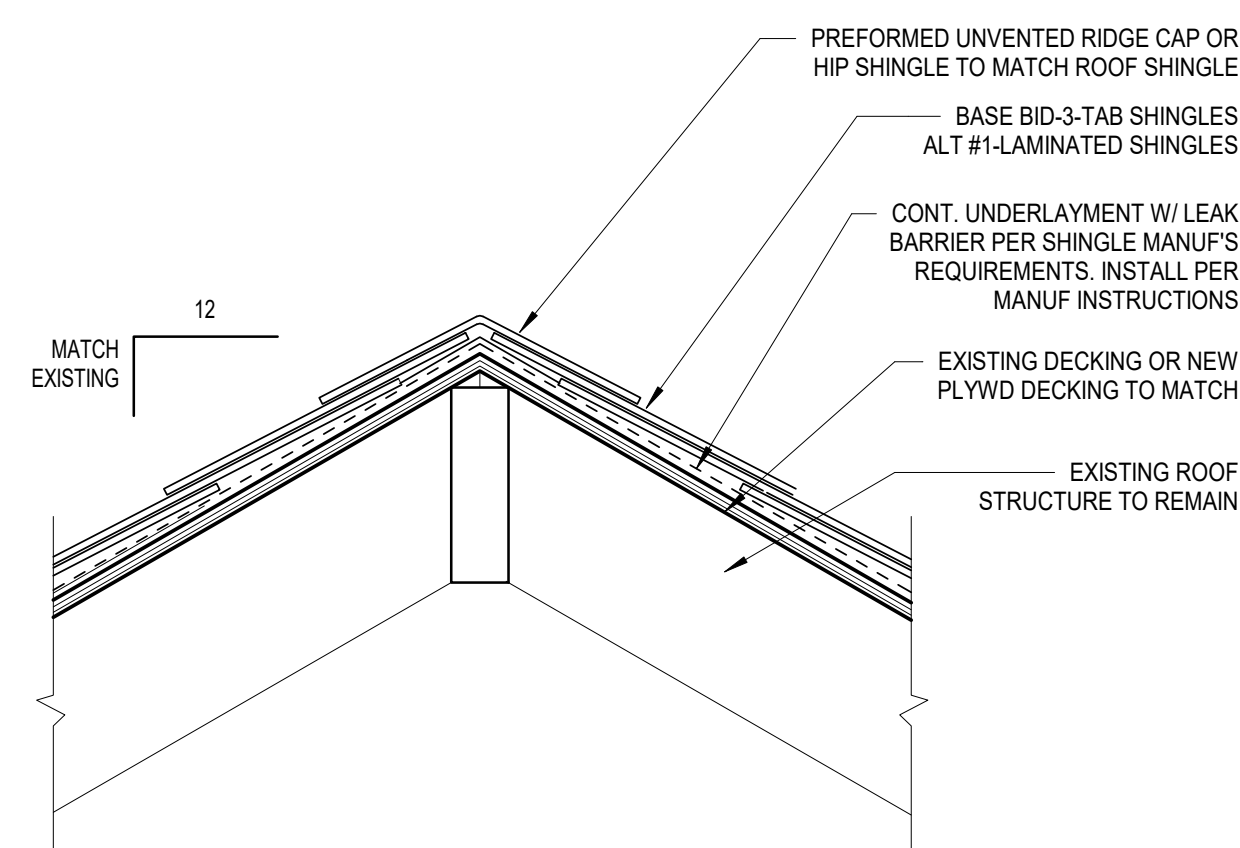
8 VENTED RIDGE  
3" = 1'-0"



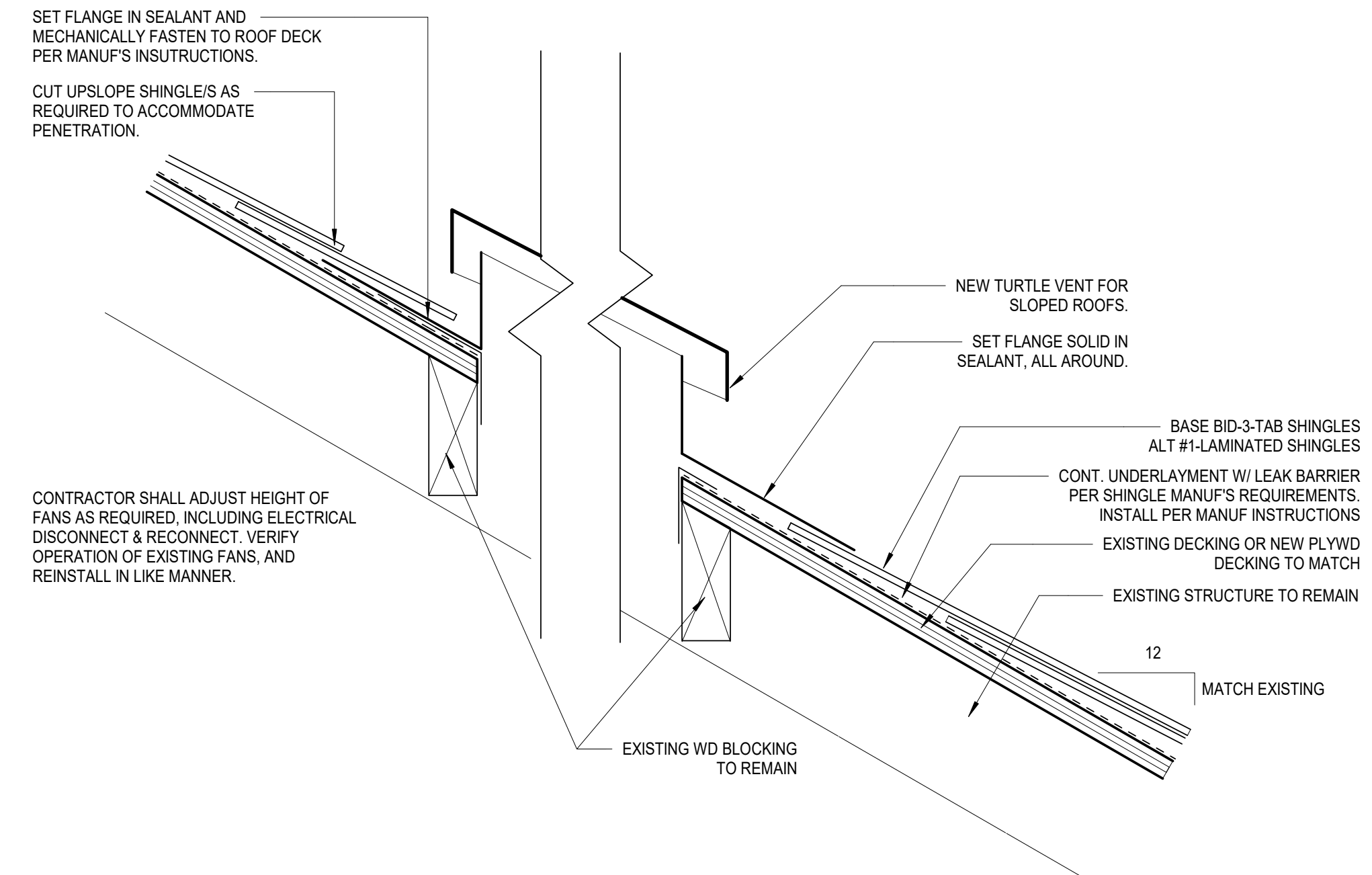
2 FLUE OR U.E.  
3" = 1'-0"



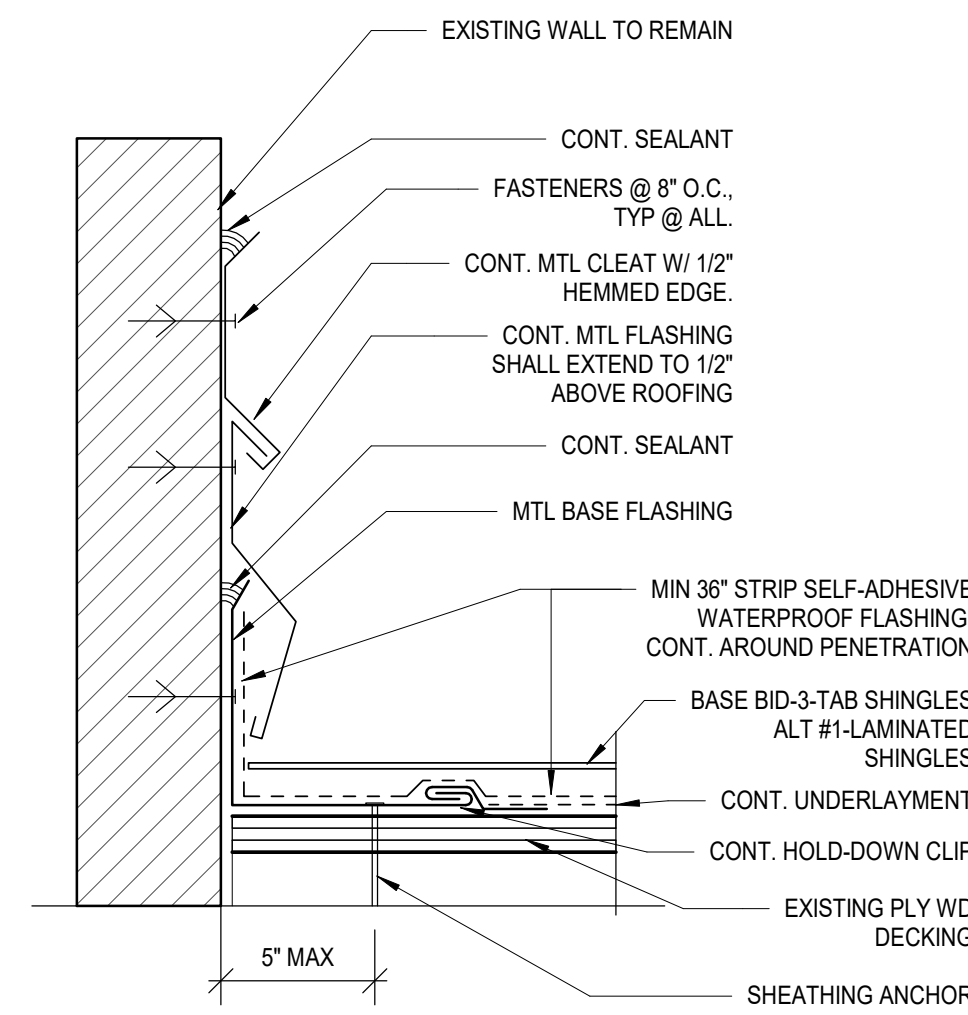
5 RAKE  
3" = 1'-0"



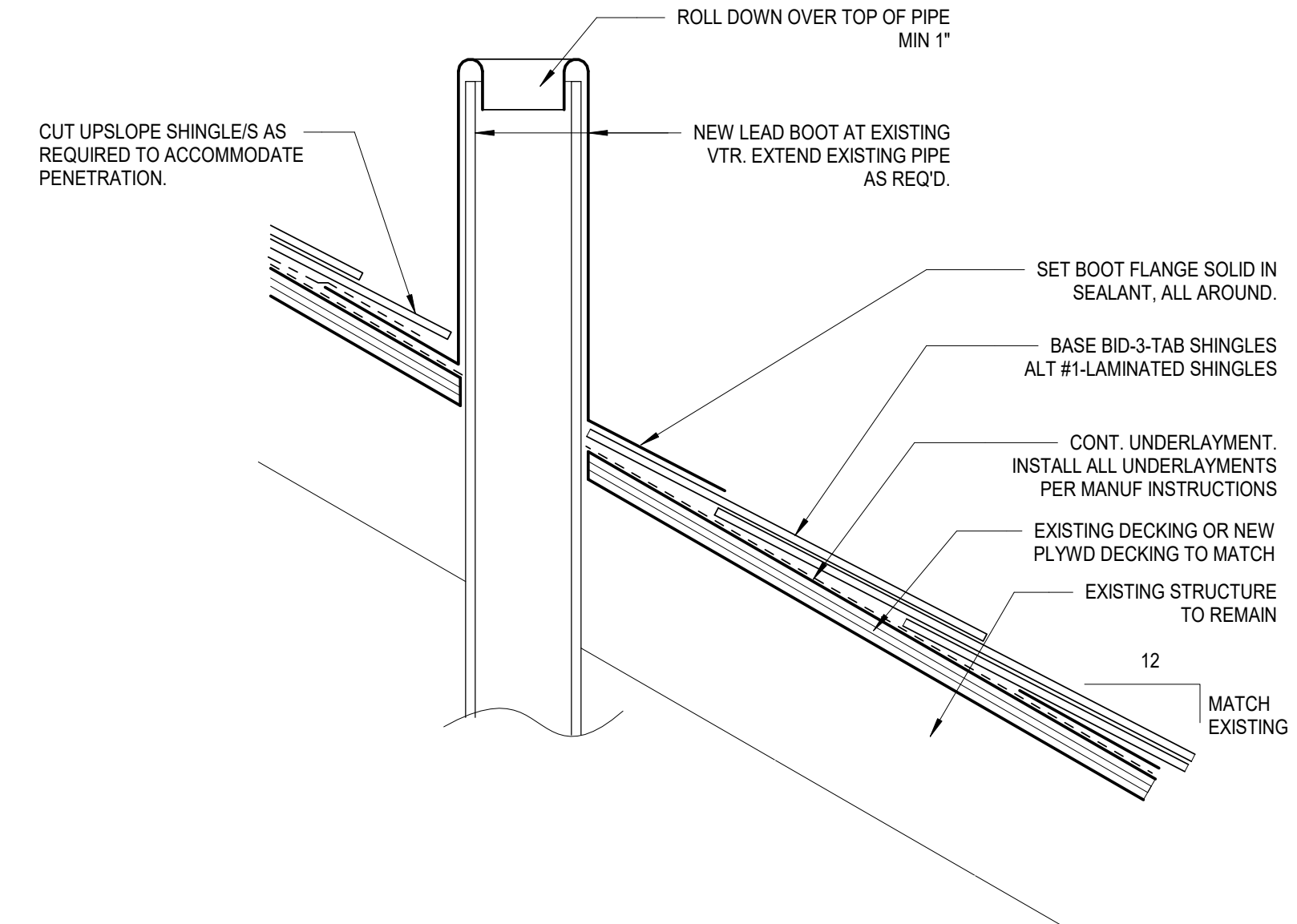
9 UNVENTED RIDGE OR HIP  
3" = 1'-0"



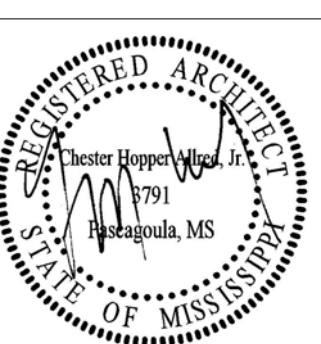
3 THRU-ROOF TURTLE VENT  
3" = 1'-0"



6 ROOF/WALL FLASHING  
3" = 1'-0"



7 VTR  
3" = 1'-0"





# IFB#RRP03.21 BHA ROOF REPLACEMENT PROJECT - HURRICANE ZETA REPAIRS - VOLUME 7 - BAYVIEW OAKS

BILOXI HOUSING AUTHORITY  
330 BENACHI AVENUE BILOXI, MS 39530

## VOLUME 7 - DRAWING INDEX

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INDEX - ARCHITECTURAL	
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A102	TYPES F1 & F2 - DEMOLITION AND REROOF PLANS
A103	TYPES F3 & F4 - DEMOLITION AND REROOF PLANS
A104	TYPES G1 & G2- DEMOLITION AND REROOF PLANS
A201	SHINGLE ROOF DETAILS

PROJ #: 2021-23

IFB#RRP03.21 BHA ROOF REPLACEMENT PROJECT -  
HURRICANE ZETA REPAIRS - VOLUME 7 - BAYVIEW OAKS

BILOXI HOUSING AUTHORITY  
330 BENACHI AVENUE BILOXI, MS 39530

DATE: 02/28/2021

SET TYPE  
BID SET

### PROJECT TEAM

ARCHITECT  
**ALLRED STOLARSKI**  
**ARCHITECTS**

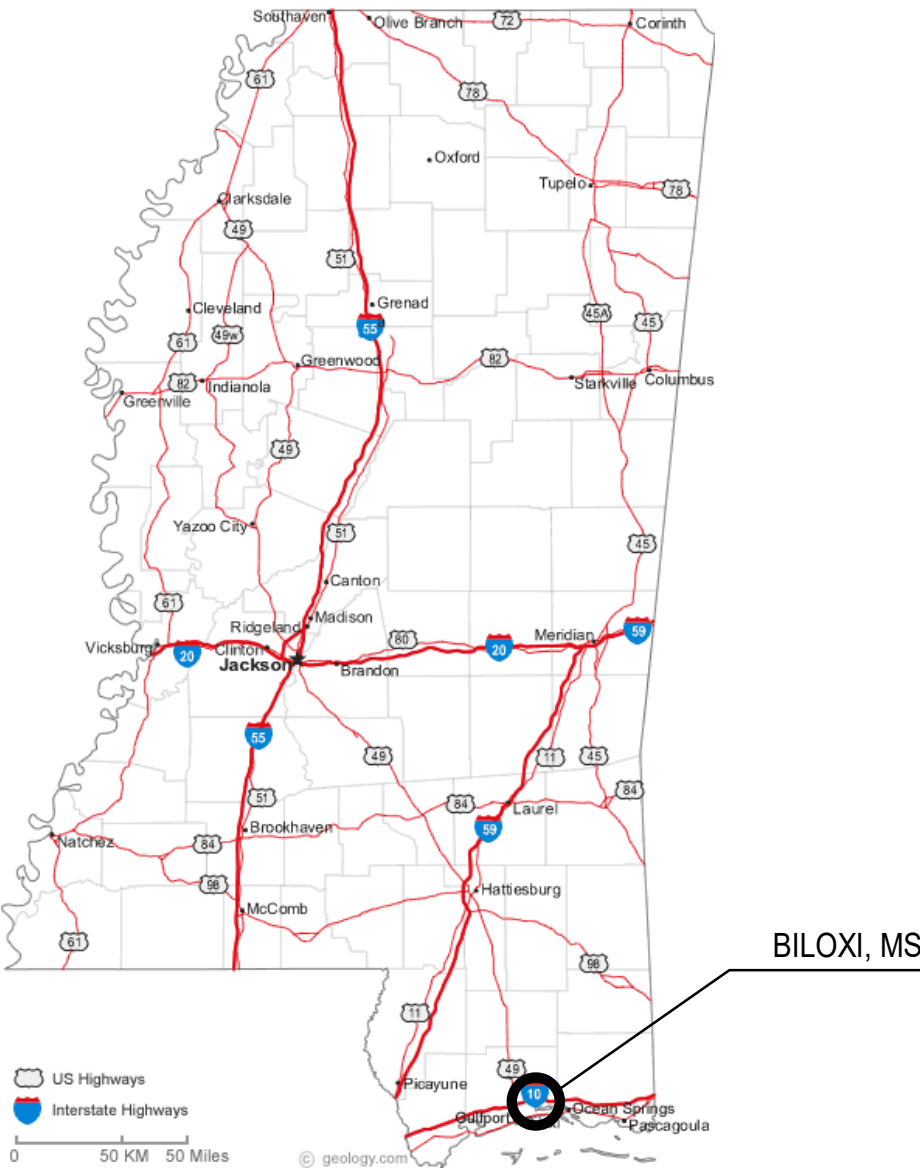
711 CHURCH STREET  
OCEAN SPRINGS, MS 39564  
T (228) 762-1975  
HOPPY ALLRED, AIA, PRINCIPAL  
ARCHITECT  
hoppy@allredstolarski.com

### ALTERNATES

ALTERNATE #1: AN ADDITIVE ALTERNATE FOR ALL LABOR, MATERIALS, AND EQUIPMENT NECESSARY TO REROOF BUILDINGS AT BAYVIEW OAKS, COMPLETE AS INDICATED ON THE DRAWINGS AND IN ACCORDANCE WITH THE SPECIFICATIONS.

ALTERNATE #2: AN ADDITIVE ALTERNATE FOR ALL LABOR, MATERIALS, AND EQUIPMENT NECESSARY TO INSTALL A LAMINATED SHINGLE ROOF IN LIEU OF THE BASE BID 3-TAB SHINGLE ROOF, COMPLETE AS INDICATED ON THE DRAWINGS AND IN ACCORDANCE WITH THE SPECIFICATIONS.

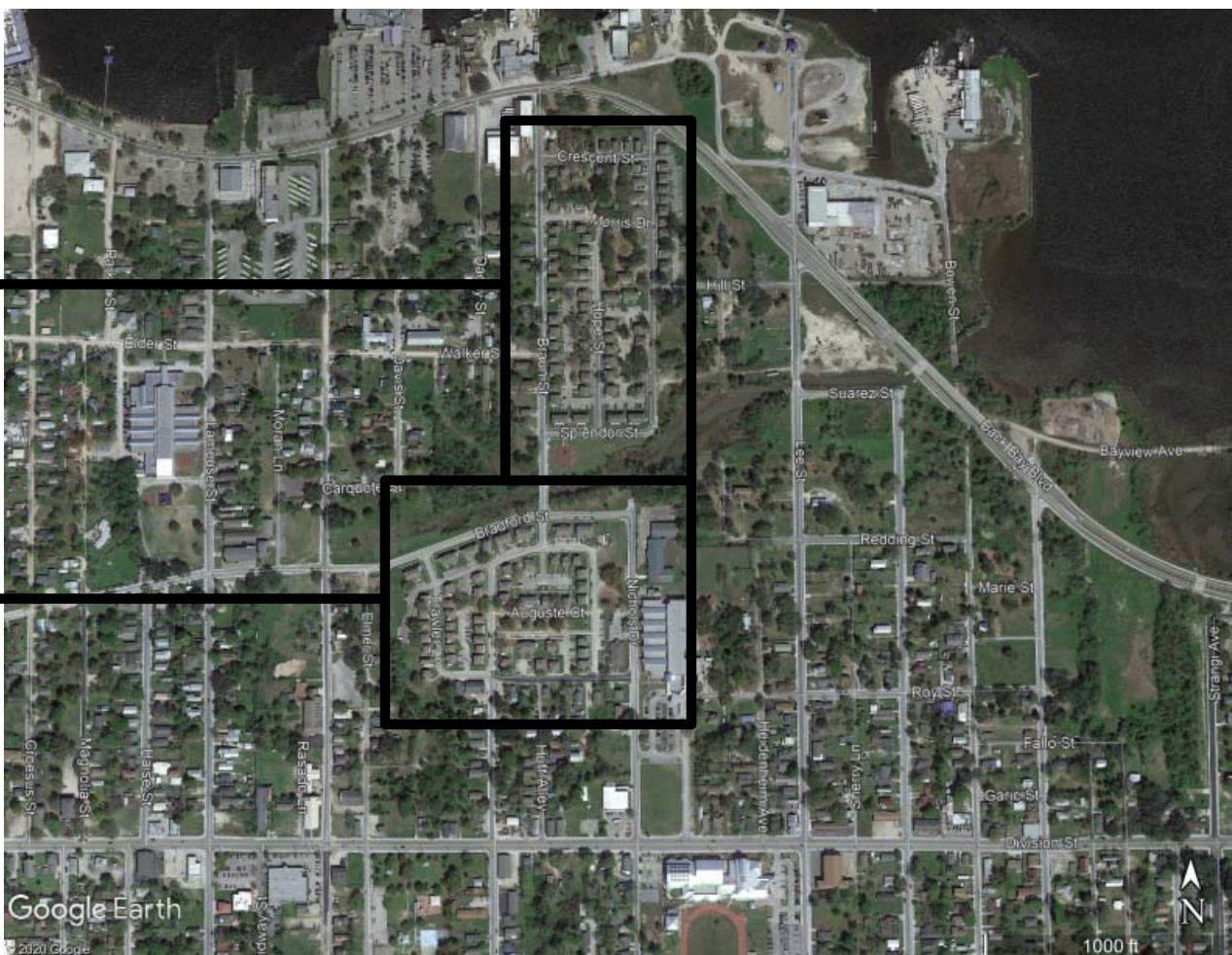
### LOCATION MAP NTS



### VICINITY MAP NTS

BAYVIEW OAKS  
NORTH

BAYVIEW OAKS  
SOUTH



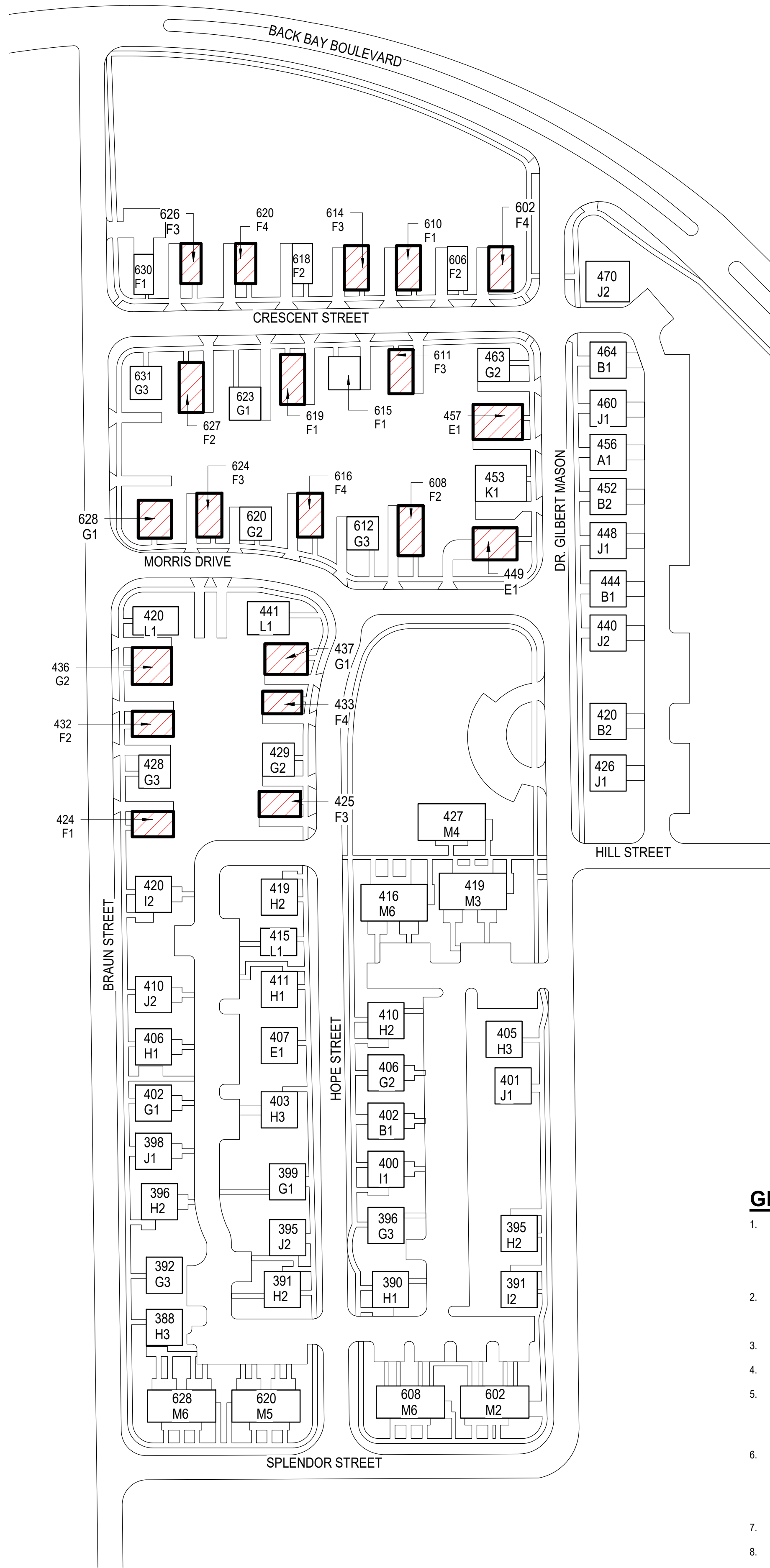
**allred**  
**stolarski**  
**architects**



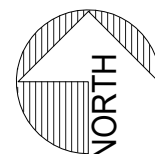
711 Church Street  
Ocean Springs, MS 39564

Phone: (228) 762-1975  
Email: [contact@allredstolarski.com](mailto:contact@allredstolarski.com)

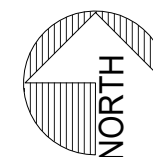




1  
A100 A100  
REFERENCE SITE PLAN-NORTH  
1" = 80'-0"



2  
A100 A100  
REFERENCE SITE PLAN-SOUTH  
1" = 80'-0"

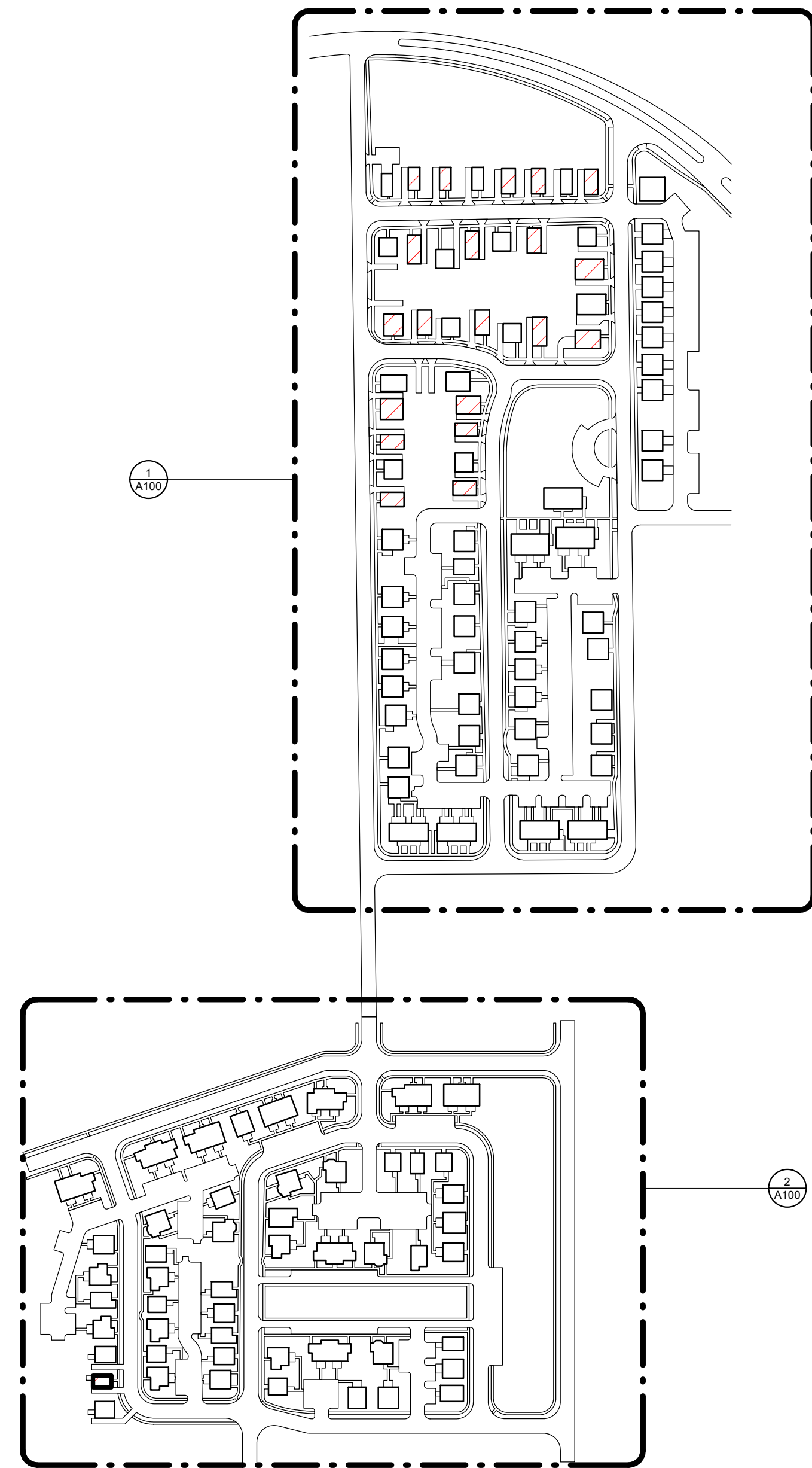


### GENERAL WORK NOTES

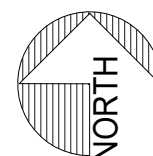
1. ALL INFORMATION REGARDING EXISTING CONDITIONS IS BASED ON OWNER SUPPLIED DOCUMENTS AND MAY NOT REFLECT ACTUAL FIELD CONDITIONS. UPON DISCOVERY OF ANY DISCREPANCIES BETWEEN FIELD CONDITIONS AND DRAWINGS DEPICTING EXISTING CONDITIONS OR UPON DISCOVERY OF UNKNOWN CONDITIONS DETRIMENTAL TO THE COMPLETION OF THE WORK AS INDICATED ON THE DRAWINGS, CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT IN WRITING. CONTRACTOR IS RESPONSIBLE FOR ALL SHORING AND BRACING NECESSARY TO MAINTAIN STRUCTURAL INTEGRITY. AT NO TIME SHALL THE EXISTING STRUCTURAL MEMBERS BE SUBJECTED TO CUTTING, DRILLING, OR ANY MODIFICATION PROCESS THAT MAY INTERFERE WITH ITS STRUCTURAL INTEGRITY.
2. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL DIMENSIONS AND CONDITIONS IN FIELD PRIOR TO BIDDING.
3. SALVAGE IS DEFINED AS THE CAREFUL REMOVAL AND RETAINING OF ITEMS AS SHOWN IN DRAWINGS FOR POSSIBLE REUSE OR DELIVERY TO OWNER.
4. CARE SHOULD BE TAKEN AT THE INTERFACE BETWEEN DEMOLITION AND EXISTING CONSTRUCTION TO REMAIN, TO AVOID ANY DAMAGE TO EXISTING CONSTRUCTION. AFTER REMOVAL OF EXISTING ROOFING OR CONSTRUCTION, PATCH AND REPAIR DAMAGE TO ANY EXISTING, WALLS, SIDEWALKS, PAVING, CURBS, LANDSCAPING, ETC. TO A LIKE NEW CONDITION.
5. THE CONTRACTOR SHALL NOTIFY, COORDINATE, SCHEDULE, AND RECEIVE PRIOR PERMISSION FROM THE USING AGENCY PRIOR TO ANY SHUT DOWN OF BUILDING SERVICES AS REQUIRED TO COMPLETE THE WORK. NOTIFICATION SHALL INCLUDE LENGTH OF TIME REQUIRED TO SHUT DOWN, LENGTH OF TIME SERVICE WILL BE DISCONNECTED, AND TIME REQUIRED TO RECONNECT SERVICES. SHUT DOWN SHALL NOT OCCUR DURING BUSINESS HOURS.
6. THE EXISTING BUILDING ENVELOPE SHALL BE MAINTAINED IN A WATERTIGHT CONDITION AT ALL TIMES.
7. THE CONTRACTOR SHALL PROVIDE TEMPORARY PROTECTION AS NECESSARY AND AS REQUIRED TO SEAL OFF THE REST OF THE EXISTING BUILDING AND MAINTAIN BUILDING DURING DEMOLITION.
8. ALL DEMOLITION WORK SHALL BE EXECUTED IN CONFORMANCE WITH ALL CODES AND ORDINANCES AS SET FORTH BY ALL GOVERNING AUTHORITIES.
9. ALL NEW DOWNSPOUTS AND GUTTERS SHALL MATCH THE SIZE, MATERIAL, AND FINISH OF EXISTING DOWNSPOUTS AND GUTTERS THAT SHALL BE DEMOLISHED. ALL GUTTERS SHALL BE BOX PROFILE. ALL DOWNSPOUTS SHALL BE PLAIN RECTANGULAR SECTION.

### LEGEND

- |  |                 |  |
|--|-----------------|--|
|  | ###<br>SF<br>X# | WORK THIS LOCATION<br>STREET NUMBER /<br>APPROX ROOF AREA<br>BUILDING TYPE |
|  | ###<br>X#       | NO WORK THIS LOCATION<br>STREET NUMBER<br>BUILDING TYPE                    |
|  | PRIORITY        | THIS BUILDING SHALL HAVE<br>PRIORITY IN WORK SCHEDULING.                   |



3  
A100 A100  
REFERENCE SITE PLAN  
1" = 200'-0"



### REFERENCE SITE PLANS

IFB#RRP03.21 BHA ROOF REPLACEMENT PROJECT - HURRICANE  
ZETA REPAIRS - VOLUME 7 - BAYVIEW OAKS

BILOXI HOUSING AUTHORITY  
330 BENACHI AVENUE BILOXI, MS 39530

JOB NUMBER  
2021-23

DATE  
02/28/2021

REVIEWED  
BY

DRAWN BY  
SCN

CHECKED BY  
HA



SHEET

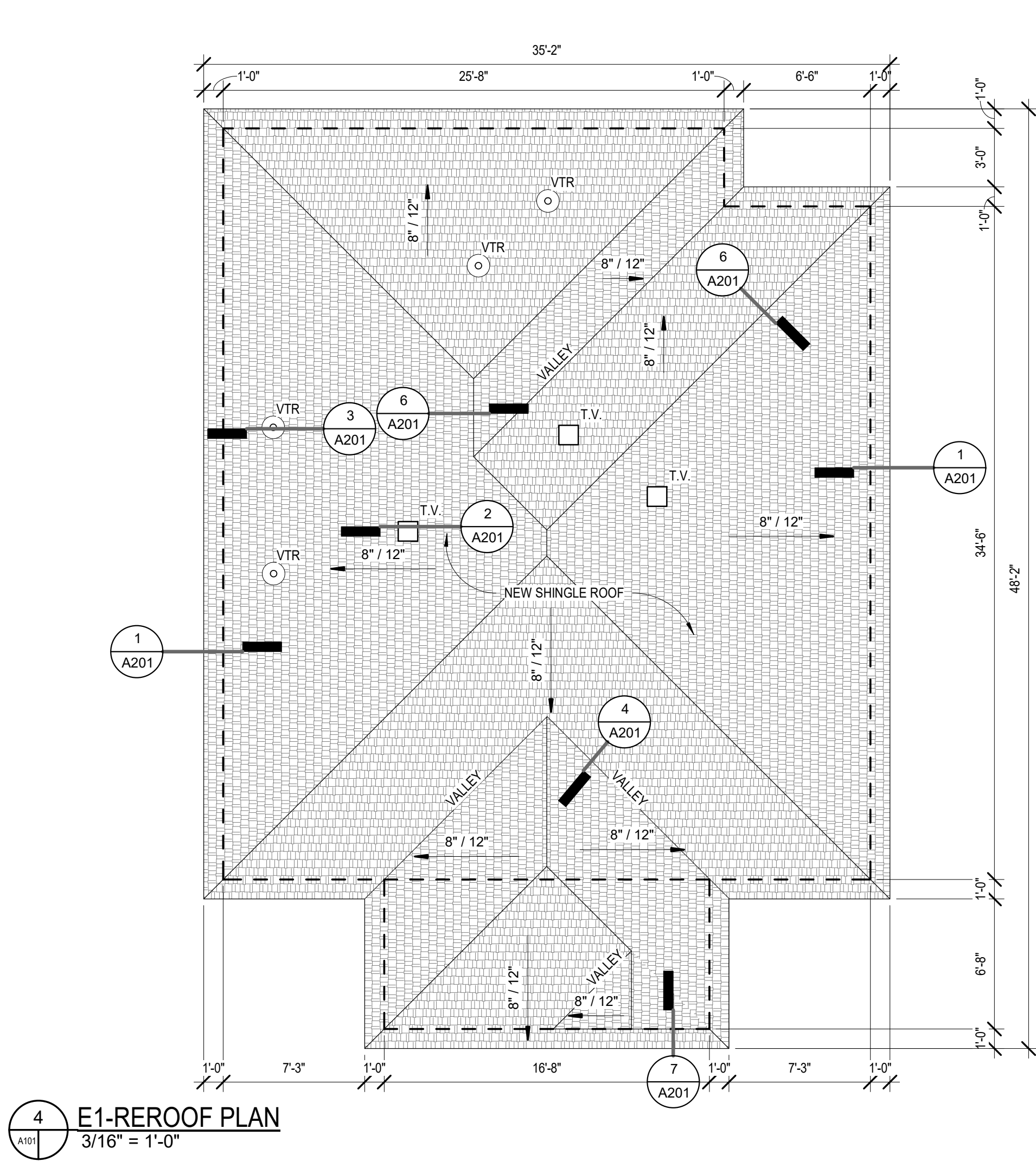
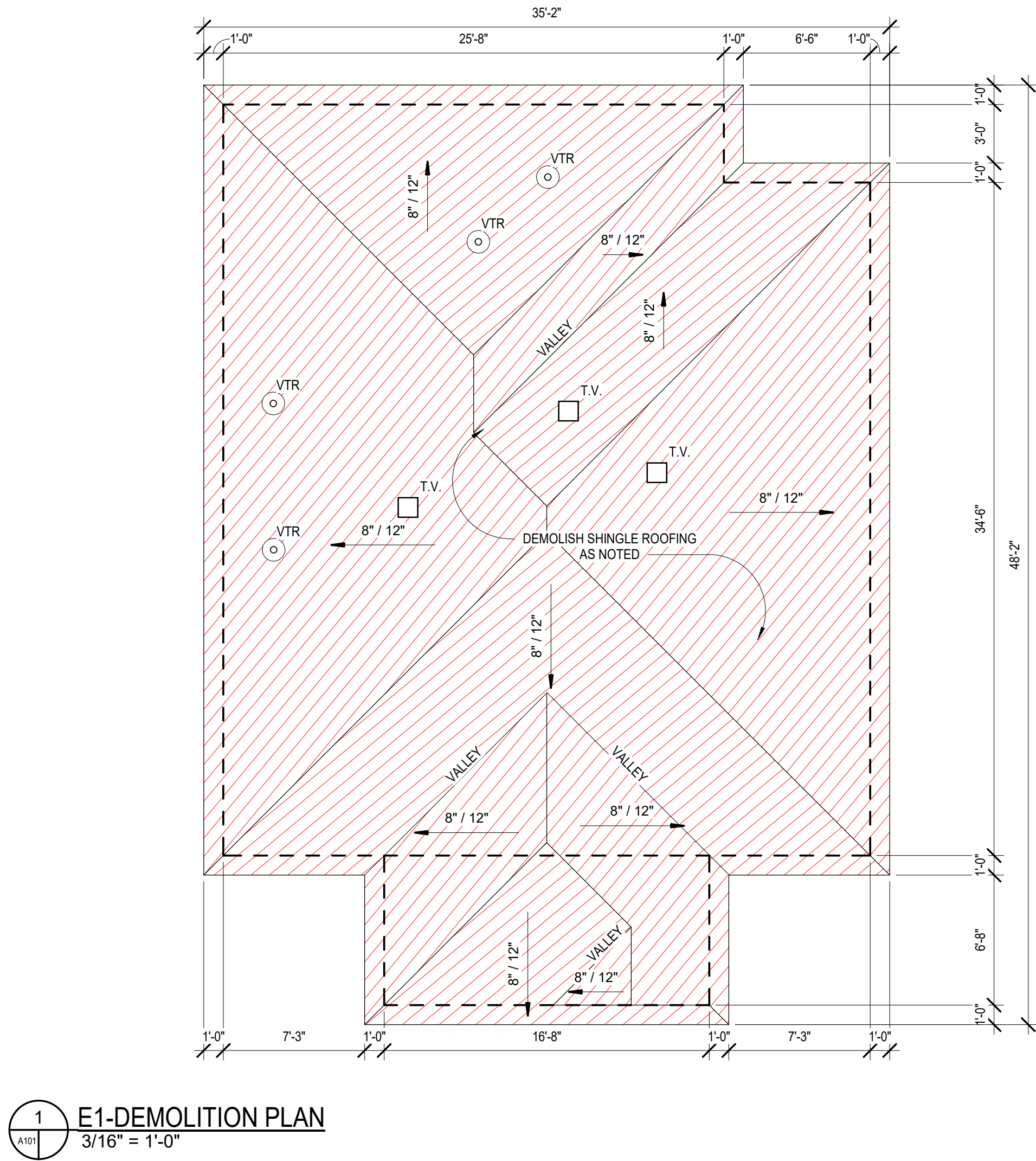
A100

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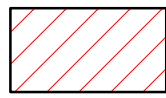




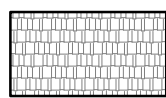
**SCOPE OF WORK BUILDING TYPE E1**  
**DEMOLITION NOTES**

- THE FOLLOWING BUILDINGS ARE TYPE E1:
  - #457 DR. GILBERT MASON
  - #449 DR. GILBERT MASON
- DEMOLITION SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
  - CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE ROOFING MATERIAL.
  - CONTRACTOR SHALL DEMOLISH ALL EXISTING UNDERLAYMENTS.
  - CONTRACTOR SHALL DEMOLISH ALL PIPE BOOTS, CRICKETS AND OTHER PENETRATION FLASHINGS.
  - CONTRACTOR SHALL DEMOLISH ALL TURTLE VENTS, THEN PREP THE ROOF OPENING FOR NEW VENTS.
  - CONTRACTOR SHALL RETAIN IN PLACE ALL EXISTING VTR'S.
  - CONTRACTOR SHALL DEMOLISH ALL EAVE AND RAKE TRIM.
  - CONTRACTOR SHALL DEMOLISH ALL FLASHINGS AND COUNTER FLASHINGS NOT OTHERWISE NOTED TO REMAIN.
  - CONTRACTOR SHALL DEMOLISH 5% OF THE EXISTING 5/8" CDX ROOF DECK. AREAS TO BE DEMOLISHED WILL BE DETERMINED BY THE ARCHITECT IN THE FIELD.
  - CONTRACTOR SHALL PREPARE THE DECK FOR NEW WORK.

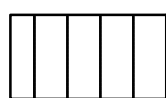
**LEGEND**



DEMOLITION MARK



NEW SHINGLES



EXISTING STANDING SEAM  
METAL ROOF TO REMAIN  
(TYP PORCH ROOF)



VTR - EXISTING VENT THRU ROOF  
TO REMAIN. PROVIDE NEW BOOT.



TURTLE VENT - EXISTING VENT TO BE  
DEMOLISHED. INSTALL NEW  
SPECIFIED VENT IN EXISTING  
LOCATION.

**SCOPE OF WORK BUILDING TYPE E1**  
**REROOF NOTES**

- THE FOLLOWING BUILDINGS ARE TYPE E1:
  - #457 DR. GILBERT MASON
  - #449 DR. GILBERT MASON
- REROOF SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW 5/8" CDX ROOF DECK OVER 5% OF THE EXISTING DECK AREA, WHERE EXISTING DECK HAS BEEN DEMOLISHED.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW UNDERLAYMENT AS SPECIFIED AND DETAILED.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW TURTLE VENTS IN LOCATIONS DRAWN.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW FLASHING AT VTR'S.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW ROOF SHINGLES AS SPECIFIED AND DETAILED.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW RAKE AND EAVE TRIM.

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02/28/2021

REVISION  
REVISED

DRAWN BY  
SCN

CHECKED BY  
HA



SHEET

A101

**TYPE E1 - DEMOLITION AND REROOF PLANS**

IFB#RRP03.21 BHA ROOF REPLACEMENT PROJECT - HURRICANE

ZETA REPAIRS - VOLUME 7 - BAYVIEW OAKS

BILOXI HOUSING AUTHORITY  
330 BENACHI AVENUE BILOXI, MS 39530

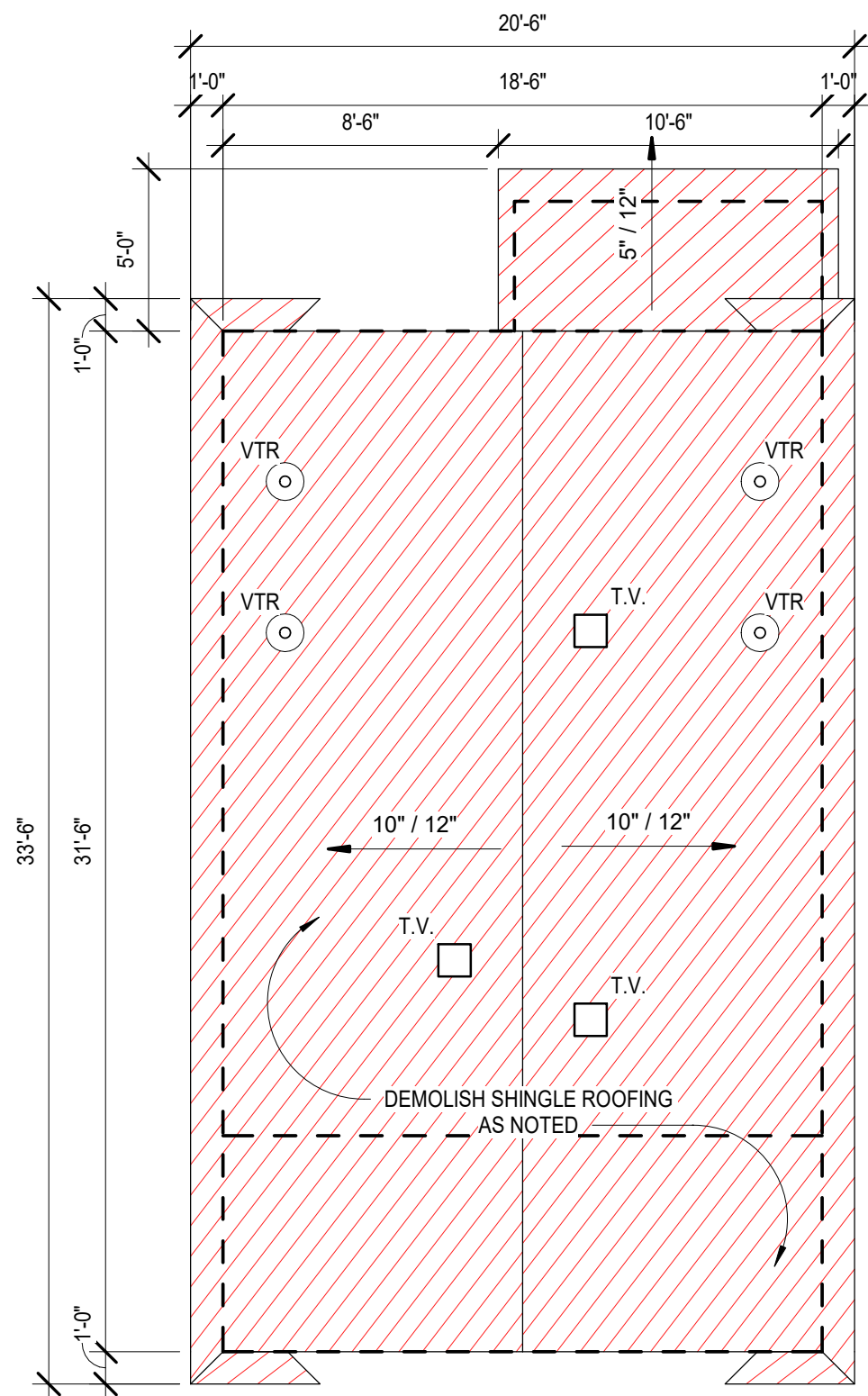
711 Church Street  
Ocean Springs, MS 39564

**allred  
stolarski  
architects**

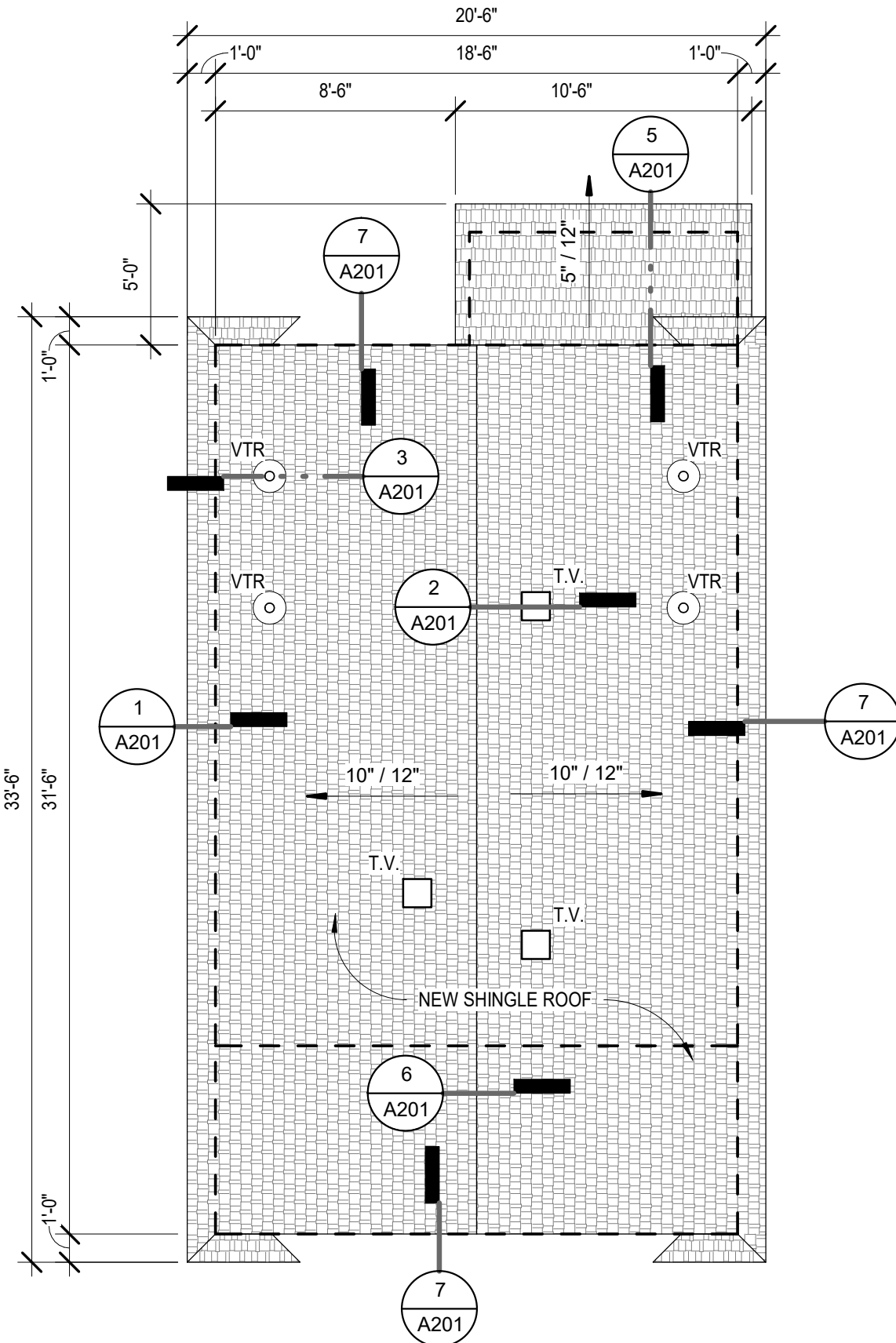
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Email: [contact@allredstolarski.com](mailto:contact@allredstolarski.com)



TYPE F1



1 F1-DEMOLITION PLAN  
3/16" = 1'-0"



2 F1-REROOF PLAN  
3/16" = 1'-0"

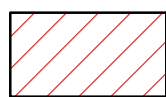
SCOPE OF WORK BUILDING TYPE F1  
DEMOLITION NOTES

- THE FOLLOWING BUILDINGS ARE TYPE F1:  
A. #610 CRESCENT STREET  
B. #619 CRESCENT STREET  
C. #424 BRAUN STREET
- DEMOLITION SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:  
A. CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE ROOFING MATERIAL.  
B. CONTRACTOR SHALL DEMOLISH ALL EXISTING UNDERLAYMENTS.  
C. CONTRACTOR SHALL DEMOLISH ALL PIPE BOOTS, CRICKETS AND OTHER PENETRATION FLASHINGS.  
D. CONTRACTOR SHALL DEMOLISH ALL TURTLE VENTS, THEN PREP THE ROOF OPENING FOR NEW VENTS.  
E. CONTRACTOR SHALL RETAIN IN PLACE ALL EXISTING VTR'S.  
F. CONTRACTOR SHALL DEMOLISH ALL EAVE AND RAKE TRIM.  
G. CONTRACTOR SHALL DEMOLISH ALL FLASHINGS AND COUNTER FLASHINGS NOT OTHERWISE NOTED TO REMAIN. EXISTING THRU-WALL FLASHING SHALL REMAIN IN PLACE AND SHALL BE REUSED.  
H. CONTRACTOR SHALL DEMOLISH 5% OF THE EXISTING 5/8" CDX ROOF DECK. AREAS TO BE DEMOLISHED WILL BE DETERMINED BY THE ARCHITECT IN THE FIELD.  
I. CONTRACTOR SHALL PREPARE THE DECK FOR NEW WORK.

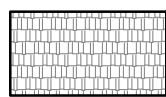
SCOPE OF WORK BUILDING TYPE F1  
REROOF NOTES

- THE FOLLOWING BUILDINGS ARE TYPE F1:  
A. #610 CRESCENT STREET  
B. #619 CRESCENT STREET  
C. #424 BRAUN STREET
- REROOF SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:  
A. CONTRACTOR SHALL PROVIDE AND INSTALL NEW 5/8" CDX ROOF DECK OVER 5% OF THE EXISTING DECK AREA, WHERE EXISTING DECK HAS BEEN DEMOLISHED.  
B. CONTRACTOR SHALL PROVIDE AND INSTALL NEW UNDERLAYMENT AS SPECIFIED AND DETAILED.  
C. CONTRACTOR SHALL PROVIDE AND INSTALL NEW TURTLE VENTS IN LOCATIONS DRAWN.  
D. CONTRACTOR SHALL PROVIDE AND INSTALL NEW FLASHING AT VTR'S.  
E. CONTRACTOR SHALL PROVIDE AND INSTALL NEW ROOF SHINGLES AS SPECIFIED AND DETAILED.  
F. CONTRACTOR SHALL PROVIDE AND INSTALL NEW RAKE AND EAVE TRIM.  
G. CONTRACTOR SHALL PROVIDE AND INSTALL NEW COUNTERFLASHING / THRU-WALL FLASHING.

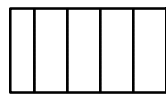
LEGEND



DEMOLITION MARK



NEW SHINGLES



EXISTING STANDING SEAM  
METAL ROOF TO REMAIN  
(TYP PORCH ROOF)

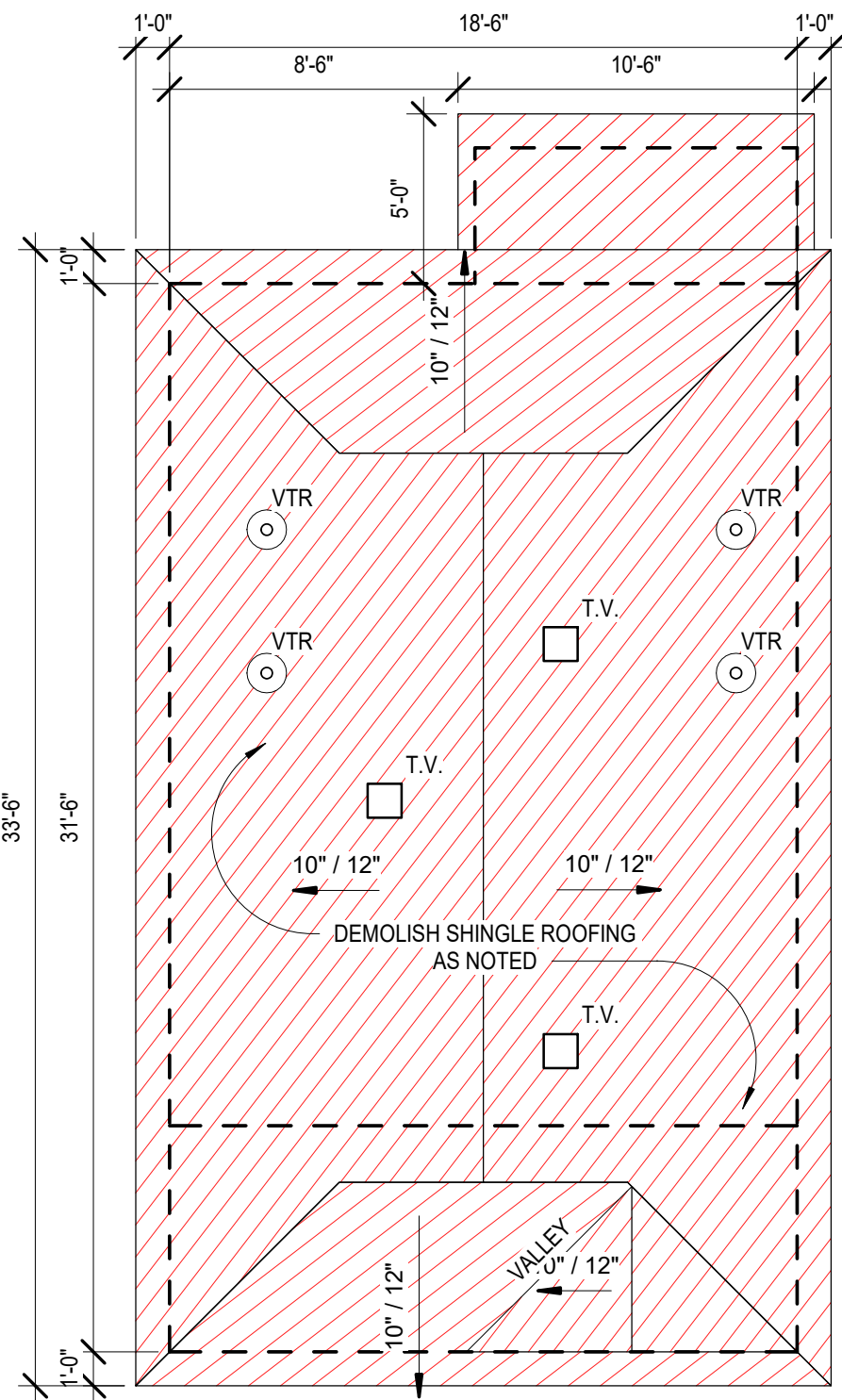


VTR - EXISTING VENT THRU ROOF  
TO REMAIN. PROVIDE NEW BOOT.

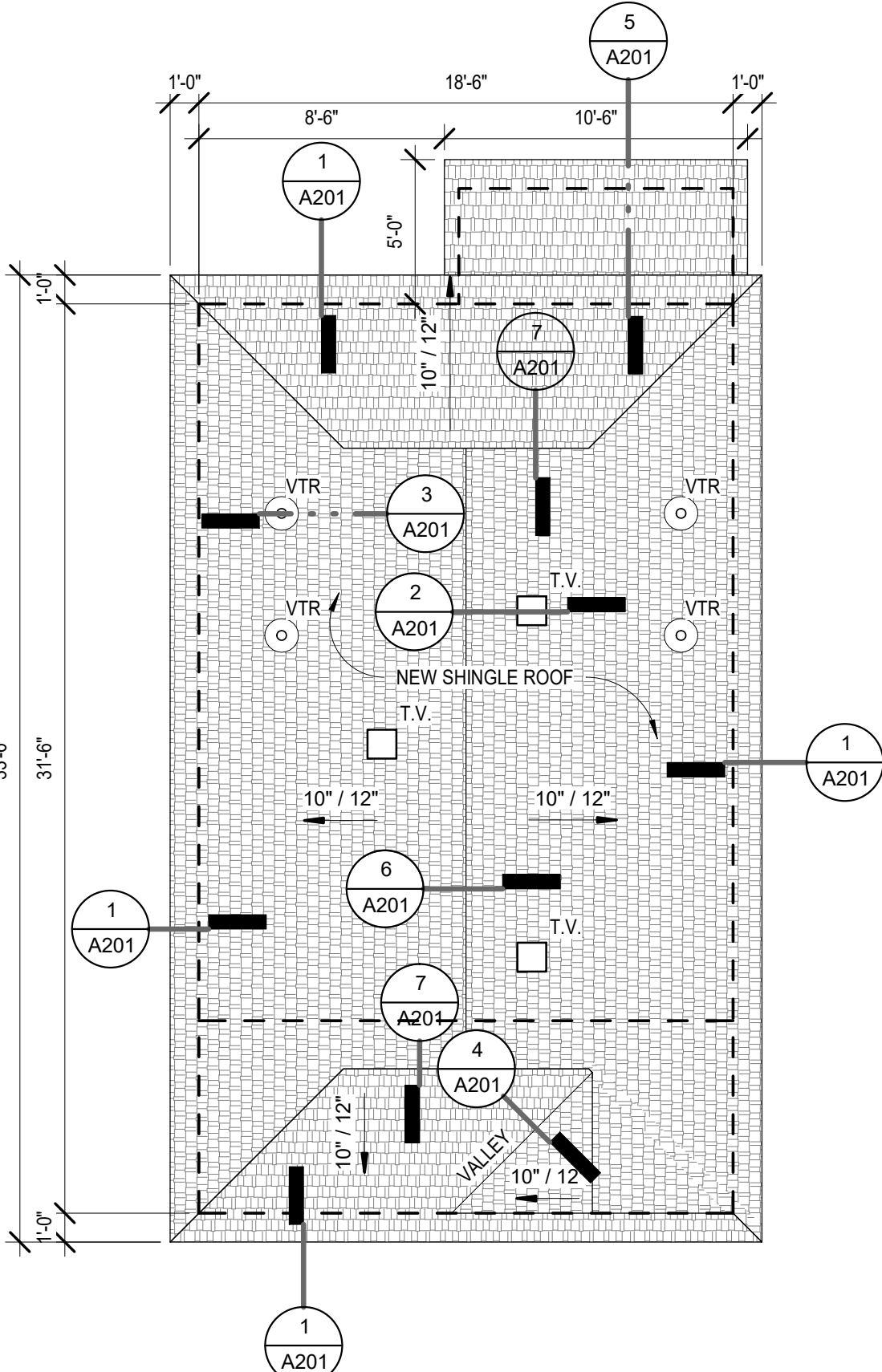


TURTLE VENT - EXISTING VENT TO BE  
DEMOLISHED. INSTALL NEW  
SPECIFIED VENT IN EXISTING  
LOCATION.

TYPE F2



3 F2-DEMOLITION PLAN  
3/16" = 1'-0"



4 F2-REROOF PLAN  
3/16" = 1'-0"

SCOPE OF WORK BUILDING TYPE F2  
DEMOLITION NOTES

- THE FOLLOWING BUILDINGS ARE TYPE F2:  
A. #627 CRESCENT STREET  
B. #608 MORRIS DRIVE  
C. #432 BRAUN STREET
- DEMOLITION SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:  
A. CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE ROOFING MATERIAL.  
B. CONTRACTOR SHALL DEMOLISH ALL EXISTING UNDERLAYMENTS.  
C. CONTRACTOR SHALL DEMOLISH ALL PIPE BOOTS, CRICKETS AND OTHER PENETRATION FLASHINGS.  
D. CONTRACTOR SHALL DEMOLISH ALL TURTLE VENTS, THEN PREP THE ROOF OPENING FOR NEW VENTS.  
E. CONTRACTOR SHALL RETAIN IN PLACE ALL EXISTING VTR'S.  
F. CONTRACTOR SHALL DEMOLISH ALL EAVE AND RAKE TRIM.  
G. CONTRACTOR SHALL DEMOLISH ALL FLASHINGS AND COUNTER FLASHINGS NOT OTHERWISE NOTED TO REMAIN. EXISTING THRU-WALL FLASHING SHALL REMAIN IN PLACE AND SHALL BE REUSED.  
H. CONTRACTOR SHALL DEMOLISH 5% OF THE EXISTING 5/8" CDX ROOF DECK. AREAS TO BE DEMOLISHED WILL BE DETERMINED BY THE ARCHITECT IN THE FIELD.  
I. CONTRACTOR SHALL PREPARE THE DECK FOR NEW WORK.

SCOPE OF WORK BUILDING TYPE F2  
REROOF NOTES

- THE FOLLOWING BUILDINGS ARE TYPE F2:  
A. #627 CRESCENT STREET  
B. #608 MORRIS DRIVE  
C. #432 BRAUN STREET
- REROOF SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:  
A. CONTRACTOR SHALL PROVIDE AND INSTALL NEW 5/8" CDX ROOF DECK OVER 5% OF THE EXISTING DECK AREA, WHERE EXISTING DECK HAS BEEN DEMOLISHED.  
B. CONTRACTOR SHALL PROVIDE AND INSTALL NEW UNDERLAYMENT AS SPECIFIED AND DETAILED.  
C. CONTRACTOR SHALL PROVIDE AND INSTALL NEW TURTLE VENTS IN LOCATIONS DRAWN.  
D. CONTRACTOR SHALL PROVIDE AND INSTALL NEW FLASHING AT VTR'S.  
E. CONTRACTOR SHALL PROVIDE AND INSTALL NEW ROOF SHINGLES AS SPECIFIED AND DETAILED.  
F. CONTRACTOR SHALL PROVIDE AND INSTALL NEW RAKE AND EAVE TRIM.  
G. CONTRACTOR SHALL PROVIDE AND INSTALL NEW COUNTERFLASHING / THRU-WALL FLASHING.

TYPES F1 & F2 - DEMOLITION AND REROOF

PLANS

IFB#RRP03.21 BHA ROOF REPLACEMENT PROJECT - HURRICANE

ZETA REPAIRS - VOLUME 7 - BAYVIEW OAKS

BILOXI HOUSING AUTHORITY

330 BENACHI AVENUE BILOXI, MS 39530

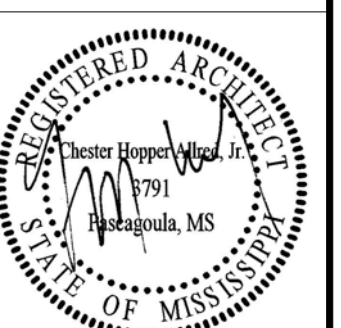
JOB NUMBER  
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DATE  
02/28/2021

REVIEWED  
SCN

DRAWN BY  
SCN

CHECKED BY  
HA



SHEET

A102

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Ocean Springs, MS 39564

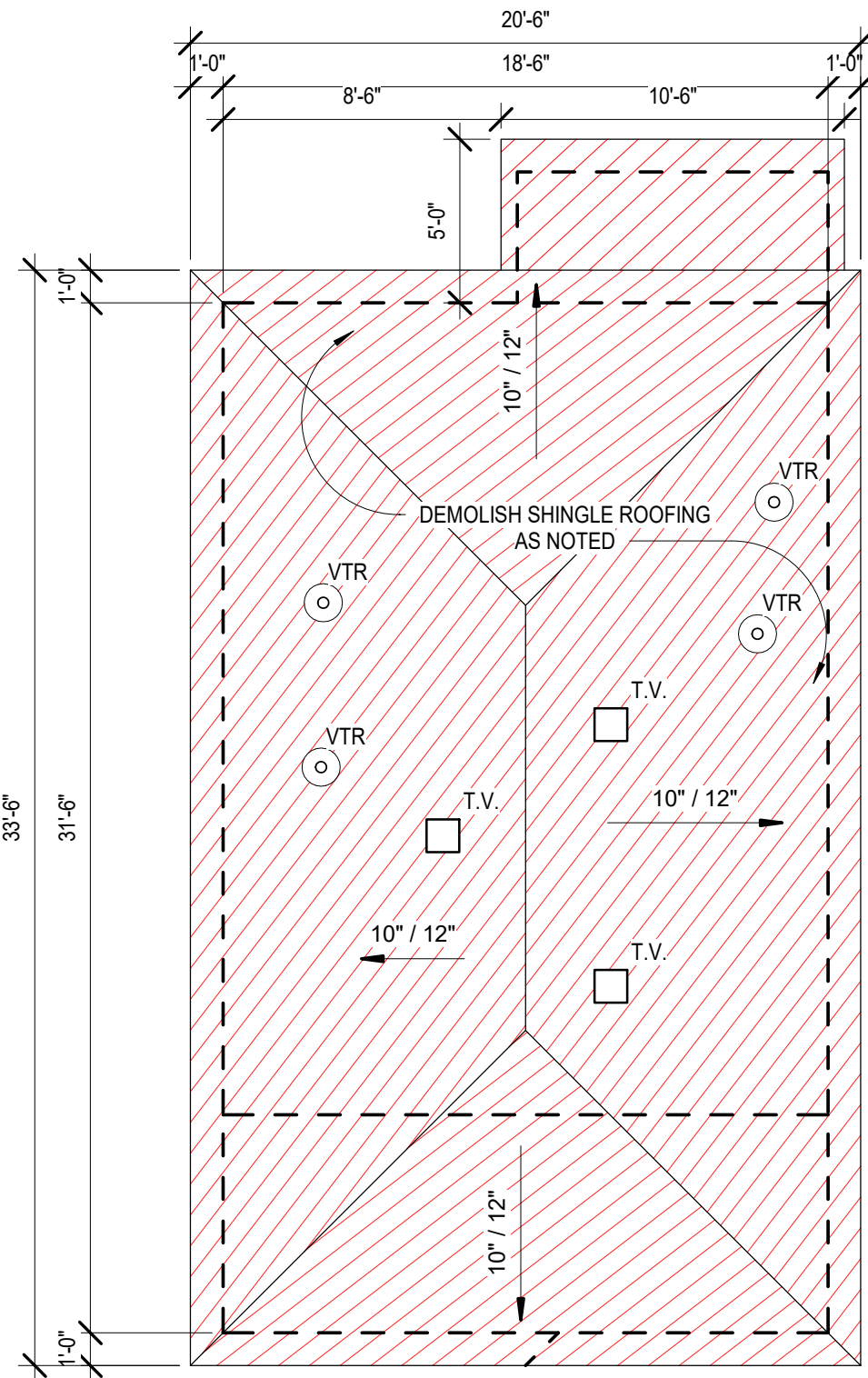
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stolarski  
architects

Phone: (228) 762-1975  
Email: [contact@alredstolarski.com](mailto:contact@alredstolarski.com)



TYPE F3

TYPE F4



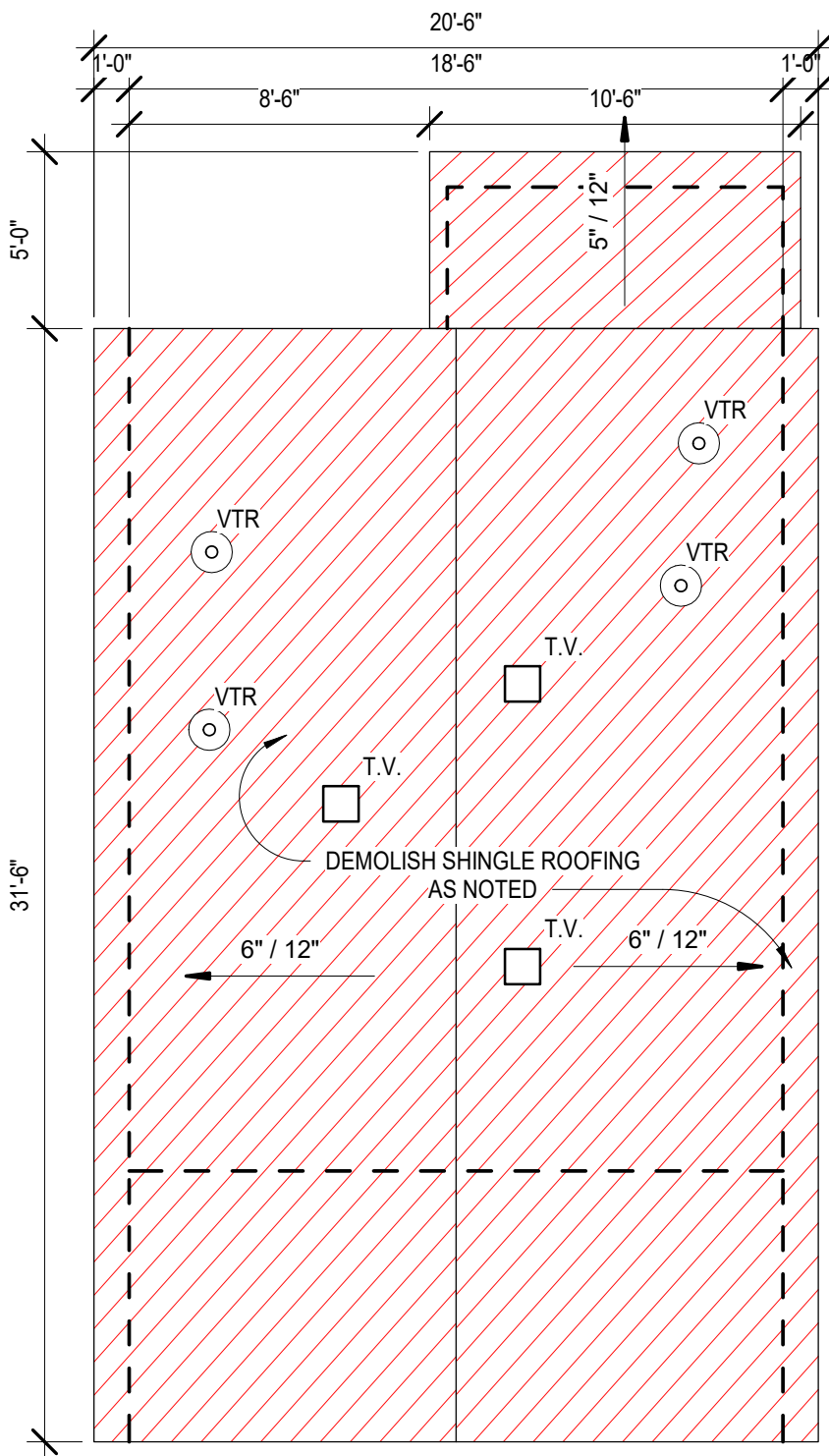
1 F3-DEMOLITION PLAN  
3/16" = 1'-0"

SCOPE OF WORK BUILDING TYPE F3  
DEMOLITION NOTES

- THE FOLLOWING BUILDINGS ARE TYPE F3:  
A. #611 CRESCENT STREET  
B. #614 CRESCENT STREET  
C. #626 CRESCENT STREET  
D. #624 MORRIS DRIVE  
E. #425 HOPE STREET
- DEMOLITION SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWINGS:  
A. CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE ROOFING MATERIAL.  
B. CONTRACTOR SHALL DEMOLISH ALL EXISTING UNDERLAYMENTS. CONTRACTOR SHALL DEMOLISH ALL PIPE BOOTS, CRICKETS AND OTHER PENETRATION FLASHINGS.  
C. CONTRACTOR SHALL DEMOLISH ALL TURTLE VENTS, THEN PREP THE ROOF OPENING FOR NEW VENTS.  
D. CONTRACTOR SHALL RETAIN IN PLACE ALL EXISTING VTR'S.  
E. CONTRACTOR SHALL DEMOLISH ALL EAVE AND RAKE TRIM.  
F. CONTRACTOR SHALL DEMOLISH ALL FLASHINGS AND COUNTER FLASHINGS NOT OTHERWISE NOTED TO REMAIN. EXISTING THRU-WALL FLASHING SHALL REMAIN IN PLACE AND SHALL BE REUSED.  
G. CONTRACTOR SHALL DEMOLISH 5% OF THE EXISTING 5/8" CDX ROOF DECK. AREAS TO BE DEMOLISHED WILL BE DETERMINED BY THE ARCHITECT IN THE FIELD.  
H. CONTRACTOR SHALL PREPARE THE DECK FOR NEW WORK.

SCOPE OF WORK BUILDING TYPE F4  
DEMOLITION NOTES

- THE FOLLOWING BUILDINGS ARE TYPE F4:  
A. #601 CRESCENT STREET  
B. #616 CRESCENT STREET  
C. #620 CRESCENT STREET  
D. #433 HOPE STREET  
E. #335 TRAWLER LANE
- DEMOLITION SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWINGS:  
A. CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE ROOFING MATERIAL.  
B. CONTRACTOR SHALL DEMOLISH ALL EXISTING UNDERLAYMENTS. CONTRACTOR SHALL DEMOLISH ALL PIPE BOOTS, CRICKETS AND OTHER PENETRATION FLASHINGS.  
C. CONTRACTOR SHALL DEMOLISH ALL TURTLE VENTS, THEN PREP THE ROOF OPENING FOR NEW VENTS.  
D. CONTRACTOR SHALL RETAIN IN PLACE ALL EXISTING VTR'S.  
E. CONTRACTOR SHALL DEMOLISH ALL EAVE AND RAKE TRIM.  
F. CONTRACTOR SHALL DEMOLISH ALL FLASHINGS AND COUNTER FLASHINGS NOT OTHERWISE NOTED TO REMAIN. EXISTING THRU-WALL FLASHING SHALL REMAIN IN PLACE AND SHALL BE REUSED.  
G. CONTRACTOR SHALL DEMOLISH 5% OF THE EXISTING 5/8" CDX ROOF DECK. AREAS TO BE DEMOLISHED WILL BE DETERMINED BY THE ARCHITECT IN THE FIELD.  
H. CONTRACTOR SHALL PREPARE THE DECK FOR NEW WORK.



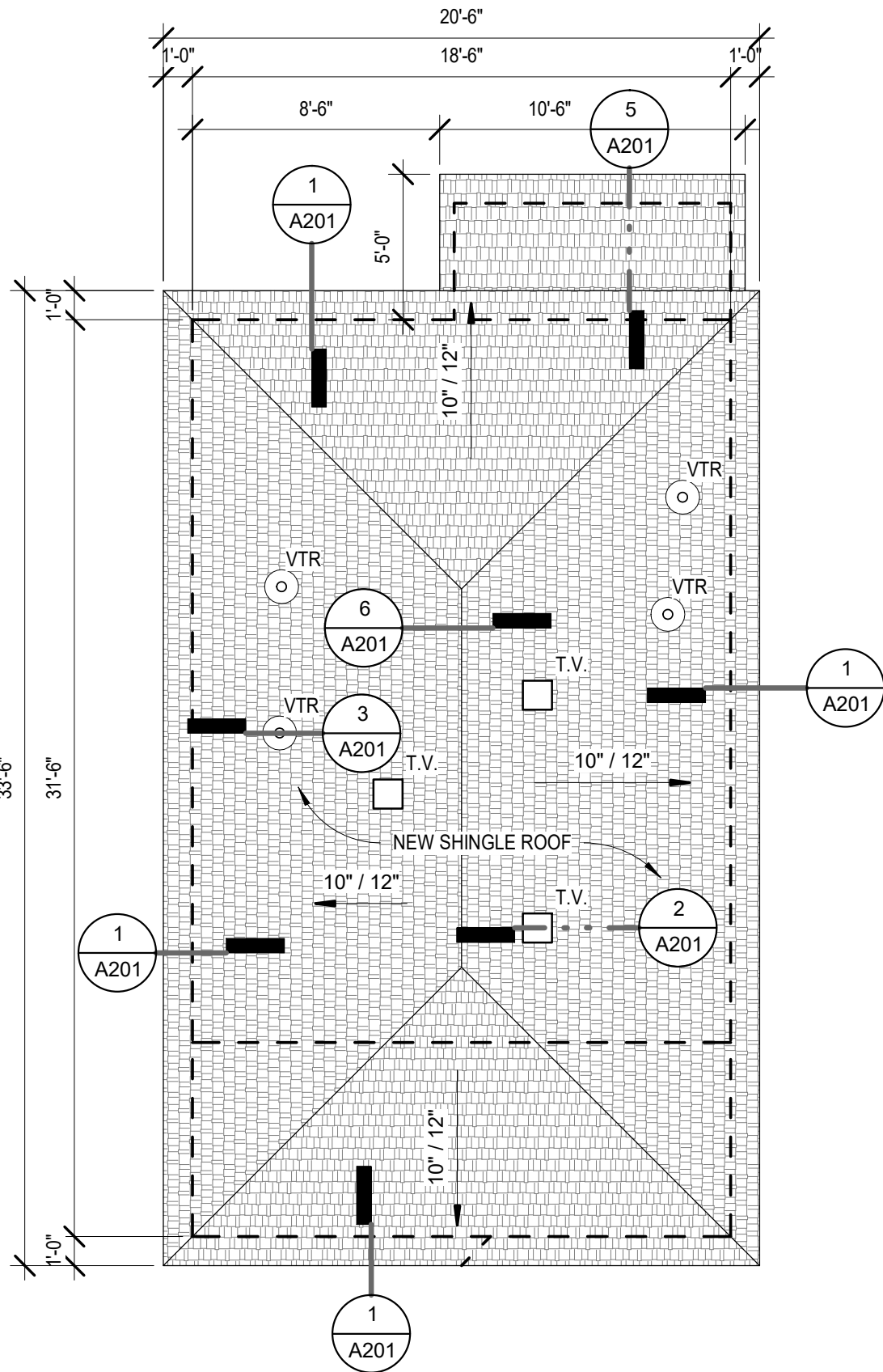
3 F4-DEMOLITION PLAN  
3/16" = 1'-0"

SCOPE OF WORK BUILDING TYPE F3  
REROOF NOTES

- THE FOLLOWING BUILDINGS ARE TYPE F3:  
A. #611 CRESCENT STREET  
B. #614 CRESCENT STREET  
C. #626 CRESCENT STREET  
D. #624 MORRIS DRIVE  
E. #425 HOPE STREET
- REROOF SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:  
A. CONTRACTOR SHALL PROVIDE AND INSTALL NEW 5/8" CDX ROOF DECK OVER 5% OF THE EXISTING DECK AREA, WHERE EXISTING DECK HAS BEEN DEMOLISHED.  
B. CONTRACTOR SHALL PROVIDE AND INSTALL NEW UNDERLAYMENT AS SPECIFIED AND DETAILED.  
C. CONTRACTOR SHALL PROVIDE AND INSTALL NEW TURTLE VENTS IN LOCATIONS DRAWN.  
D. CONTRACTOR SHALL PROVIDE AND INSTALL NEW FLASHING AT VTR'S.  
E. CONTRACTOR SHALL PROVIDE AND INSTALL NEW ROOF SHINGLES AS SPECIFIED AND DETAILED.  
F. CONTRACTOR SHALL PROVIDE AND INSTALL NEW RAKE AND EAVE TRIM.  
G. CONTRACTOR SHALL PROVIDE AND INSTALL NEW COUNTERFLASHING / THRU-WALL FLASHING.

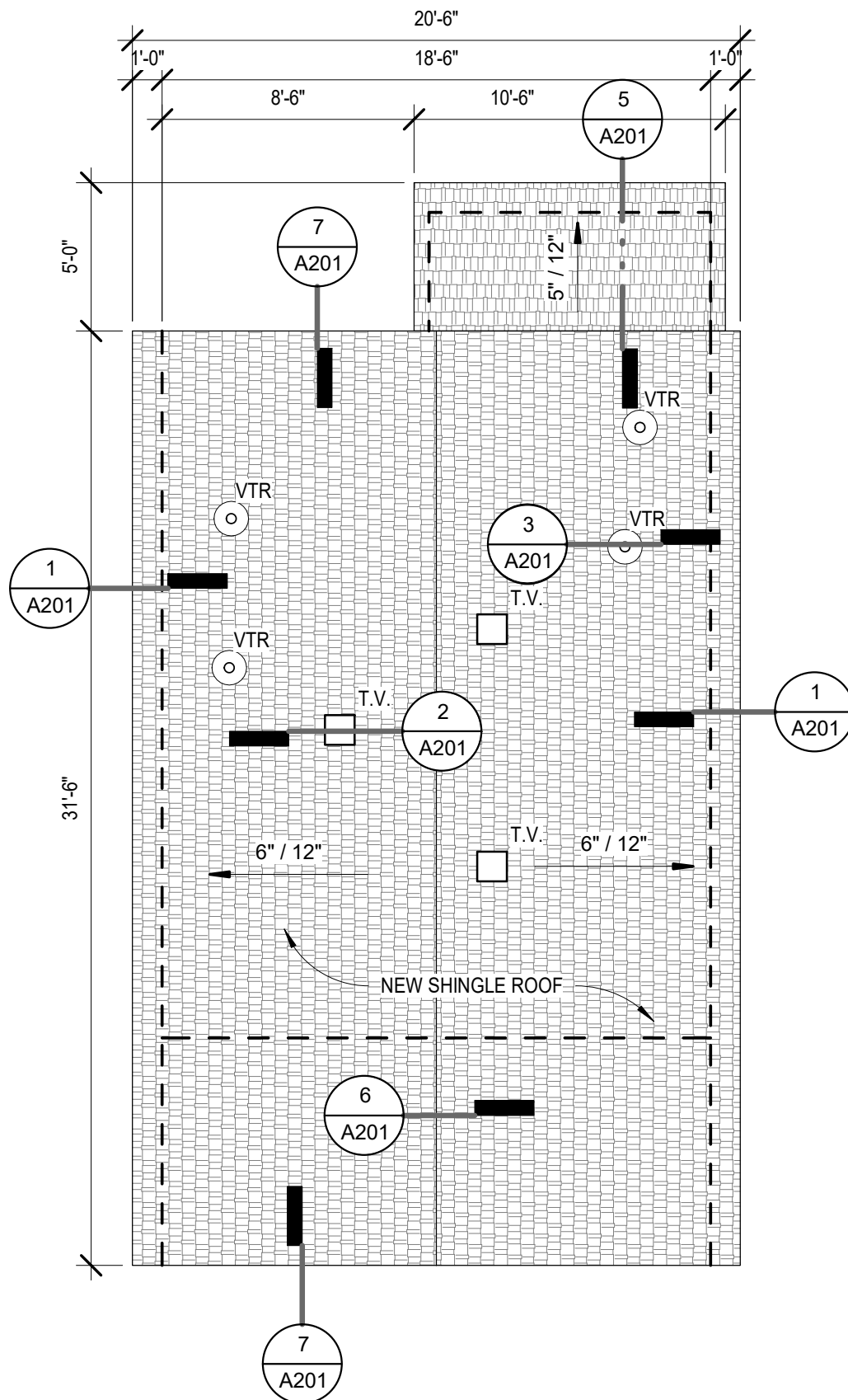
SCOPE OF WORK BUILDING TYPE F4  
REROOF NOTES

- THE FOLLOWING BUILDINGS ARE TYPE F4:  
A. #601 CRESCENT STREET  
B. #616 CRESCENT STREET  
C. #620 CRESCENT STREET  
D. #433 HOPE STREET  
E. #335 TRAWLER LANE
- REROOF SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:  
A. CONTRACTOR SHALL PROVIDE AND INSTALL NEW 5/8" CDX ROOF DECK OVER 5% OF THE EXISTING DECK AREA, WHERE EXISTING DECK HAS BEEN DEMOLISHED.  
B. CONTRACTOR SHALL PROVIDE AND INSTALL NEW UNDERLAYMENT AS SPECIFIED AND DETAILED.  
C. CONTRACTOR SHALL PROVIDE AND INSTALL NEW TURTLE VENTS IN LOCATIONS DRAWN.  
D. CONTRACTOR SHALL PROVIDE AND INSTALL NEW FLASHING AT VTR'S.  
E. CONTRACTOR SHALL PROVIDE AND INSTALL NEW ROOF SHINGLES AS SPECIFIED AND DETAILED.  
F. CONTRACTOR SHALL PROVIDE AND INSTALL NEW RAKE AND EAVE TRIM.  
G. CONTRACTOR SHALL PROVIDE AND INSTALL NEW COUNTERFLASHING / THRU-WALL FLASHING.



2 F3-REROOF PLAN  
3/16" = 1'-0"

LEGEND	
	DEMOLITION MARK
	NEW SHINGLES
	EXISTING STANDING SEAM METAL ROOF TO REMAIN (TYP PORCH ROOF)
	VTR - EXISTING VENT THRU ROOF TO REMAIN. PROVIDE NEW BOOT.
	TURTLE VENT - EXISTING VENT TO BE DEMOLISHED. INSTALL NEW SPECIFIED VENT IN EXISTING LOCATION.

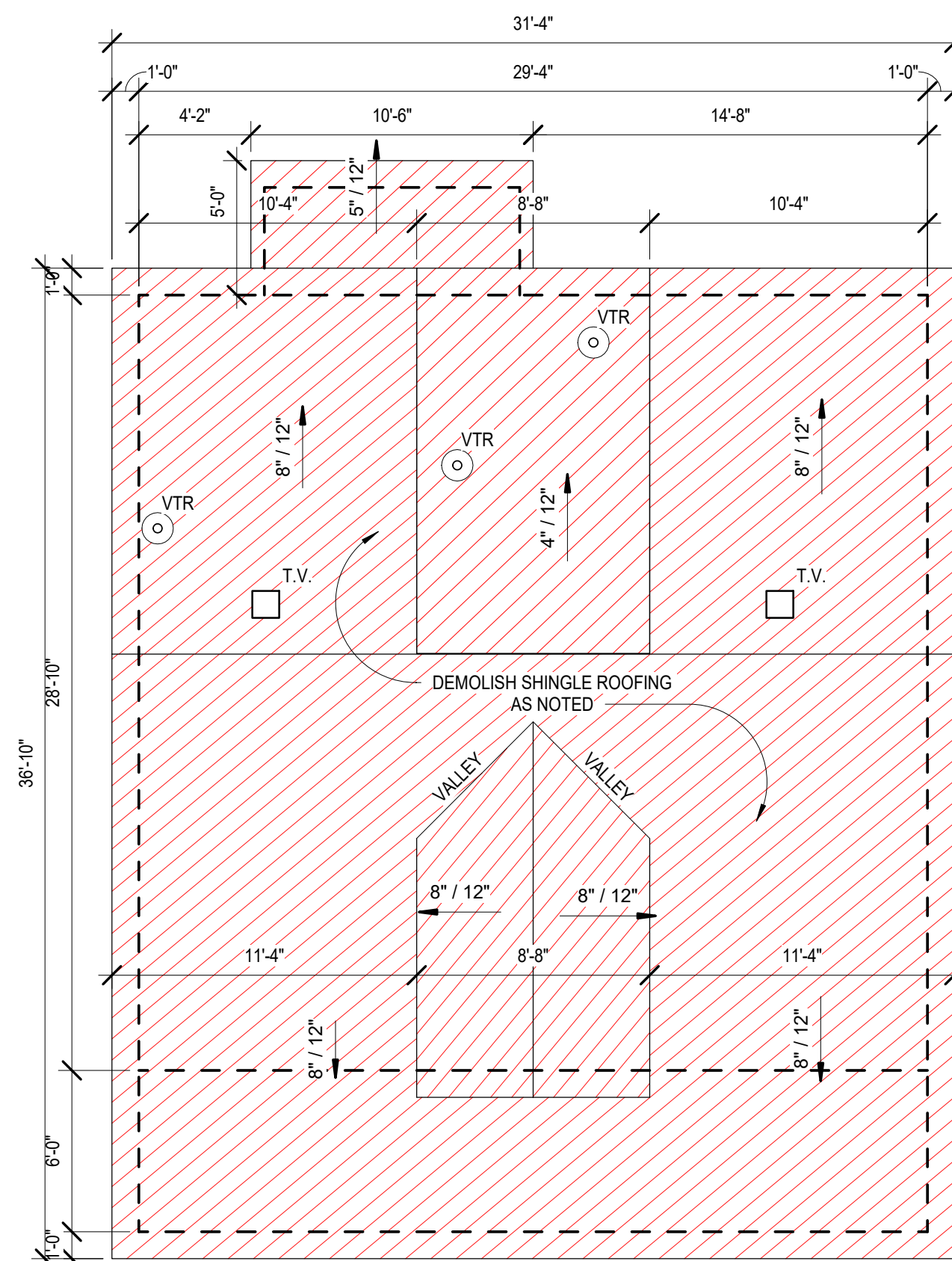


4 F4-REROOF PLAN  
3/16" = 1'-0"





# TYPE G1

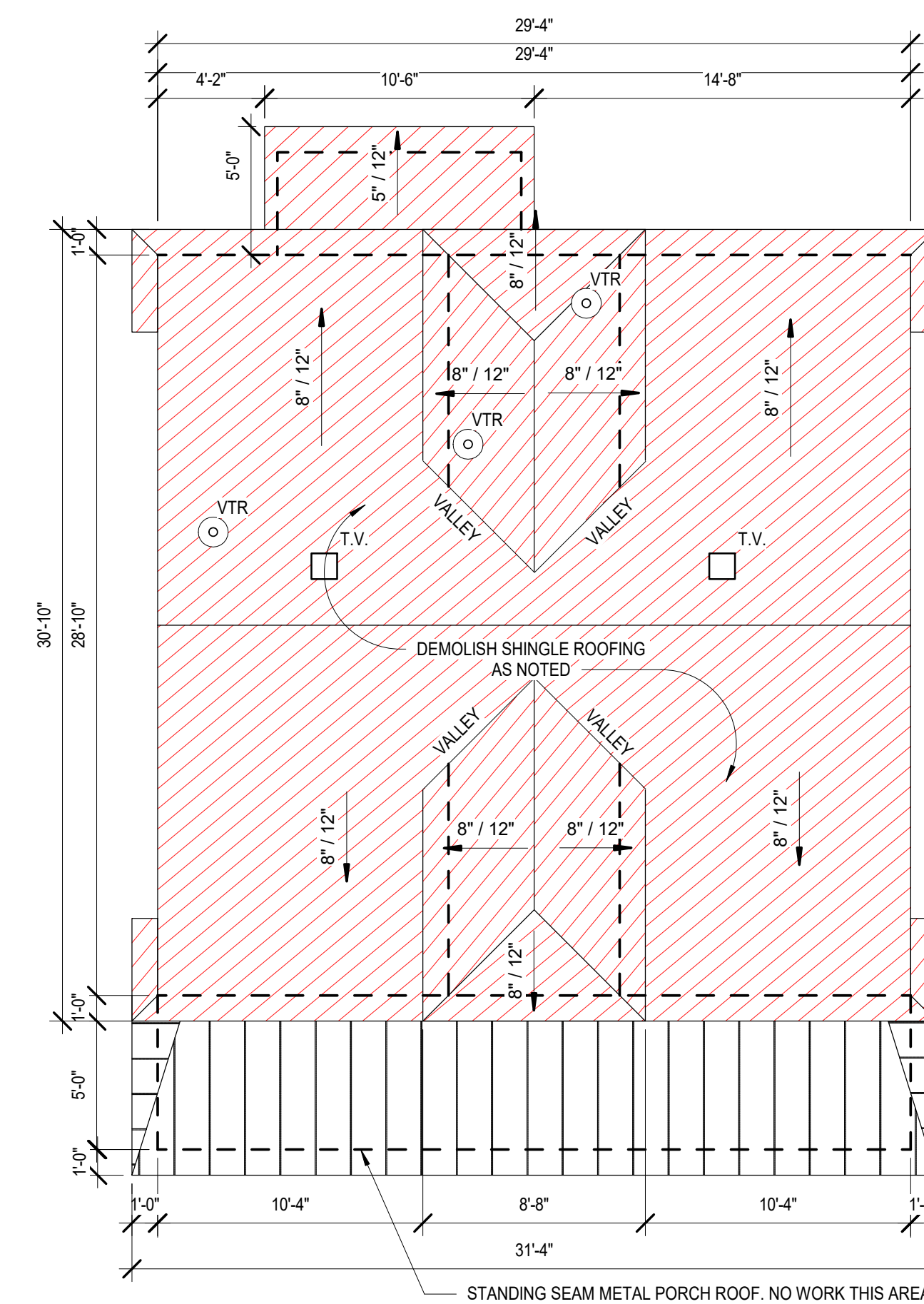


## SCOPE OF WORK BUILDING TYPE G1

### DEMOLITION NOTES

1. THE FOLLOWING BUILDINGS ARE TYPE G1:
  - A. #628 MORRIS DRIVE
  - B. #437 HOPE STREET
2. DEMOLITION SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
  - A. CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE ROOFING MATERIAL.
  - B. CONTRACTOR SHALL DEMOLISH ALL EXISTING UNDERLAYMENTS.
  - C. CONTRACTOR SHALL DEMOLISH ALL PIPE BOOTS, CRICKETS AND OTHER PENETRATING FLASHINGS.
  - D. CONTRACTOR SHALL DEMOLISH ALL TURTLE VENTS, THEN PREP THE ROOF OPENING FOR NEW VENTS.
  - E. CONTRACTOR SHALL RETAIN IN PLACE ALL EXISTING VTR'S.
  - F. CONTRACTOR SHALL DEMOLISH ALL EAVE AND RAKE TRIM.
  - G. CONTRACTOR SHALL DEMOLISH ALL FLASHINGS AND COUNTERTOP FLASHINGS NOT OTHERWISE NOTED TO REMAIN. EXISTING STEPPED THRU-WALL FLASHING SHALL REMAIN IN PLACE AND SHALL BE REUSED.
  - H. CONTRACTOR SHALL DEMOLISH 50% OF THE EXISTING 5/8" CDX ROOF DECK AREA. AREA TO BE DEMOLISHED WILL BE DETERMINED BY THE ARCHITECT IN THE FIELD.
  - I. CONTRACTOR SHALL PREPARE THE DECK FOR NEW WORK.

## TYPE G2



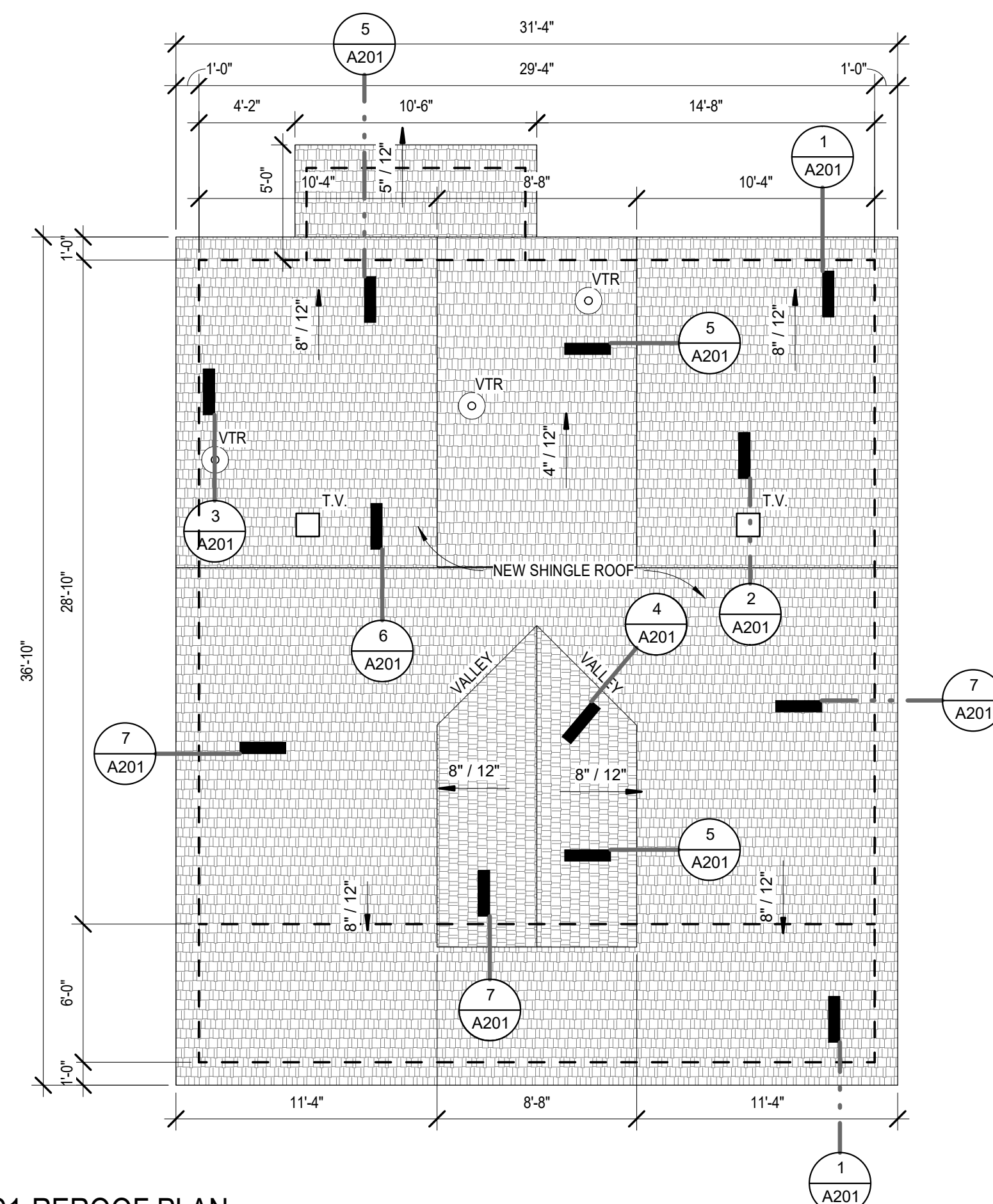
## SCOPE OF WORK BUILDING TYPE G2

### DEMOLITION NOTES

1. THE FOLLOWING BUILDINGS ARE TYPE G2:
  - A. #346 BRAUN STREET
2. THE FOLLOWING SCOPE OF WORK APPLIES ONLY TO AREAS WITH SHINGLE ROOFING, THE STANDING SEAM METAL PORCH ROOF, INCLUDING ALL EXISTING TRIM, FLASHING, UNDERLAYMENTS AND ACCESSORIES, IS EXISTING AND SHALL REMAIN.
3. DEMOLITION SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
  - A. CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE ROOFING MATERIAL.
  - B. CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE UNDERLAYMENTS.
  - C. CONTRACTOR SHALL DEMOLISH ALL PIPE BOOTS, CRICKETS AND OTHER PENETRATION FLASHINGS.
  - D. CONTRACTOR SHALL DEMOLISH ALL TURTLE VENTS, THEN PREP THE ROOF OPENING FOR NEW VENTS.
  - E. CONTRACTOR SHALL RETAIN IN PLACE ALL EXISTING TYMS.
  - F. CONTRACTOR SHALL DEMOLISH ALL EAVE AND RAKE TRIM.
  - G. CONTRACTOR SHALL DEMOLISH ALL FLASHINGS AND COUNTER FLASHINGS NOT OTHERWISE NOTED TO REMAIN. EXISTING THRU-WALL FLASHINGS SHALL REMAIN IN PLACE AND SHALL BE REUSED.
  - H. CONTRACTOR SHALL DEMOLISH 5% OF THE EXISTING 5/8" CDX ROOF DECK. AREAS TO BE DEMOLISHED WILL BE DETERMINED BY THE ARCHITECT IN THE FIELD.
  - I. CONTRACTOR SHALL PREPARE THE DECK FOR NEW WORK.

1  
A104

G1-DEMOLITION PLAN  
3/16" = 1'-0"



## SCOPE OF WORK BUILDING TYPE G1

### REROOF NOTES

1. THE FOLLOWING BUILDINGS ARE TYPE G1:
  - A. #628 MORRIS DRIVE
  - B. #437 HOPE STREET
2. REROOF SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
  - A. CONTRACTOR SHALL PROVIDE AND INSTALL NEW 5/8" CDX ROOF DECK OVER 5% OF THE EXISTING DECK AREA, WHERE EXISTING DECK HAS BEEN DEMOLISHED.
  - B. CONTRACTOR SHALL PROVIDE AND INSTALL NEW UNDERLAYMENT AS SPECIFIED AND DETAILED.
  - C. CONTRACTOR SHALL PROVIDE AND INSTALL NEW TURTLE VENTS IN LOCATIONS DRAWN.
  - D. CONTRACTOR SHALL PROVIDE AND INSTALL NEW FLASHING AT VTRS.
  - E. CONTRACTOR SHALL PROVIDE AND INSTALL NEW ROOF SHINGLES AS SPECIFIED AND DETAILED.
  - F. CONTRACTOR SHALL PROVIDE AND INSTALL NEW RAKE AND EAVE TRIM.
  - G. CONTRACTOR SHALL PROVIDE AND INSTALL NEW COUNTERFLASHING / THRU-WALL FLASHING.

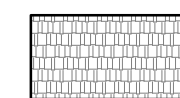
## SCOPE OF WORK BUILDING TYPE G2

1. THE FOLLOWING BUILDINGS ARE TYPE G2:
  - A. #438 BRAUN STREET
2. THE FOLLOWING SCOPE OF WORK APPLIES ONLY TO AREAS WITH SHINGLE ROOFING, THE STANDING SEAM METAL PORCH ROOF, INCLUDING ALL EXISTING TRIM, FLASHING, UNDERLAYMENTS AND ACCESSORIES, IS EXISTING AND SHALL REMAIN.
  3. REROOF SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
    - A. CONTRACTOR SHALL PROVIDE AND INSTALL NEW 5/8" CDX ROOF DECK OVER 5% OF THE EXISTING DECK AREA, WHERE EXISTING DECK HAS BEEN DEMOLISHED OR WHERE PENETRATIONS ARE ABANDONED.
    - B. CONTRACTOR SHALL PROVIDE AND INSTALL NEW UNDERLAYMENT AS SPECIFIED AND DETAILED.
    - C. CONTRACTOR SHALL PROVIDE AND INSTALL NEW TURTLE VENTS IN LOCATIONS DRAWN.
    - D. CONTRACTOR SHALL PROVIDE AND INSTALL NEW FLASHING AT VTRS.
    - E. CONTRACTOR SHALL PROVIDE AND INSTALL NEW ROOF SHINGLES AS SPECIFIED AND DETAILED.
    - F. CONTRACTOR SHALL PROVIDE AND INSTALL NEW RAKE AND EAVE TRIM.
    - G. CONTRACTOR SHALL PROVIDE AND INSTALL NEW COUNTERFLASHING / THRU-WALL FLASHING.

## LEGEND



DEMOLITION MARK



## NEW SHINGLES



EXISTING STANDING SEAM  
METAL ROOF TO REMAIN  
(TYP PORCH ROOF)



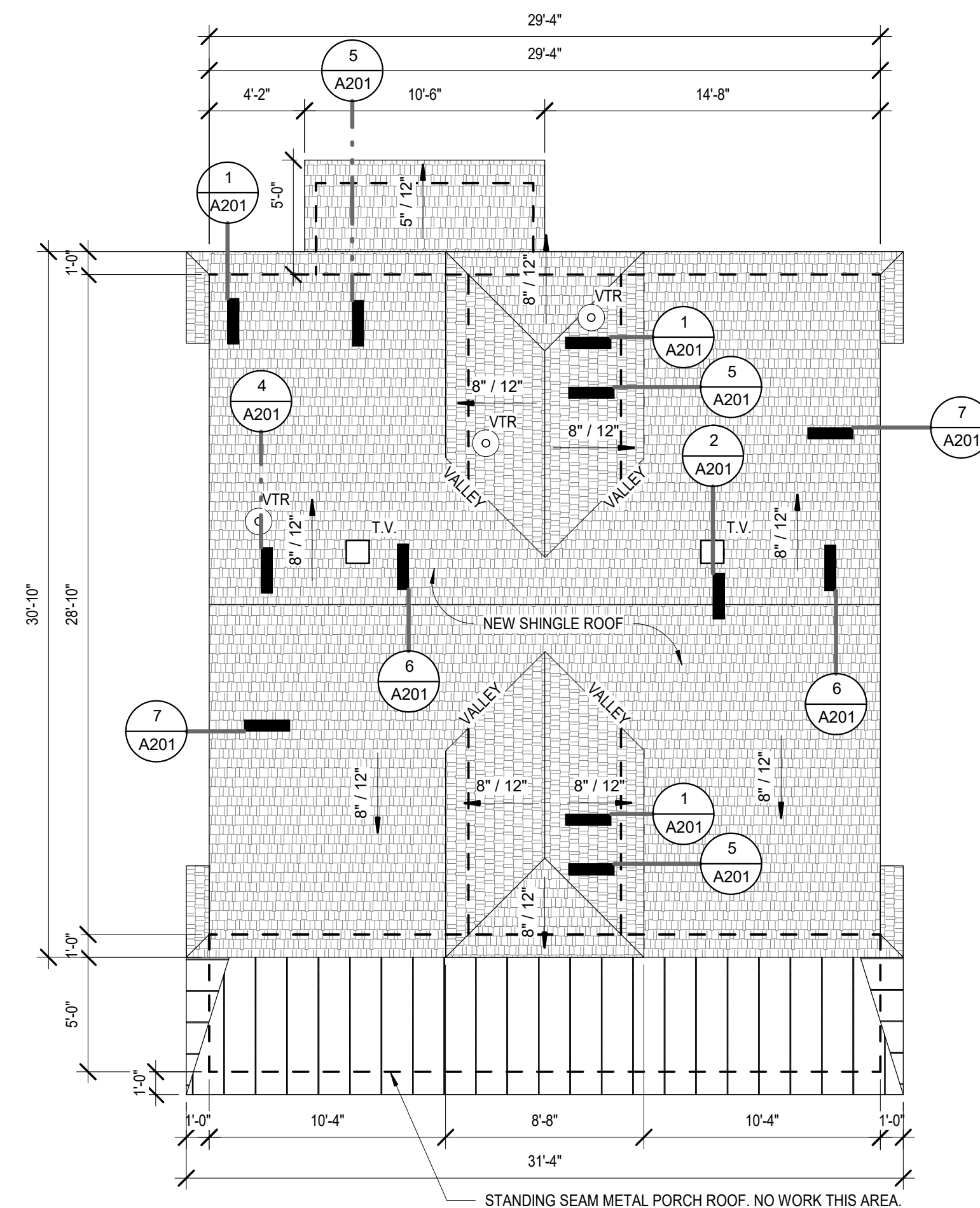
VTR - EXISTING VENT THRU ROOF  
TO REMAIN. PROVIDE NEW BOOT.



TURTLE VENT - EXISTING VENT TO BE  
DEMOLISHED. INSTALL NEW  
SPECIFIED VENT IN EXISTING  
LOCATION.

2 G1-REROOF PLAN  
3/16" = 1'-0"

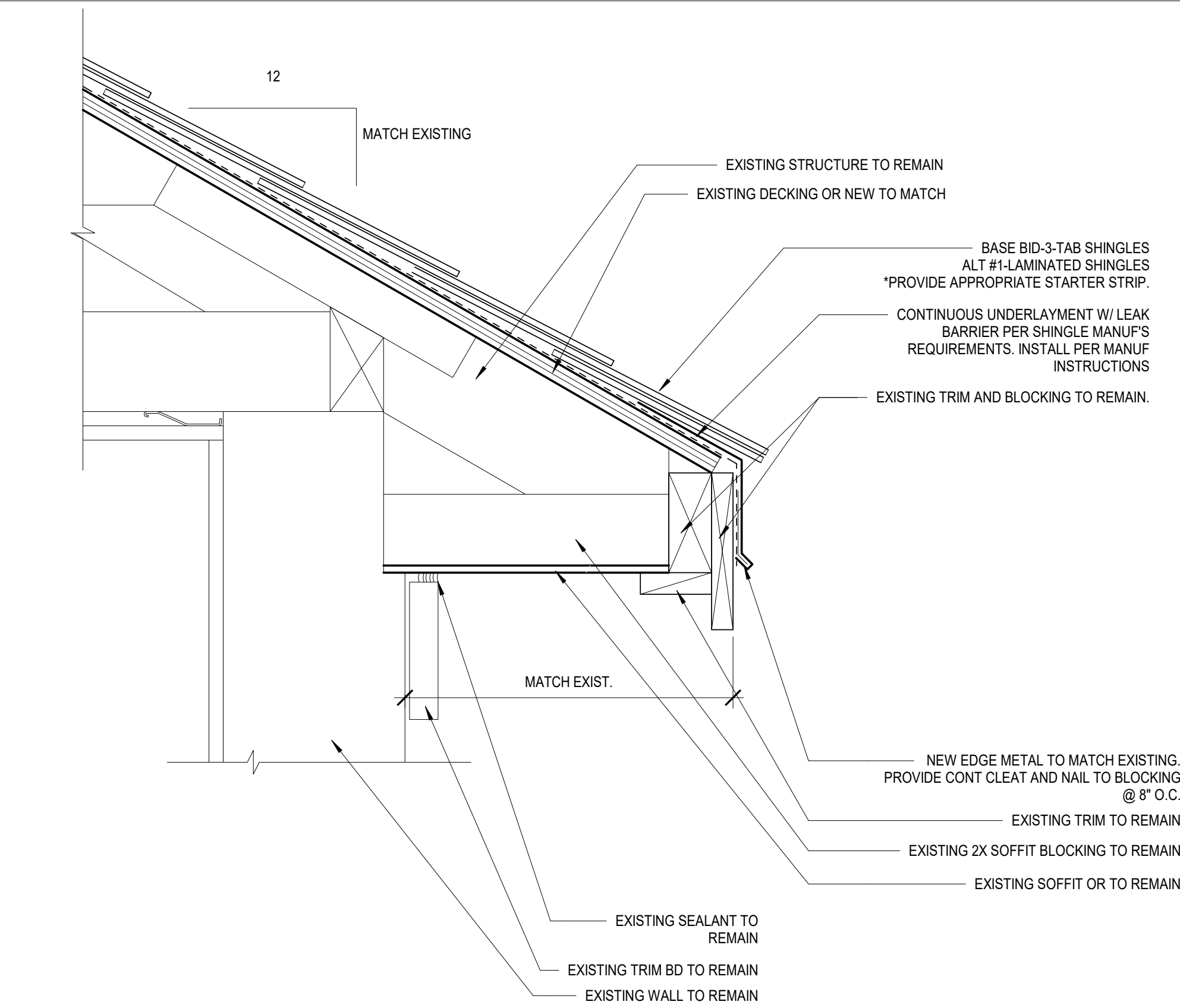
3 G2-DEMOLITION PLAN  
A104 3/16" = 1'-0"



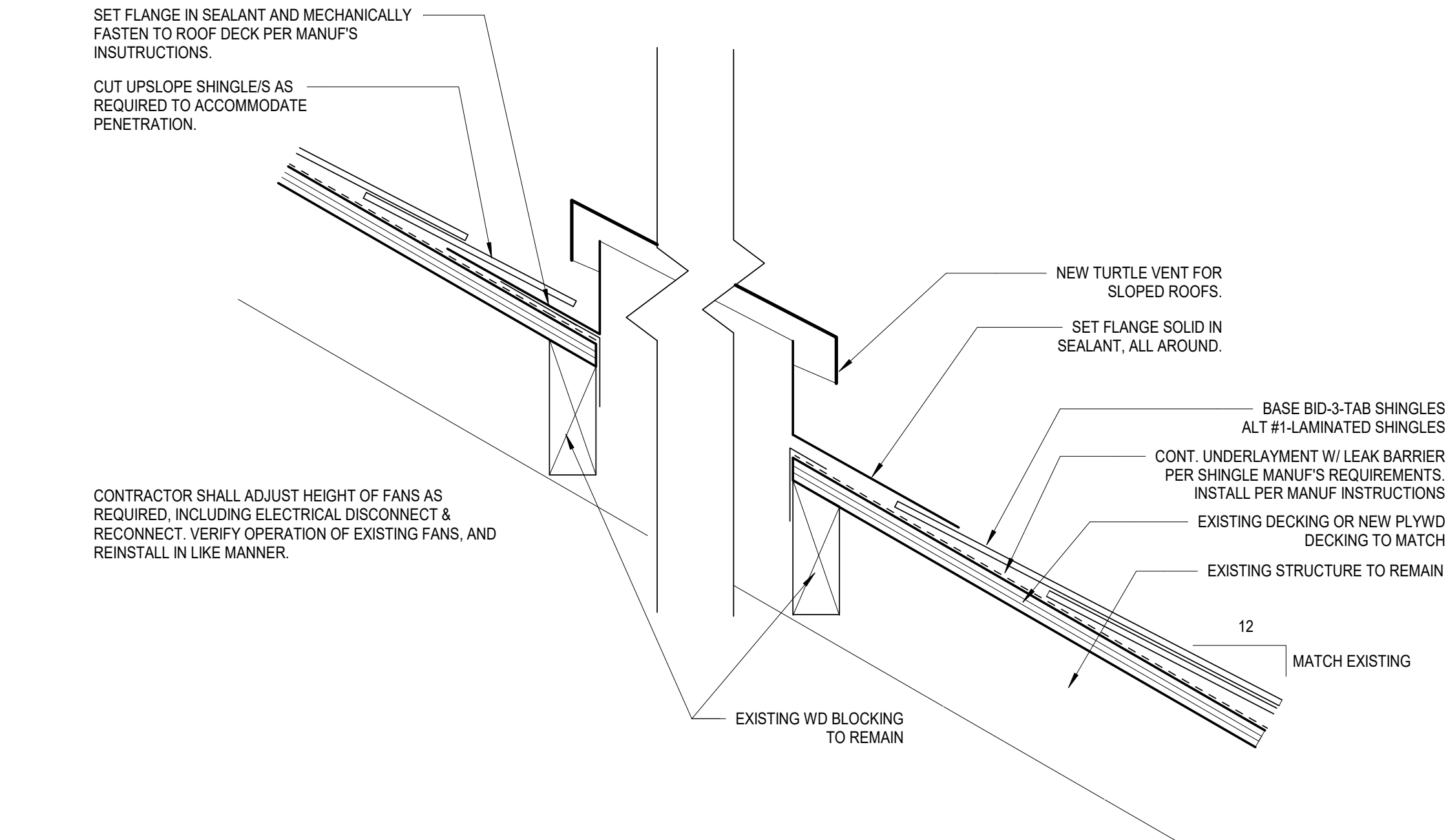
**G2-REROOF PLAN**  
3/16" = 1'-0"



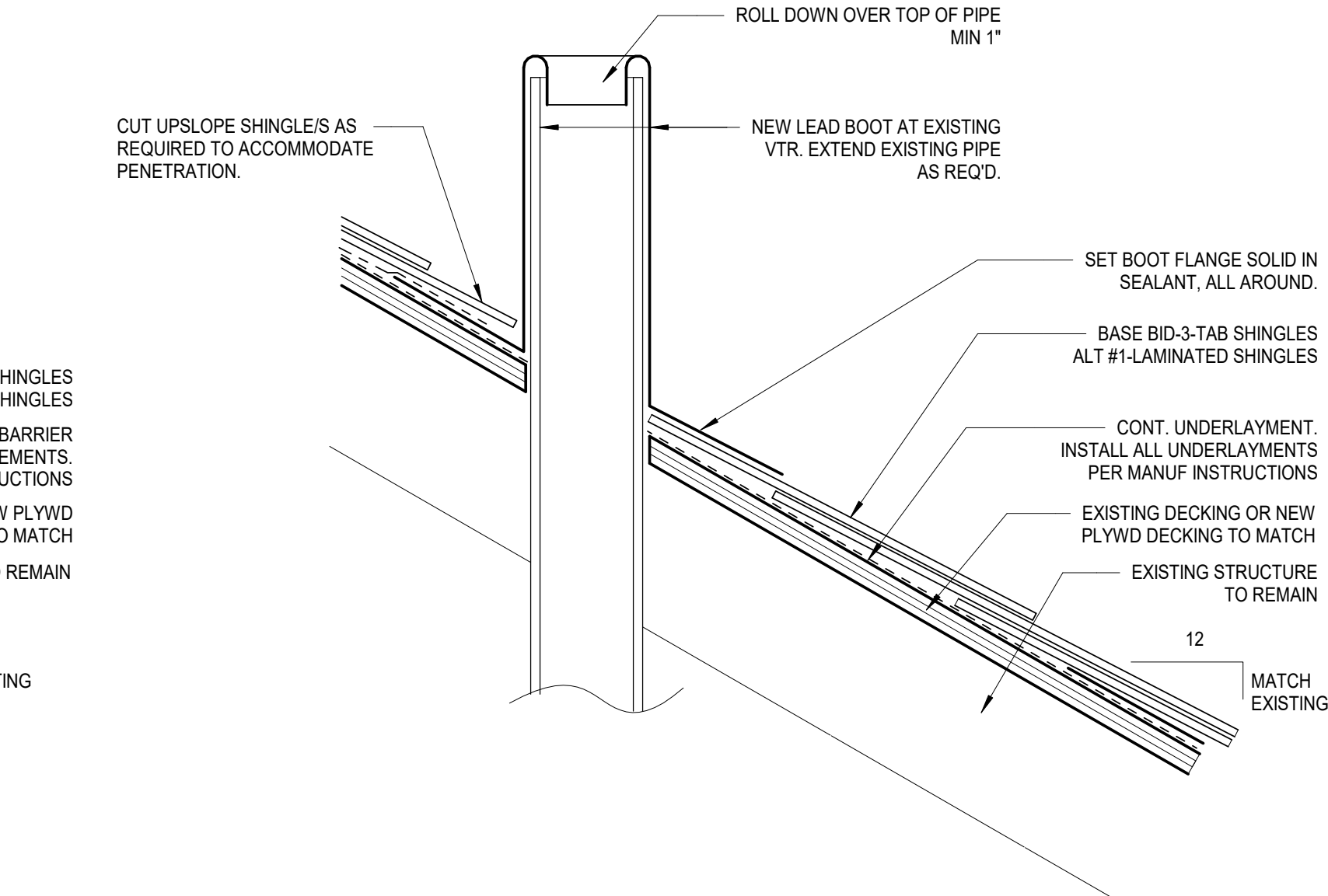




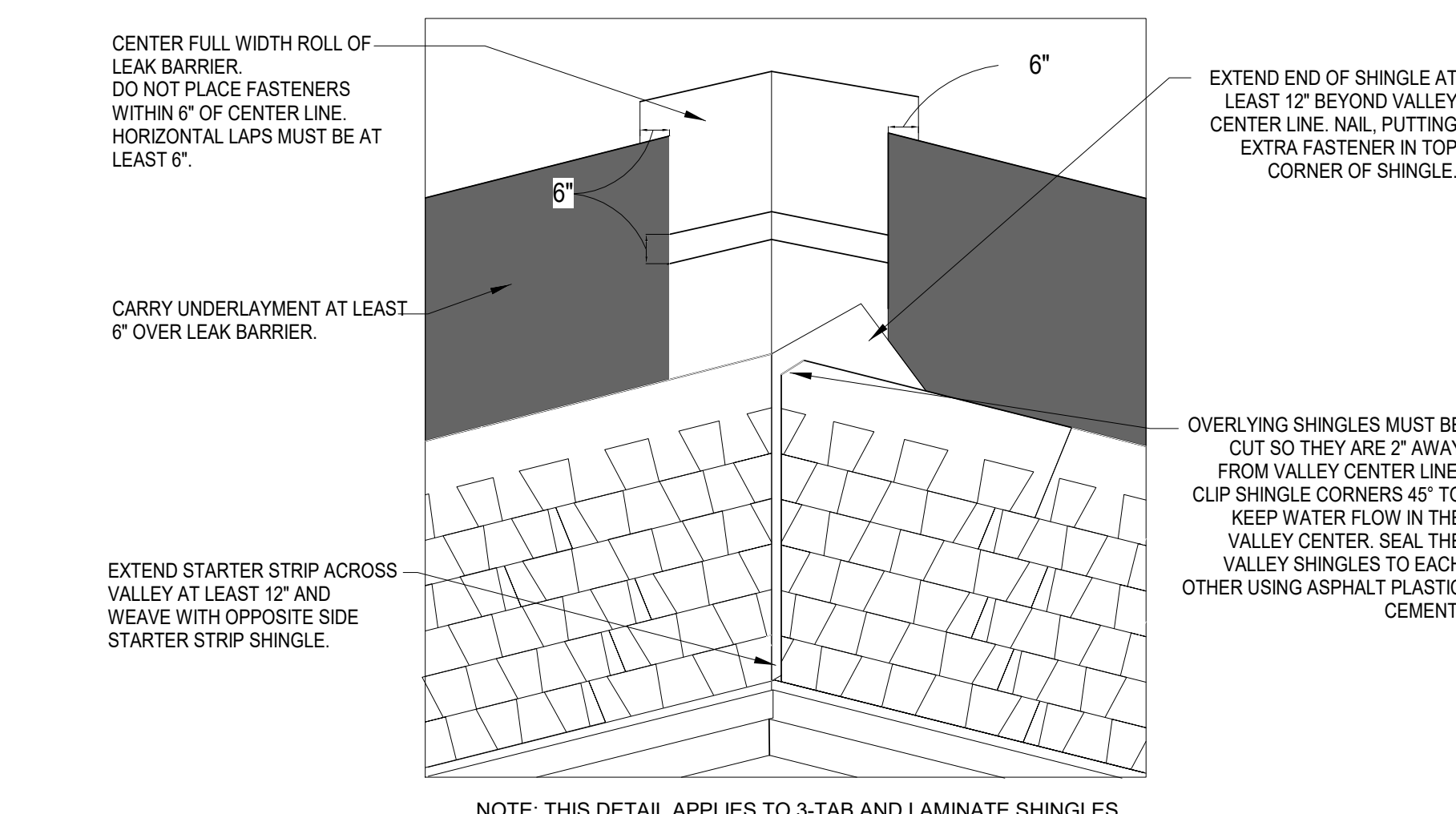
1 EAVE  
3" = 1'-0"



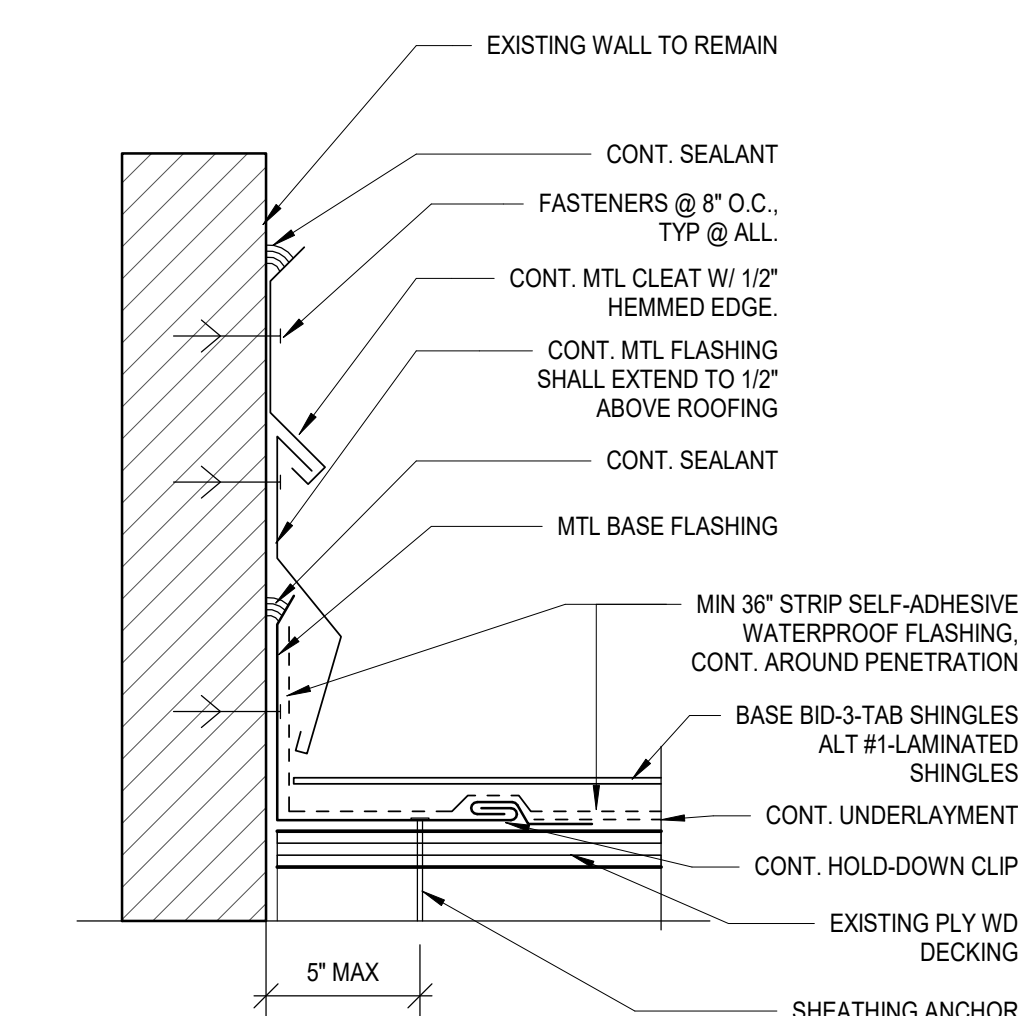
2 THRU-ROOF TURTLE VENT  
3" = 1'-0"



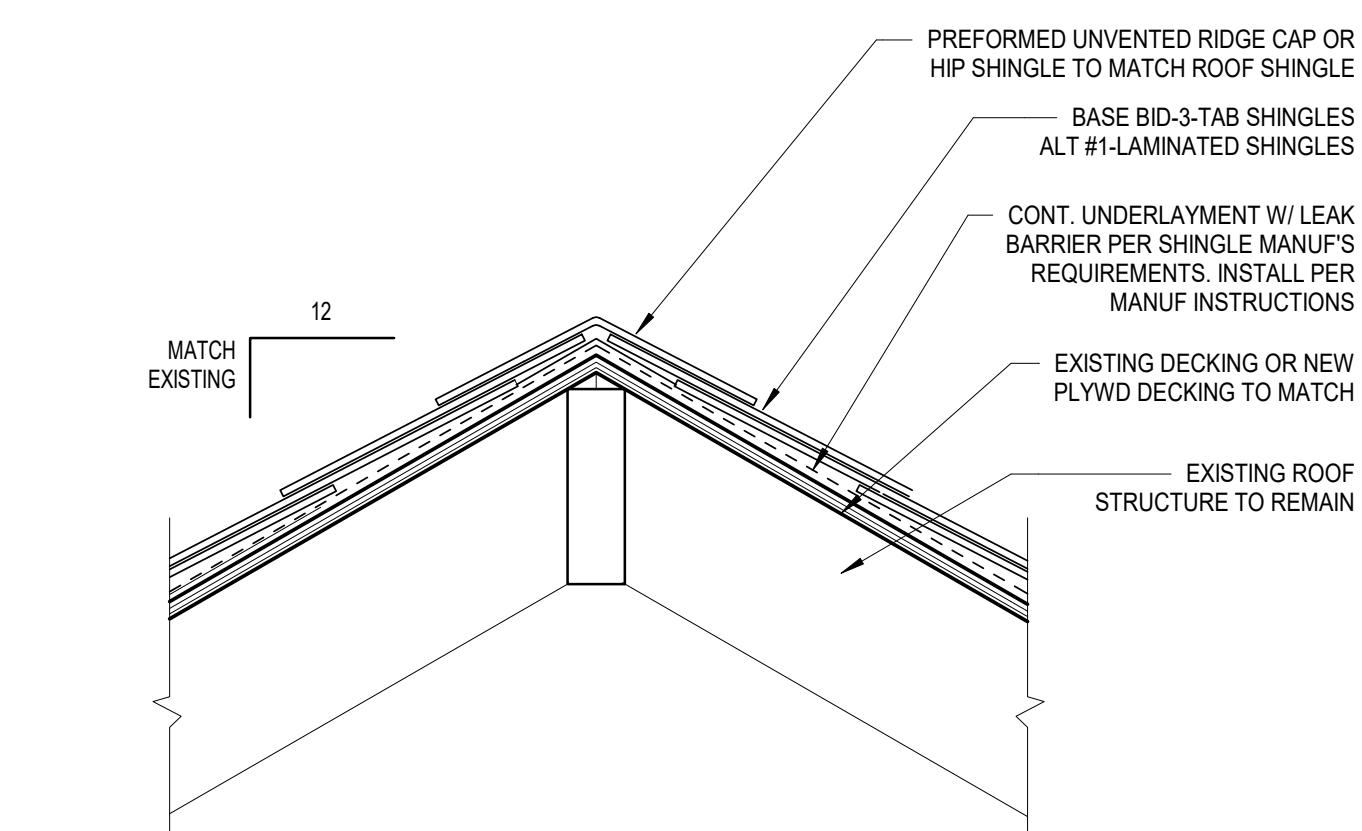
3 VTR  
3" = 1'-0"



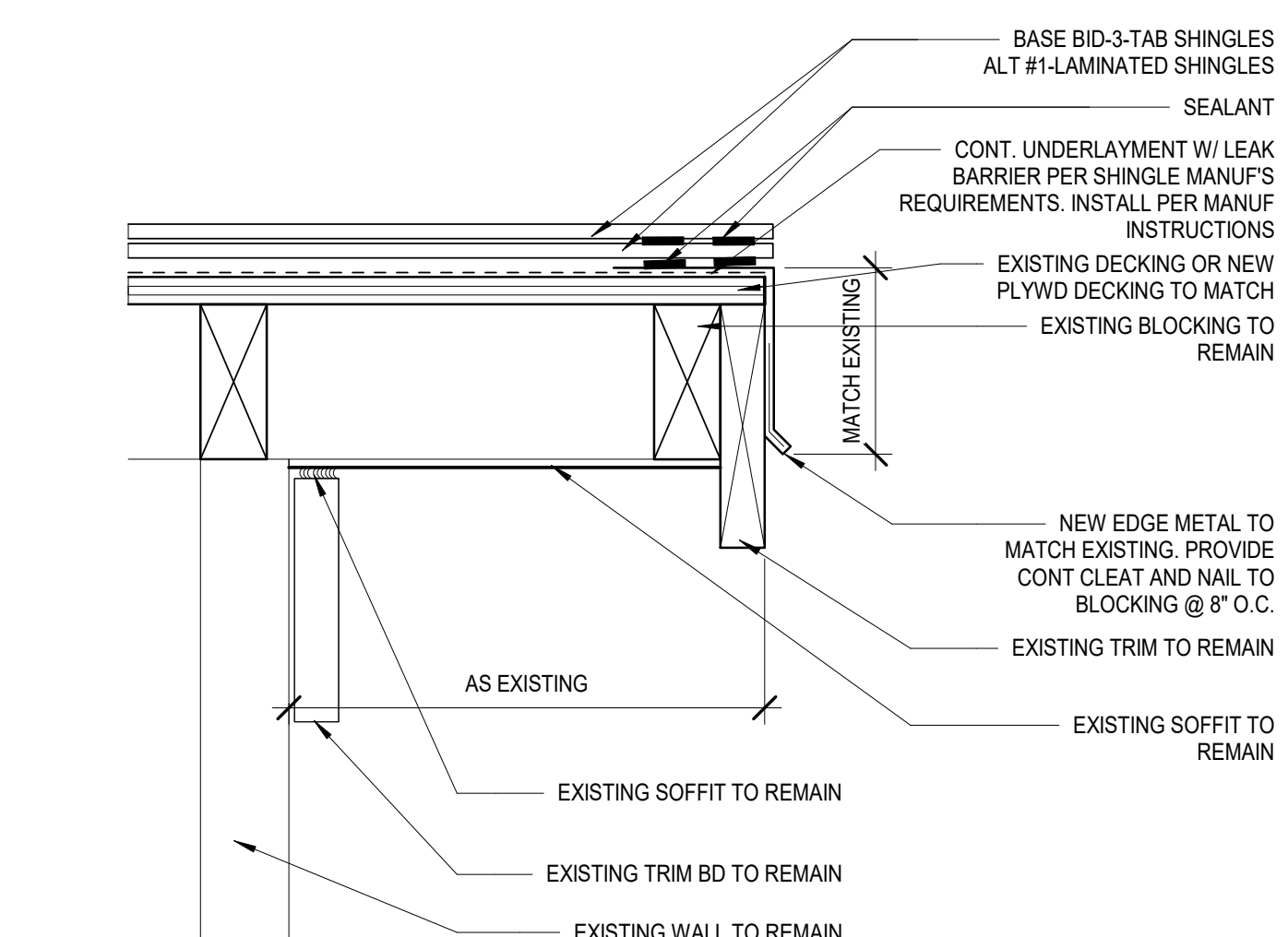
4 VALLEY FLASHING  
N.T.S.



5 SHINGLE-PARAPET WALL FLASHING  
3" = 1'-0"



6 UNVENTED RIDGE OR HIP  
3" = 1'-0"



7 RAKE END  
3" = 1'-0"

SHINGLE ROOF DETAILS

IFB#RRP03.21 BHA ROOF REPLACEMENT PROJECT - HURRICANE  
ZETA REPAIRS - VOLUME 7 - BAYVIEW OAKS

BILOXI HOUSING AUTHORITY  
330 BENACHI AVENUE BILOXI, MS 39530

711 Church Street  
Ocean Springs, MS 39564

Phone: (228) 762-1975  
Email: [contact@alredstolarski.com](mailto:contact@alredstolarski.com)

alred  
stolarski  
architects

JOB NUMBER  
2021-23

DATE  
02/28/2021

REVISION  
SCN

DRAWN BY  
SCN

CHECKED BY  
HA



SHEET

A201



# IFB#RRP03.21 BHA ROOF REPLACEMENT PROJECT - HURRICANE ZETA REPAIRS - VOLUME 8 - BAYVIEW PLACE

BILOXI HOUSING AUTHORITY

330 BENACHI AVENUE BILOXI, MS 39530

## VOLUME 8 - DRAWING INDEX

INDEX - GENERAL	
G000	TITLE SHEET
INDEX - ARCHITECTURAL	
A100	REFERENCE SITE PLANS
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A102	TYPES B2 & C1 - DEMOLITION AND REROOF PLANS
A103	TYPES C2 & D1 - DEMOLITION AND REROOF PLANS
A104	TYPES E1 & G1 - DEMOLITION AND REROOF PLANS
A105	TYPES G2 & G3 - DEMOLITION AND REROOF PLANS
A106	TYPES H1 & H2 - DEMOLITION AND REROOF PLANS
A107	TYPES H3 & I1 DEMOLITION AND REROOF PLANS
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A114	TYPE M5 - DEMOLITION AND REROOF PLANS
A115	TYPE M6 - DEMOLITION AND REROOF PLANS
A201	SHINGLE ROOF DETAILS

PROJ #: 2021-23

IFB#RRP03.21 BHA ROOF REPLACEMENT PROJECT - HURRICANE ZETA REPAIRS - VOLUME 8 - BAYVIEW PLACE

BILOXI HOUSING AUTHORITY  
330 BENACHI AVENUE BILOXI, MS 39530

DATE: 02/28/2021

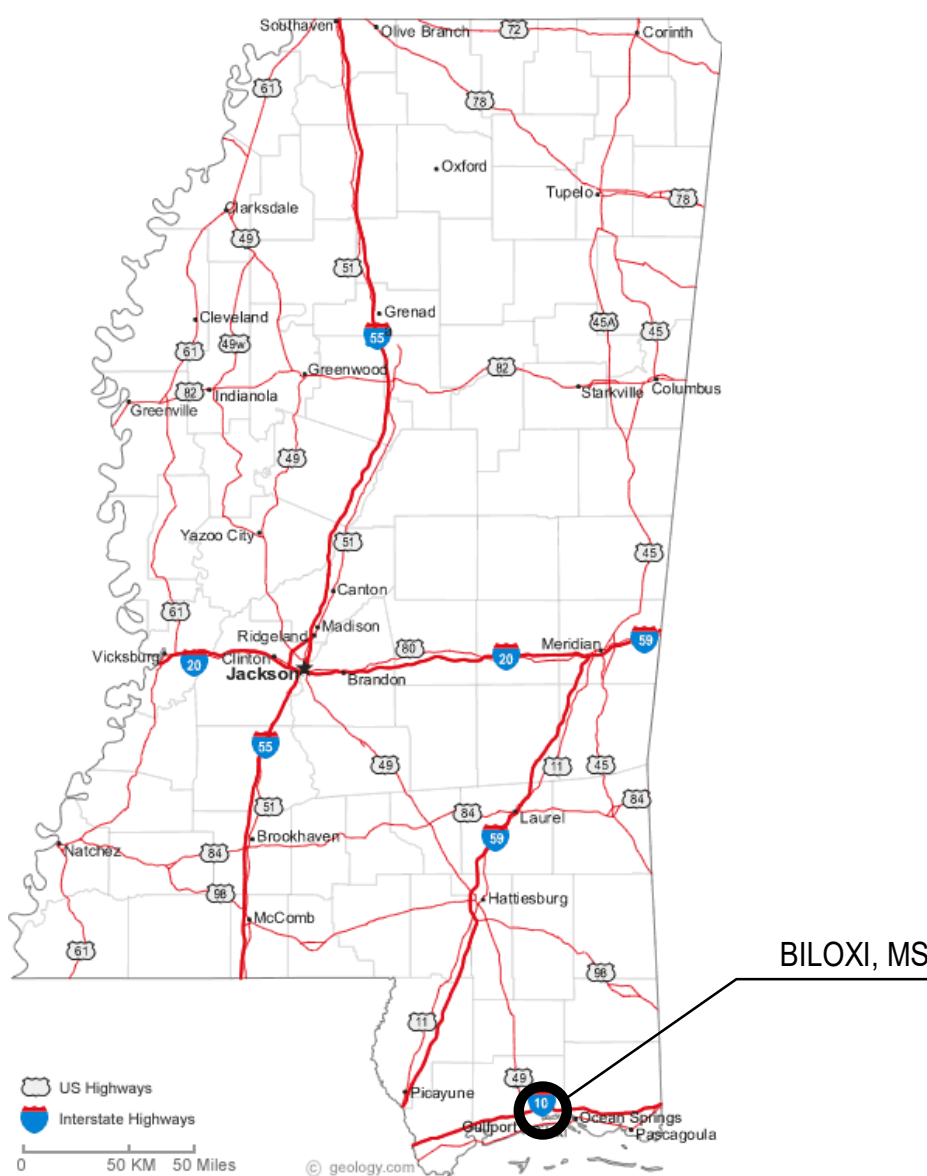
SET TYPE  
BID SET

### PROJECT TEAM

ARCHITECT  
ALLRED STOLARSKI  
ARCHITECTS

711 CHURCH STREET  
OCEAN SPRINGS, MS 39564  
T (228) 762-1975  
HOPPY ALLRED, AIA, PRINCIPAL  
ARCHITECT  
hoppy@allredstolarski.com

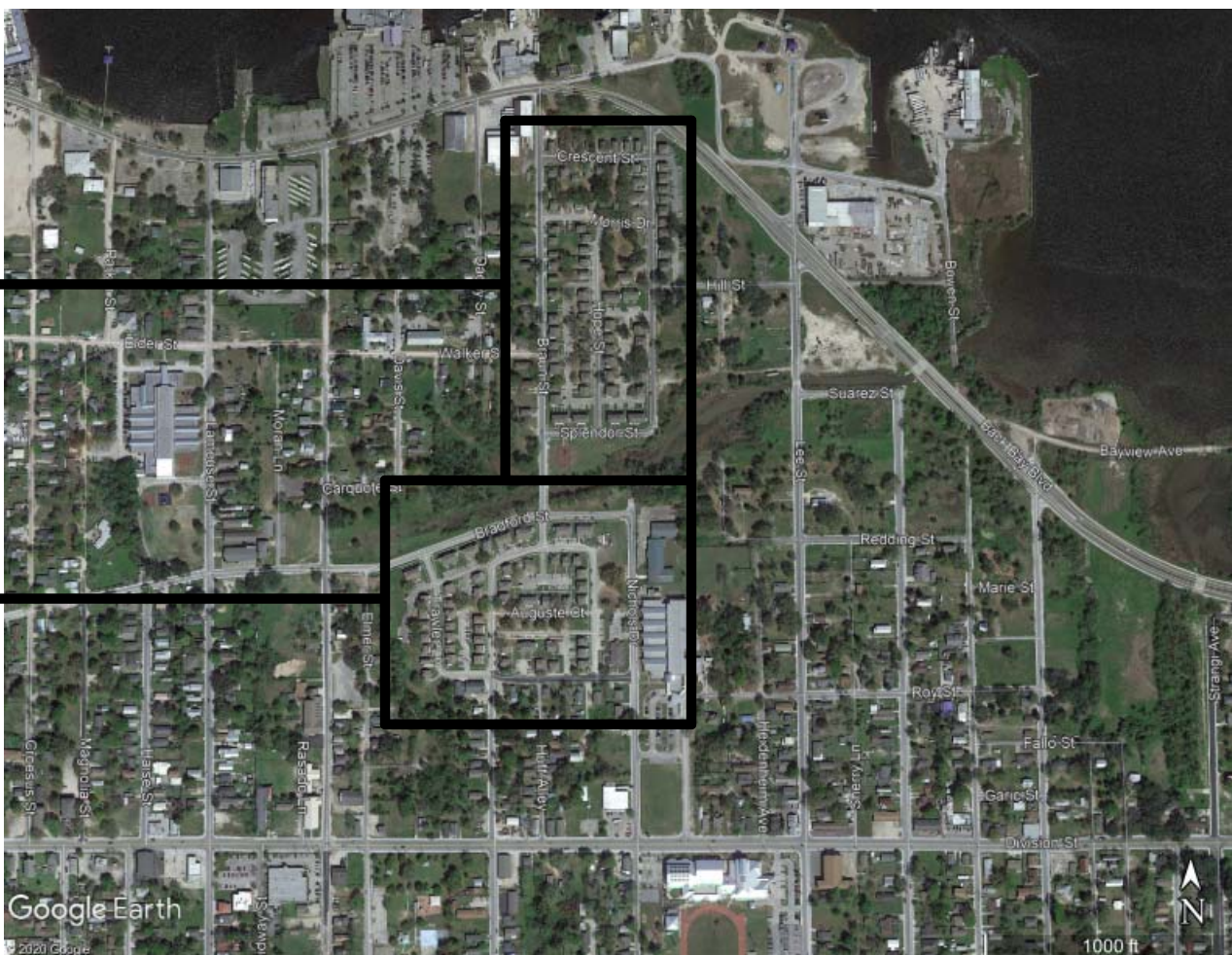
### LOCATION MAP NTS



### VICINITY MAP NTS

BAYVIEW PLACE  
NORTH

BAYVIEW PLACE  
SOUTH



### ALTERNATES

ALTERNATE #1: AN ADDITIVE ALTERNATE FOR ALL LABOR, MATERIALS, AND EQUIPMENT NECESSARY TO REROOF BUILDINGS AT BAYVIEW OAKS, COMPLETE AS INDICATED ON THE DRAWINGS AND IN ACCORDANCE WITH THE SPECIFICATIONS.

ALTERNATE #2: AN ADDITIVE ALTERNATE FOR ALL LABOR, MATERIALS, AND EQUIPMENT NECESSARY TO INSTALL A LAMINATED SHINGLE ROOF IN LIEU OF THE BASE BID 3-TAB SHINGLE ROOF, COMPLETE AS INDICATED ON THE DRAWINGS AND IN ACCORDANCE WITH THE SPECIFICATIONS.

### PRIORITY WORK

THE FOLLOWING LOCATIONS SHALL HAVE PRIORITY IN SCHEDULING:

- 416 HOPE STREET
- 380 AUGUSTE COURT
- 337 AUGUSTE COURT

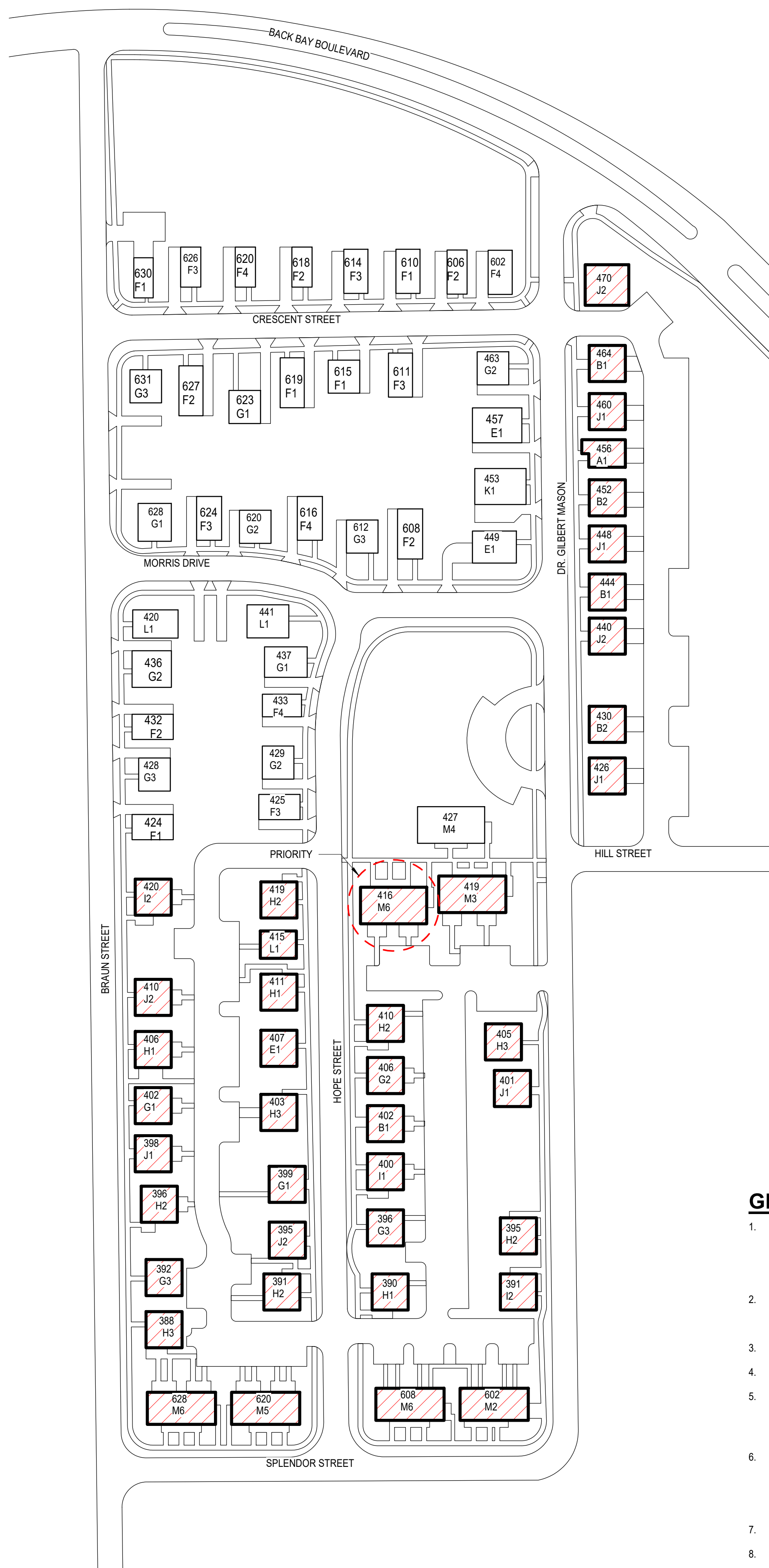
allred  
stolarski  
architects



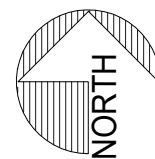
711 Church Street  
Ocean Springs, MS 39564

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Email: contact@allredstolarski.com





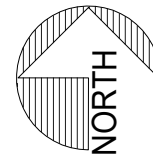
1 REFERENCE SITE PLAN-NORTH  
1" = 80'-0"



### GENERAL WORK NOTES

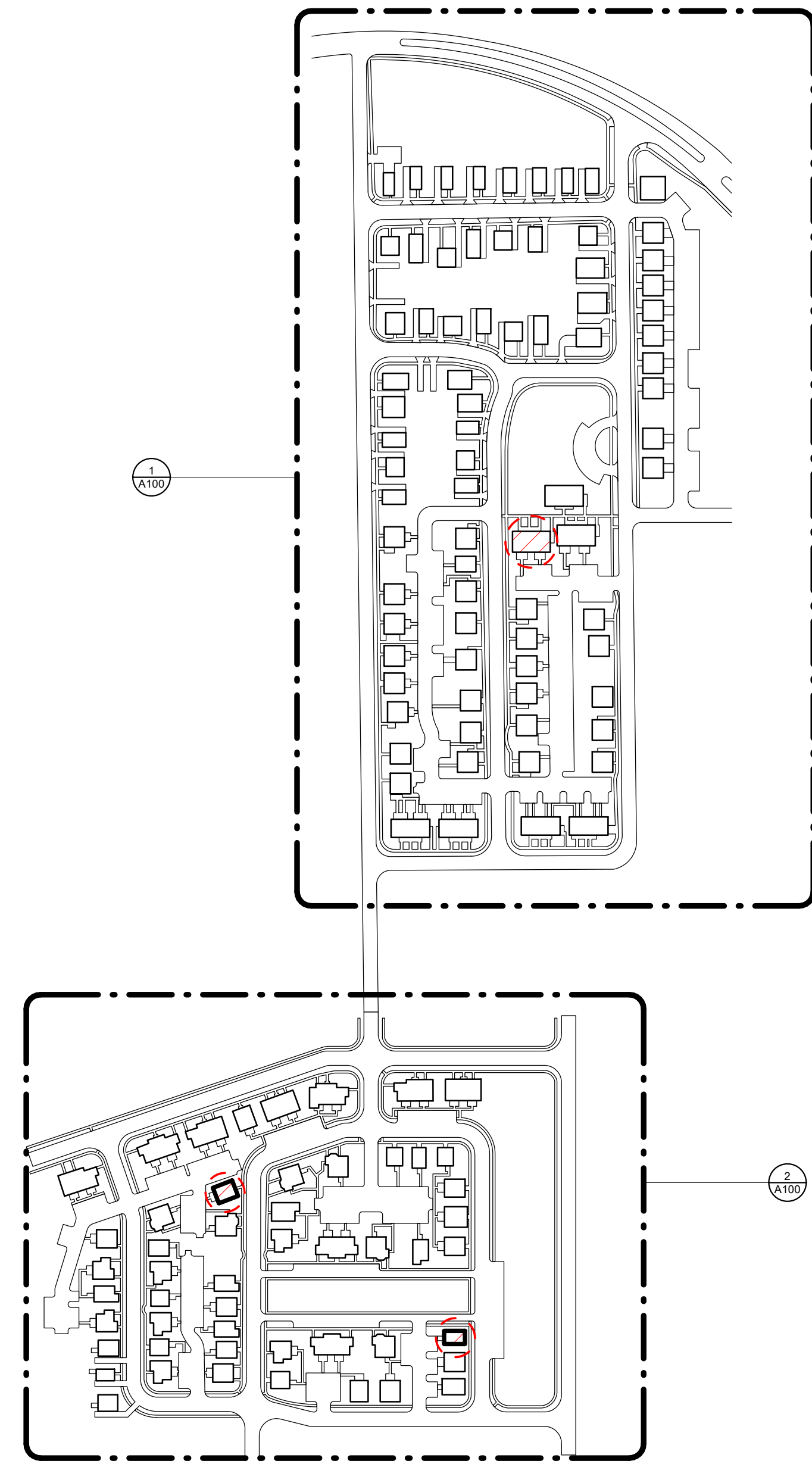
1. ALL INFORMATION REGARDING EXISTING CONDITIONS IS BASED ON OWNER SUPPLIED DOCUMENTS AND MAY NOT REFLECT ACTUAL FIELD CONDITIONS. UPON DISCOVERY OF ANY DISCREPANCIES BETWEEN FIELD CONDITIONS AND DRAWINGS DEPICTING EXISTING CONDITIONS OR UPON DISCOVERY OF UNKNOWN CONDITIONS DETRIMENTAL TO THE COMPLETION OF THE WORK AS INDICATED ON THE DRAWINGS, CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT IN WRITING. CONTRACTOR IS RESPONSIBLE FOR ALL SHORING AND BRACING NECESSARY TO MAINTAIN STRUCTURAL INTEGRITY. AT NO TIME SHALL THE EXISTING STRUCTURAL MEMBERS BE SUBJECTED TO CUTTING, DRILLING, OR ANY MODIFICATION PROCESS THAT MAY INTERFERE WITH ITS STRUCTURAL INTEGRITY.
2. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL DIMENSIONS AND CONDITIONS IN FIELD PRIOR TO BIDDING.
3. SALVAGE IS DEFINED AS THE CAREFUL REMOVAL AND RETAINING OF ITEMS AS SHOWN IN DRAWINGS FOR POSSIBLE REUSE OR DELIVERY TO OWNER.
4. CARE SHOULD BE TAKEN AT THE INTERFACE BETWEEN DEMOLITION AND EXISTING CONSTRUCTION TO REMAIN, TO AVOID ANY DAMAGE TO EXISTING CONSTRUCTION. AFTER REMOVAL OF EXISTING ROOFING OR CONSTRUCTION, PATCH AND REPAIR DAMAGE TO ANY EXISTING, WALLS, SIDEWALKS, PAVING, CURBS, LANDSCAPING, ETC. TO A LIKE NEW CONDITION.
5. THE CONTRACTOR SHALL NOTIFY, COORDINATE, SCHEDULE, AND RECEIVE PRIOR PERMISSION FROM THE USING AGENCY PRIOR TO ANY SHUT DOWN OF BUILDING SERVICES AS REQUIRED TO COMPLETE THE WORK. NOTIFICATION SHALL INCLUDE LENGTH OF TIME REQUIRED TO SHUT DOWN, LENGTH OF TIME SERVICE WILL BE DISCONNECTED, AND TIME REQUIRED TO RECONNECT SERVICES. SHUT DOWN SHALL NOT OCCUR DURING BUSINESS HOURS.
6. THE EXISTING BUILDING ENVELOPE SHALL BE MAINTAINED IN A WATERTIGHT CONDITION AT ALL TIMES.
7. THE CONTRACTOR SHALL PROVIDE TEMPORARY PROTECTION AS NECESSARY AND AS REQUIRED TO SEAL OFF THE REST OF THE EXISTING BUILDING AND MAINTAIN BUILDING DURING DEMOLITION.
8. ALL DEMOLITION WORK SHALL BE EXECUTED IN CONFORMANCE WITH ALL CODES AND ORDINANCES AS SET FORTH BY ALL GOVERNING AUTHORITIES.
9. ALL NEW DOWNSPOUTS AND GUTTERS SHALL MATCH THE SIZE, MATERIAL, AND FINISH OF EXISTING DOWNSPOUTS AND GUTTERS THAT SHALL BE DEMOLISHED. ALL GUTTERS SHALL BE BOX PROFILE. ALL DOWNSPOUTS SHALL BE PLAIN RECTANGULAR SECTION.

2 REFERENCE SITE PLAN-SOUTH  
1" = 80'-0"

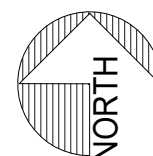


### LEGEND

- |  |           |  |
|--|-----------|--|
|  | ###<br>X# | WORK THIS LOCATION<br>STREET NUMBER<br>BUILDING TYPE     |
|  | ###<br>X# | NO WORK THIS LOCATION<br>STREET NUMBER<br>BUILDING TYPE  |
|  | PRIORITY  | THIS BUILDING SHALL HAVE<br>PRIORITY IN WORK SCHEDULING. |

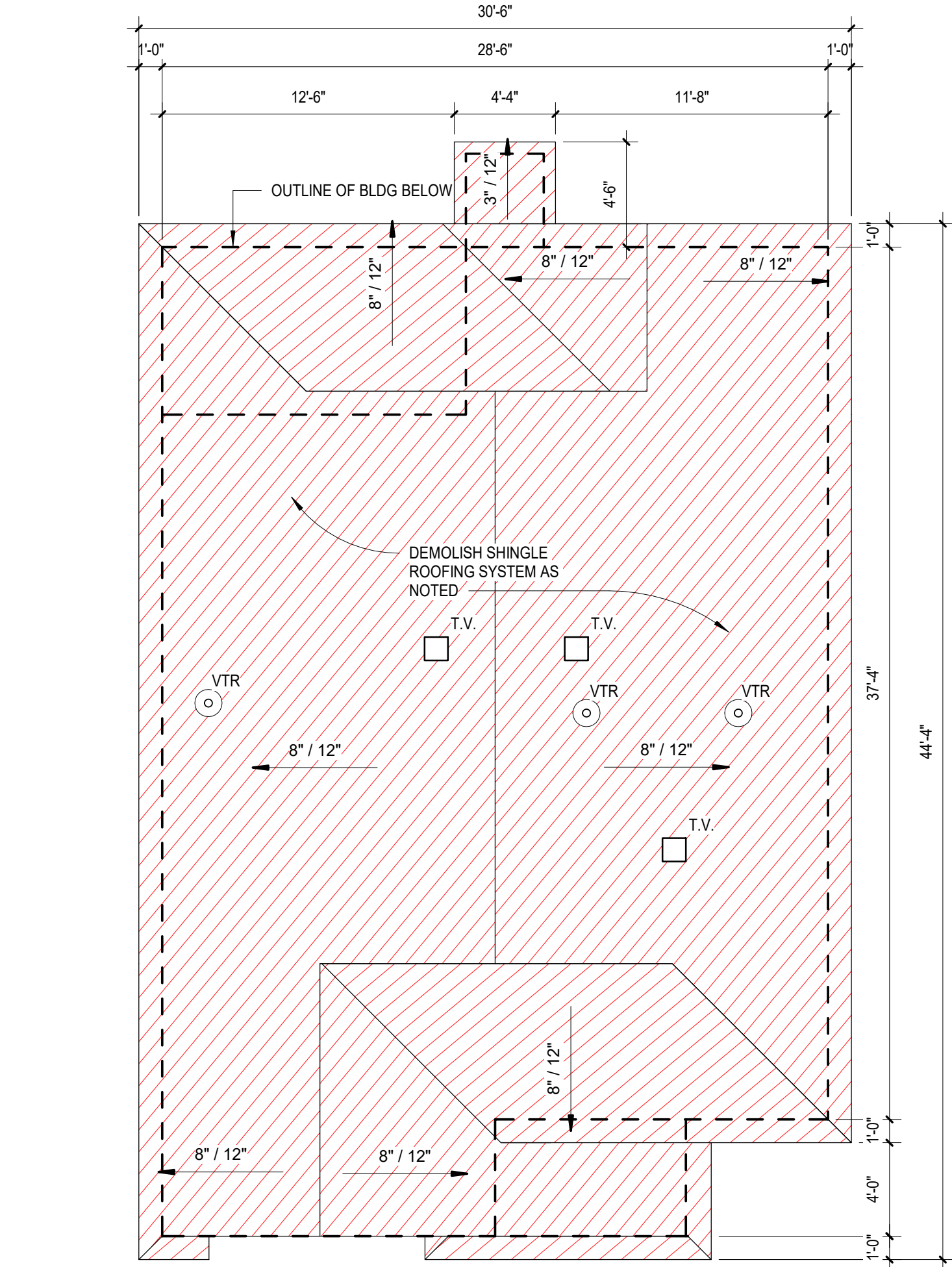


3 REFERENCE SITE PLAN  
1" = 200'-0"

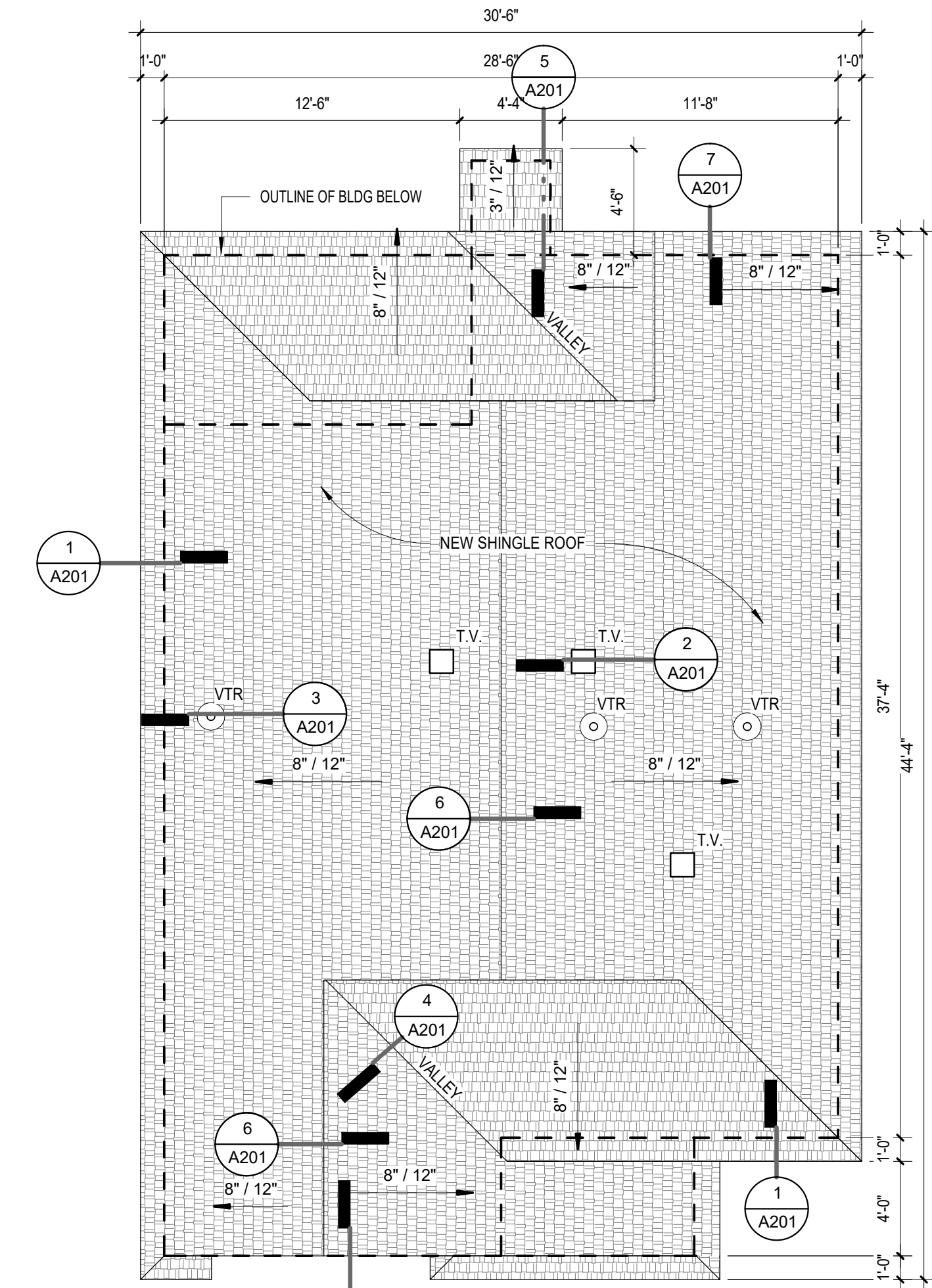




TYPE A1



1 A1-DEMOLITION PLAN  
3/16" = 1'-0"



2 A1-REROOF PLAN  
3/16" = 1'-0"

SCOPE OF WORK BUILDING TYPE A1  
DEMOLITION NOTES

- THE FOLLOWING BUILDINGS ARE TYPE A1:  
A. 341 TRAWLER LANE  
B. 361 AUGUSTE COURT  
C. 381 AUGUSTE COURT  
D. 392 AUGUSTE COURT  
E. 456 DR. GILBERT MASON
- DEMOLITION SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:  
A. CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE ROOFING MATERIAL.  
B. CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE UNDERLAYMENTS.  
C. CONTRACTOR SHALL DEMOLISH ALL PIPE BOOTS, CRICKETS AND OTHER PENETRATION FLASHINGS.  
D. CONTRACTOR SHALL DEMOLISH ALL TURTLE VENTS, THEN PREP THE ROOF OPENING FOR A NEW VENT.  
E. CONTRACTOR SHALL RETAIN IN PLACE ALL EXISTING VTR'S.  
F. CONTRACTOR SHALL RETAIN IN PLACE ALL GABLE VENTS.  
G. CONTRACTOR SHALL DEMOLISH ALL EAVE AND RAKE TRIM.  
H. CONTRACTOR SHALL DEMOLISH ALL FLASHINGS AND COUNTER FLASHINGS NOT OTHERWISE NOTED TO REMAIN.  
I. CONTRACTOR SHALL DEMOLISH 5% OF THE EXISTING 5/8" CDX ROOF DECK. AREAS TO BE DEMOLISHED WILL BE DETERMINED BY THE ARCHITECT IN THE FIELD.  
J. CONTRACTOR SHALL PREPARE THE DECK FOR NEW WORK.

SCOPE OF WORK BUILDING TYPE A1  
REROOF NOTES

- THE FOLLOWING BUILDINGS ARE TYPE A1:  
A. 341 TRAWLER LANE  
B. 361 AUGUSTE COURT  
C. 381 AUGUSTE COURT  
D. 392 AUGUSTE COURT  
E. 456 DR. GILBERT MASON
- REROOF SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:  
A. CONTRACTOR SHALL PROVIDE AND INSTALL NEW 5/8" CDX ROOF DECK OVER 5% OF THE EXISTING DECK AREA, WHERE EXISTING DECK HAS BEEN DEMOLISHED.  
B. CONTRACTOR SHALL PROVIDE AND INSTALL NEW UNDERLAYMENT AS SPECIFIED AND DETAILED.  
C. CONTRACTOR SHALL PROVIDE AND INSTALL NEW TURTLE VENTS IN LOCATIONS DRAWN.  
D. CONTRACTOR SHALL PROVIDE AND INSTALL NEW FLASHING AT GAS FLUES AND VTR'S.  
E. CONTRACTOR SHALL PROVIDE AND INSTALL NEW ROOF SHINGLES AS SPECIFIED AND DETAILED.  
F. CONTRACTOR SHALL PROVIDE AND INSTALL NEW RAKE AND EAVE TRIM.  
G. CONTRACTOR SHALL PROVIDE AND INSTALL NEW COUNTERFLASHING / THRU-WALL FLASHING.

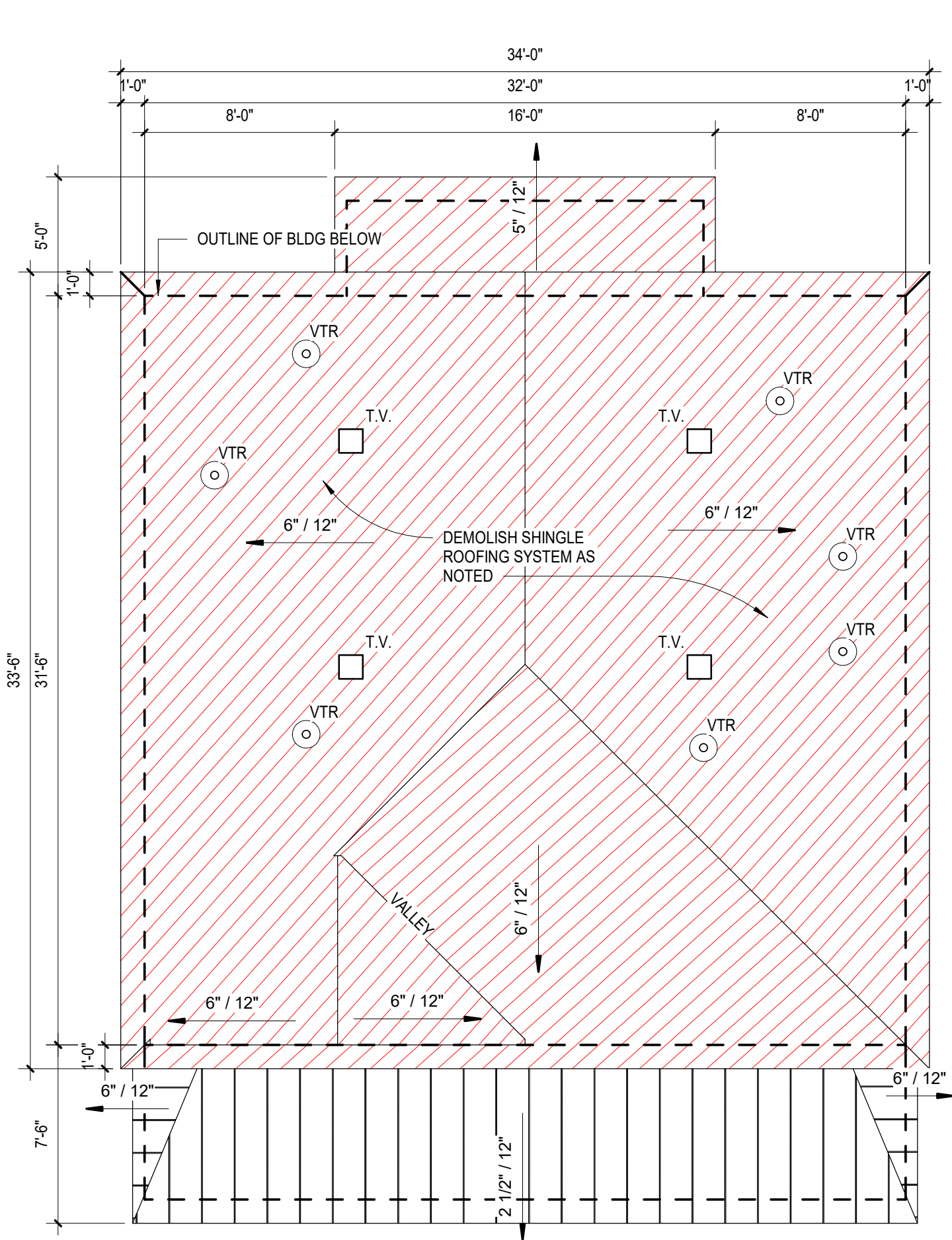
LEGEND

- DEMOLITION MARK
- NEW SHINGLES
- EXISTING STANDING SEAM METAL ROOF TO REMAIN (TYP PORCH ROOF)
- VTR - EXISTING VENT THRU ROOF TO REMAIN. PROVIDE NEW BOOT.
- TURTLE VENT - EXISTING VENT TO BE DEMOLISHED. INSTALL NEW SPECIFIED VENT IN EXISTING LOCATION.

SCOPE OF WORK BUILDING TYPE B1  
DEMOLITION NOTES

- THE FOLLOWING BUILDINGS ARE TYPE B1:  
A. 464 DR GILBERT MASON  
B. 444 DR GILBERT MASON  
C. 402 HOPE STREET  
D. 649 BRADFORD STREET
- THE FOLLOWING SCOPE OF WORK APPLIES ONLY TO AREAS WITH SHINGLE ROOFING. THE STANDING SEAM METAL PORCH ROOF, INCLUDING ALL EXISTING TRIM, FLASHING, UNDERLAYMENTS AND ACCESSORIES, IS EXISTING AND SHALL REMAIN.
- DEMOLITION SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:  
A. CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE ROOFING MATERIAL.  
B. CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE UNDERLAYMENTS.  
C. CONTRACTOR SHALL DEMOLISH ALL PIPE BOOTS, CRICKETS AND OTHER PENETRATION FLASHINGS.  
D. CONTRACTOR SHALL DEMOLISH ALL TURTLE VENTS, THEN PREP THE ROOF OPENING FOR A NEW VENT.  
E. CONTRACTOR SHALL RETAIN IN PLACE ALL EXISTING VTR'S.  
F. CONTRACTOR SHALL RETAIN IN PLACE ALL GABLE VENTS.  
G. CONTRACTOR SHALL DEMOLISH ALL EAVE AND RAKE TRIM.  
H. CONTRACTOR SHALL DEMOLISH ALL FLASHINGS AND COUNTER FLASHINGS NOT OTHERWISE NOTED TO REMAIN.  
I. CONTRACTOR SHALL DEMOLISH 5% OF THE EXISTING 5/8" CDX ROOF DECK. AREAS TO BE DEMOLISHED WILL BE DETERMINED BY THE ARCHITECT IN THE FIELD. U.N.O.  
J. CONTRACTOR SHALL PREPARE THE DECK FOR NEW WORK.
- AT 649 BRADFORD STREET ONLY, CONTRACTOR SHALL DEMOLISH 100% OF THE EXISTING 5/8" CDX ROOF DECK.

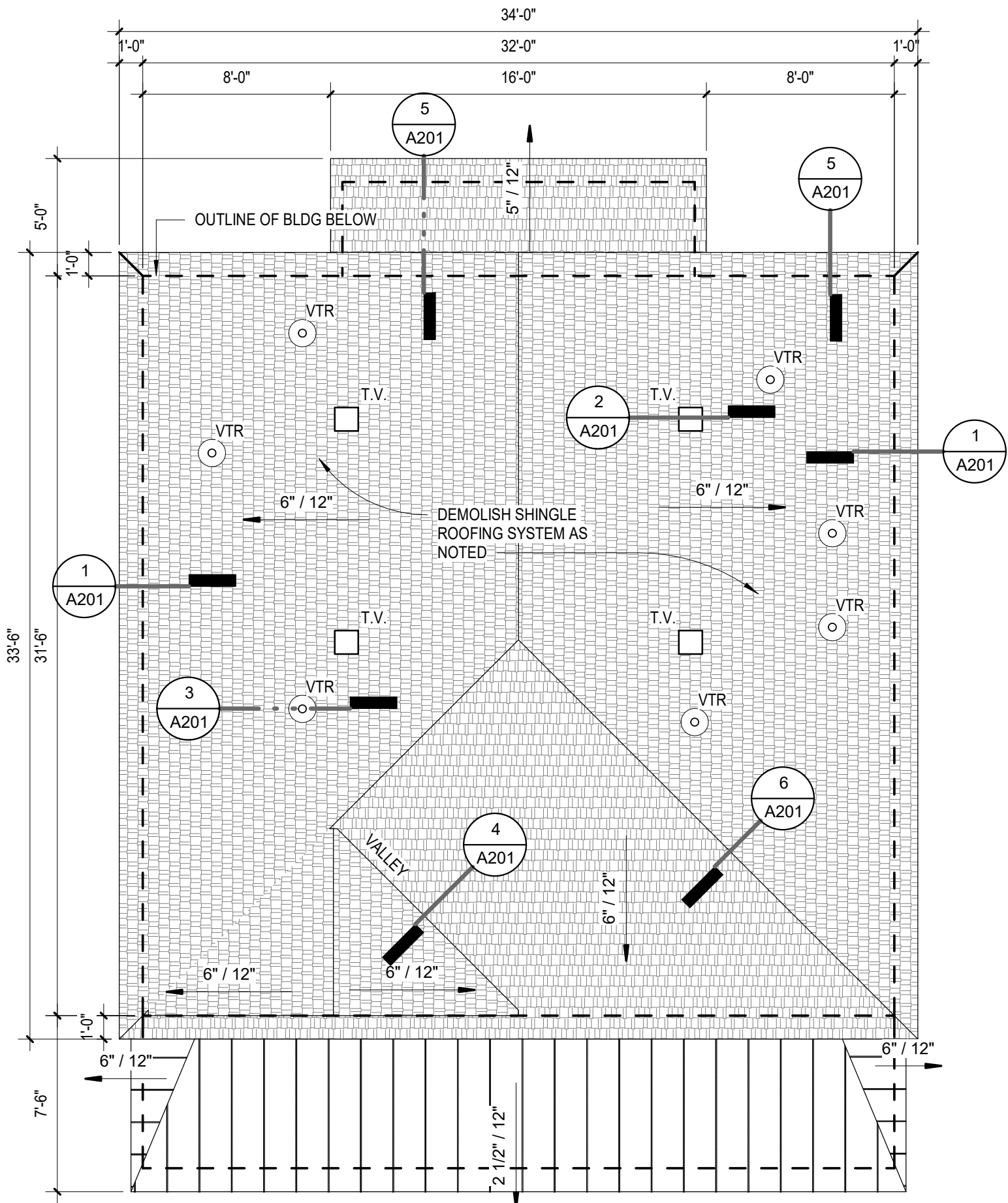
TYPE B1



3 B1-DEMOLITION PLAN  
3/16" = 1'-0"

SCOPE OF WORK BUILDING TYPE B1  
REROOF NOTES

- THE FOLLOWING BUILDINGS ARE TYPE B1:  
A. 464 DR GILBERT MASON  
B. 444 DR GILBERT MASON  
C. 402 HOPE STREET  
D. 649 BRADFORD STREET
- THE FOLLOWING SCOPE OF WORK APPLIES ONLY TO AREAS WITH SHINGLE ROOFING. THE STANDING SEAM METAL PORCH ROOF, INCLUDING ALL EXISTING TRIM, FLASHING, UNDERLAYMENTS AND ACCESSORIES, IS EXISTING AND SHALL REMAIN.
- REROOF SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:  
A. CONTRACTOR SHALL PROVIDE AND INSTALL NEW 5/8" CDX ROOF DECK OVER 5% OF THE EXISTING DECK AREA, WHERE EXISTING DECK HAS BEEN DEMOLISHED. U.N.O.  
B. CONTRACTOR SHALL PROVIDE AND INSTALL NEW UNDERLAYMENT AS SPECIFIED AND DETAILED.  
C. CONTRACTOR SHALL PROVIDE AND INSTALL NEW TURTLE VENTS IN LOCATIONS DRAWN.  
D. CONTRACTOR SHALL PROVIDE AND INSTALL NEW FLASHING AT GAS FLUES AND VTR'S.  
E. CONTRACTOR SHALL PROVIDE AND INSTALL NEW ROOF SHINGLES AS SPECIFIED AND DETAILED.  
F. CONTRACTOR SHALL PROVIDE AND INSTALL NEW RAKE AND EAVE TRIM.  
G. CONTRACTOR SHALL PROVIDE AND INSTALL NEW COUNTERFLASHING / THRU-WALL FLASHING.
- AT 649 BRADFORD STREET ONLY, CONTRACTOR SHALL PROVIDE AND INSTALL NEW 5/8" CDX ROOF DECK OVER 100% OF THE ROOF AREA.

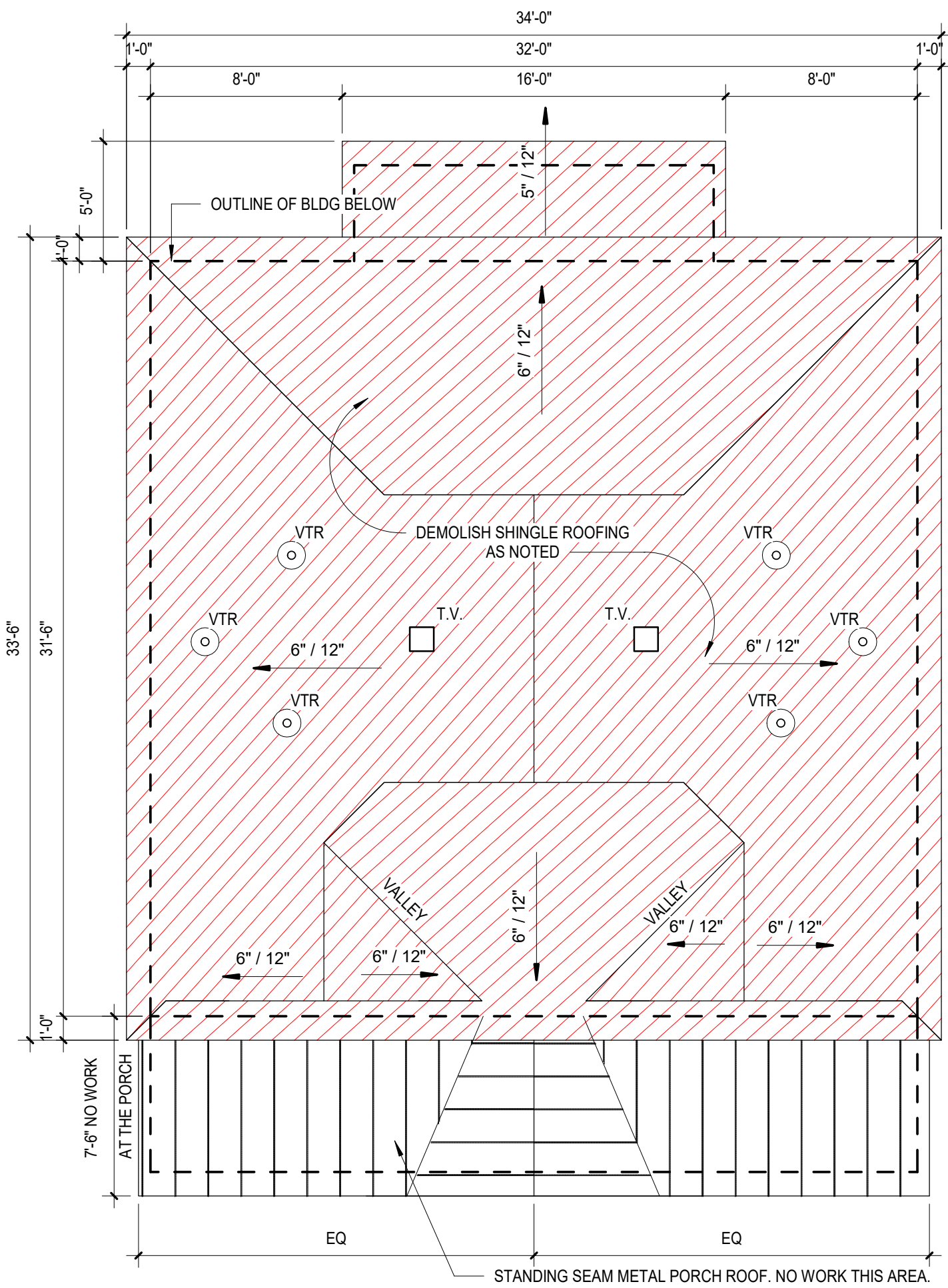


4 B1-REROOF PLAN  
3/16" = 1'-0"

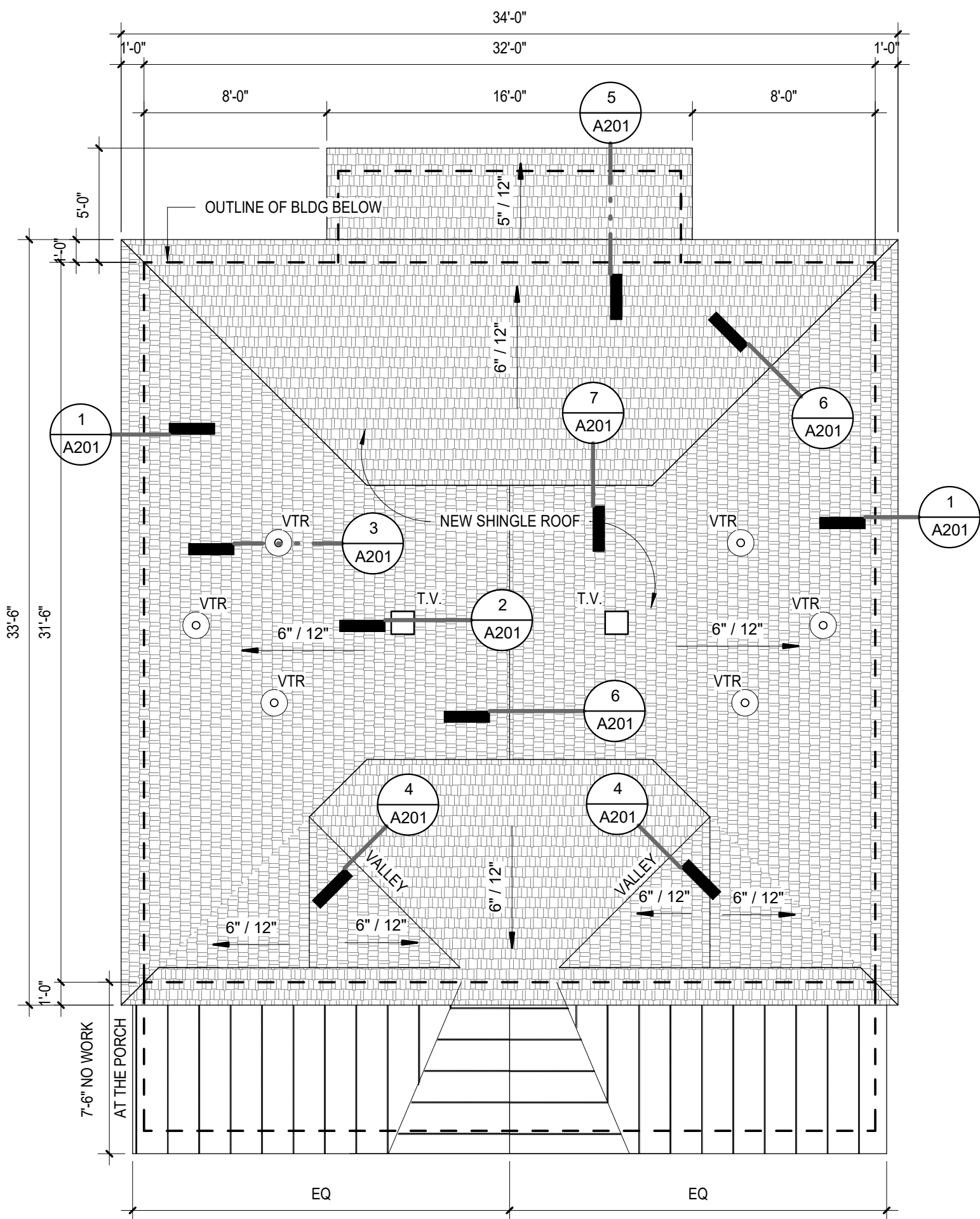




# TYPE B2



1 B2-DEMOLITION PLAN  
3/16" = 1'-0"



2 B2-REROOF PLAN  
3/16" = 1'-0"

## SCOPE OF WORK BUILDING TYPE B2 DEMOLITION NOTES

- THE FOLLOWING BUILDINGS ARE TYPE B2:
  - 430 DR GILBERT MASON
  - 452 DR GILBERT MASON
  - 380 AUGUSTE COURT \*NOTE THIS BUILDING SHALL HAVE PRIORITY SCHEDULING
- THE FOLLOWING SCOPE OF WORK APPLIES ONLY TO AREAS WITH SHINGLE ROOFING. THE STANDING SEAM METAL PORCH ROOF, INCLUDING ALL EXISTING TRIM, FLASHING, UNDERLAYMENTS AND ACCESSORIES, IS EXISTING AND SHALL REMAIN.
- DEMOLITION SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
  - CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE ROOFING MATERIAL.
  - CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE UNDERLAYMENTS.
  - CONTRACTOR SHALL DEMOLISH ALL PIPE BOOTS, CRICKETS AND OTHER PENETRATION FLASHINGS.
  - CONTRACTOR SHALL DEMOLISH ALL TURTLE VENTS, THEN PREP THE ROOF OPENING FOR A NEW VENT.
  - CONTRACTOR SHALL RETAIN IN PLACE ALL EXISTING VTR'S.
  - CONTRACTOR SHALL RETAIN IN PLACE ALL GABLE VENTS.
  - CONTRACTOR SHALL DEMOLISH ALL EAVE AND RAKE TRIM.
  - CONTRACTOR SHALL DEMOLISH ALL FLASHINGS AND COUNTER FLASHINGS NOT OTHERWISE NOTED TO REMAIN.
  - CONTRACTOR SHALL DEMOLISH 5% OF THE EXISTING 5/8" CDX ROOF DECK. AREAS TO BE DEMOLISHED WILL BE DETERMINED BY THE ARCHITECT IN THE FIELD.
  - CONTRACTOR SHALL PREPARE THE DECK FOR NEW WORK.

## SCOPE OF WORK BUILDING TYPE B2 REROOF NOTES

- THE FOLLOWING BUILDINGS ARE TYPE B2:
  - 430 DR GILBERT MASON
  - 452 DR GILBERT MASON
  - 380 AUGUSTE COURT \*NOTE THIS BUILDING SHALL HAVE PRIORITY SCHEDULING
- THE FOLLOWING SCOPE OF WORK APPLIES ONLY TO AREAS WITH SHINGLE ROOFING. THE STANDING SEAM METAL PORCH ROOF, INCLUDING ALL EXISTING TRIM, FLASHING, UNDERLAYMENTS AND ACCESSORIES, IS EXISTING AND SHALL REMAIN.
- REROOF SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW 5/8" CDX ROOF DECK OVER 5% OF THE EXISTING DECK AREA, WHERE EXISTING DECK HAS BEEN DEMOLISHED.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW UNDERLAYMENT AS SPECIFIED AND DETAILED.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW TURTLE VENTS IN LOCATIONS DRAWN.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW FLASHING AT GAS FLUES AND VTR'S.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW ROOF SHINGLES AS SPECIFIED AND DETAILED.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW RAKE AND EAVE TRIM.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW COUNTERFLASHING / THRU-WALL FLASHING.

### LEGEND

- |  |  |
|--|--|
|  | DEMOLITION MARK  |
|  | NEW SHINGLES   |
|  | EXISTING STANDING SEAM METAL ROOF TO REMAIN (TYP PORCH ROOF)                                   |
|  | VTR - EXISTING VENT THRU ROOF TO REMAIN. PROVIDE NEW BOOT.                                     |
|  | TURTLE VENT - EXISTING VENT TO BE DEMOLISHED. INSTALL NEW SPECIFIED VENT IN EXISTING LOCATION. |

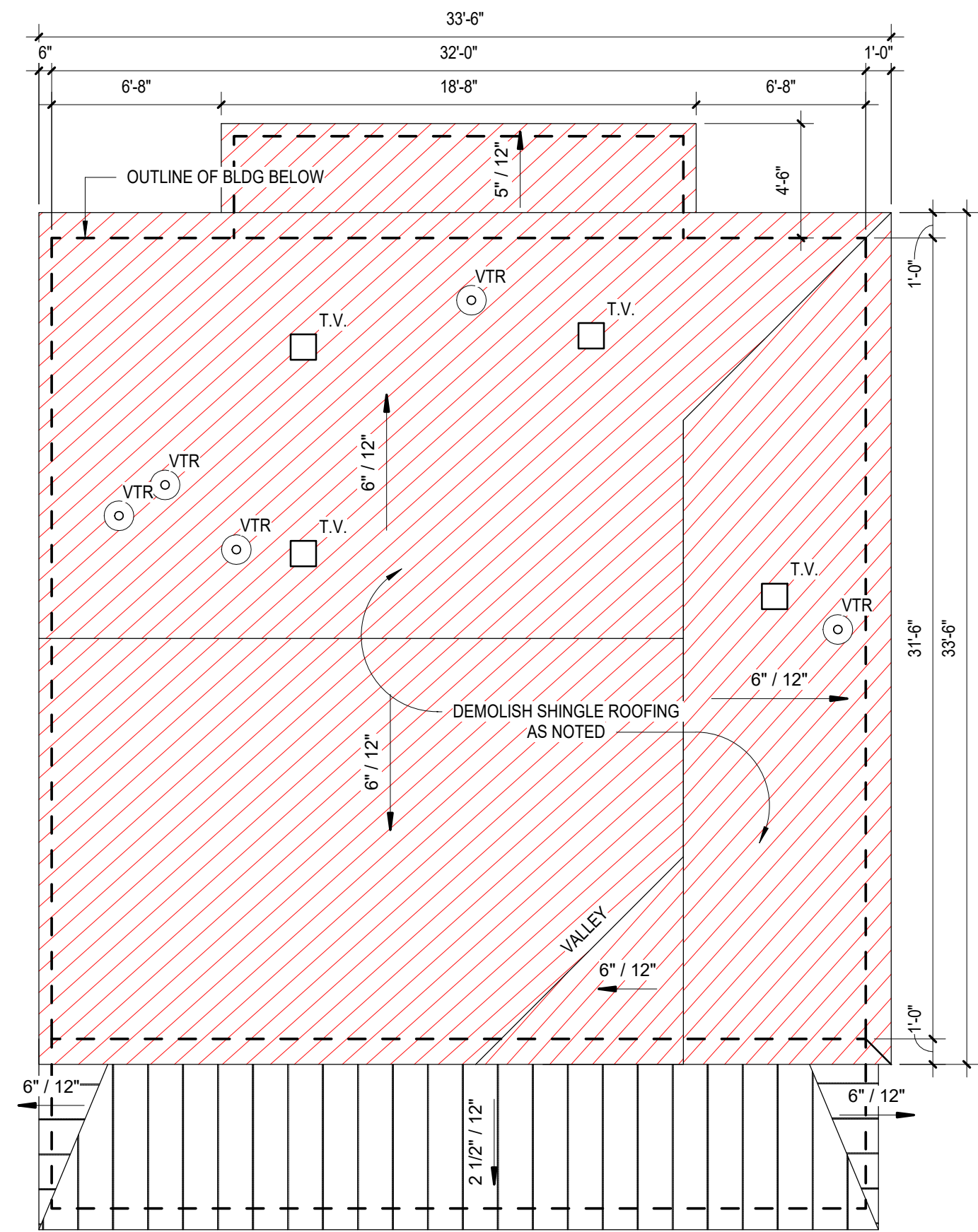
## SCOPE OF WORK BUILDING TYPE C1 DEMOLITION NOTES

- THE FOLLOWING BUILDINGS ARE TYPE C1:
  - 343 AUGUSTE COURT
  - 390 AUGUSTE COURT
  - 632 ROY STREET
- THE FOLLOWING SCOPE OF WORK APPLIES ONLY TO AREAS WITH SHINGLE ROOFING. THE STANDING SEAM METAL PORCH ROOF, INCLUDING ALL EXISTING TRIM, FLASHING, UNDERLAYMENTS AND ACCESSORIES, IS EXISTING AND SHALL REMAIN.
- DEMOLITION SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
  - CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE ROOFING MATERIAL.
  - CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE UNDERLAYMENTS.
  - CONTRACTOR SHALL DEMOLISH ALL PIPE BOOTS, CRICKETS AND OTHER PENETRATION FLASHINGS.
  - CONTRACTOR SHALL DEMOLISH ALL TURTLE VENTS, THEN PREP THE ROOF OPENING FOR A NEW VENT.
  - CONTRACTOR SHALL RETAIN IN PLACE ALL EXISTING VTR'S.
  - CONTRACTOR SHALL RETAIN IN PLACE ALL GABLE VENTS.
  - CONTRACTOR SHALL DEMOLISH ALL EAVE AND RAKE TRIM.
  - CONTRACTOR SHALL DEMOLISH ALL FLASHINGS AND COUNTER FLASHINGS NOT OTHERWISE NOTED TO REMAIN.
  - CONTRACTOR SHALL DEMOLISH 5% OF THE EXISTING 5/8" CDX ROOF DECK. AREAS TO BE DEMOLISHED WILL BE DETERMINED BY THE ARCHITECT IN THE FIELD.
  - CONTRACTOR SHALL PREPARE THE DECK FOR NEW WORK.

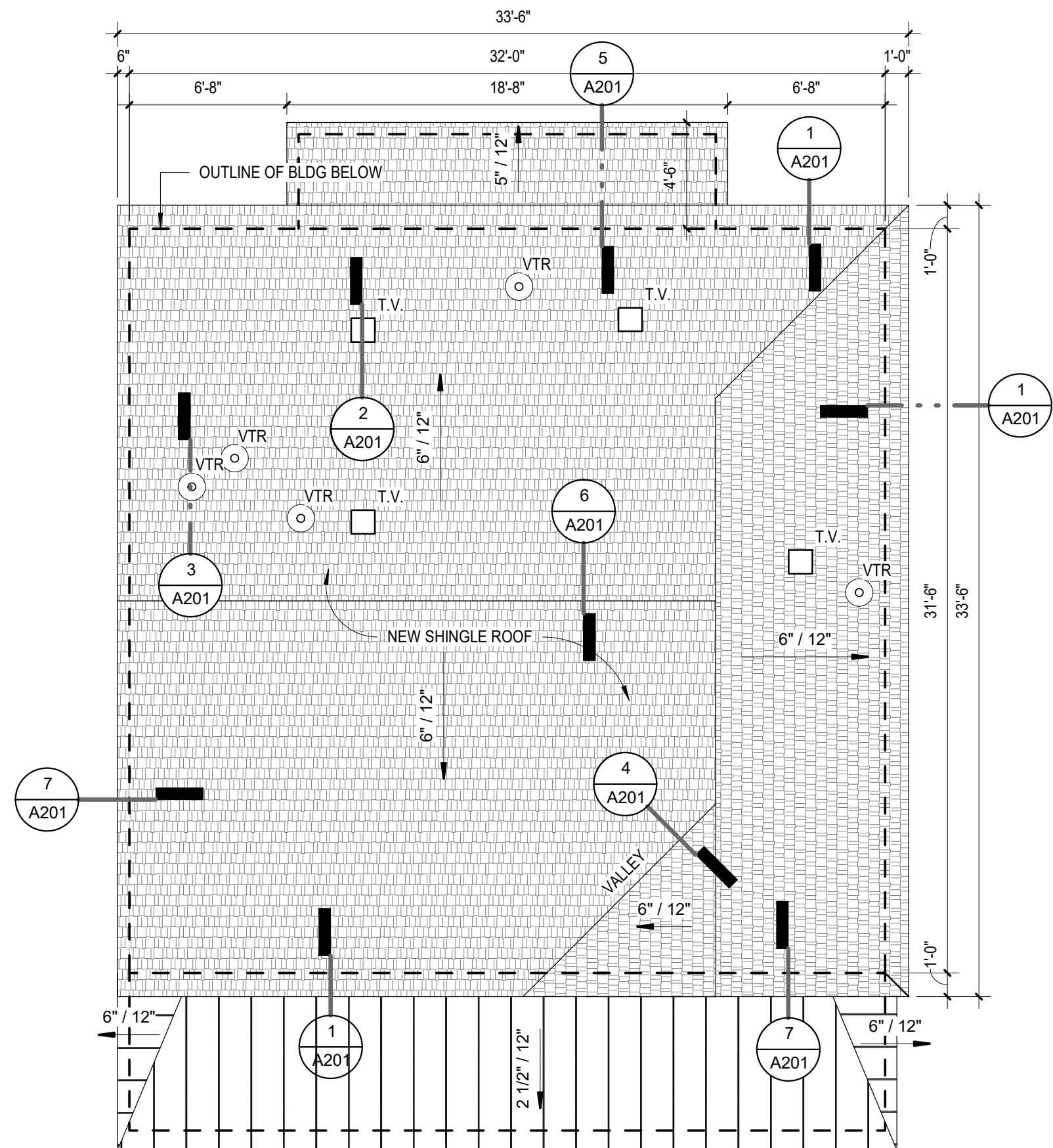
## SCOPE OF WORK BUILDING TYPE C1 REROOF NOTES

- THE FOLLOWING BUILDINGS ARE TYPE C1:
  - 343 AUGUSTE COURT
  - 390 AUGUSTE COURT
  - 632 ROY STREET
- THE FOLLOWING SCOPE OF WORK APPLIES ONLY TO AREAS WITH SHINGLE ROOFING. THE STANDING SEAM METAL PORCH ROOF, INCLUDING ALL EXISTING TRIM, FLASHING, UNDERLAYMENTS AND ACCESSORIES, IS EXISTING AND SHALL REMAIN.
- REROOF SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW 5/8" CDX ROOF DECK OVER 5% OF THE EXISTING DECK AREA, WHERE EXISTING DECK HAS BEEN DEMOLISHED.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW UNDERLAYMENT AS SPECIFIED AND DETAILED.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW TURTLE VENTS IN LOCATIONS DRAWN.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW FLASHING AT GAS FLUES AND VTR'S.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW ROOF SHINGLES AS SPECIFIED AND DETAILED.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW RAKE AND EAVE TRIM.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW COUNTERFLASHING / THRU-WALL FLASHING.

# TYPE C1



3 C1-DEMOLITION PLAN  
3/16" = 1'-0"

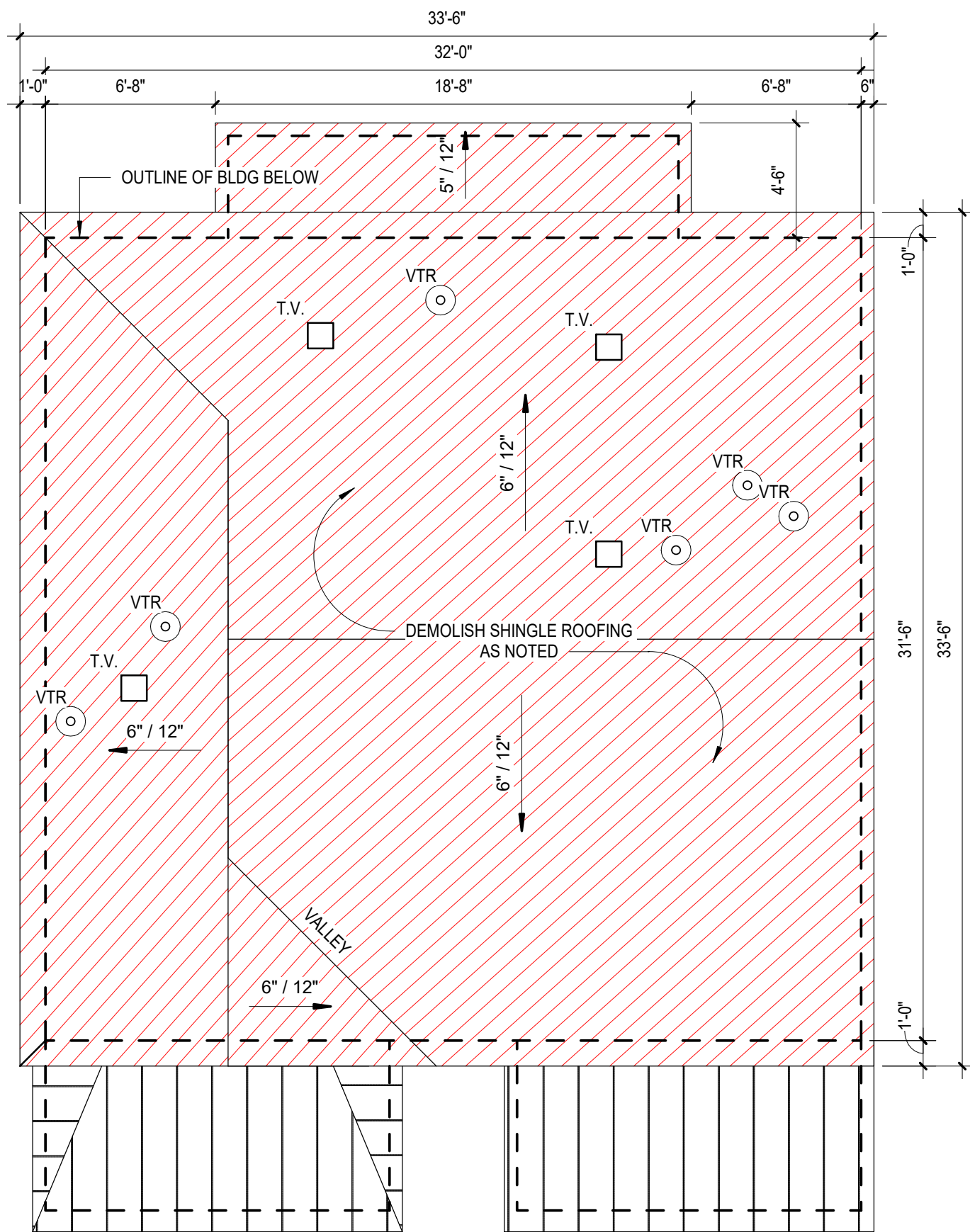


4 C1-REROOF PLAN  
3/16" = 1'-0"

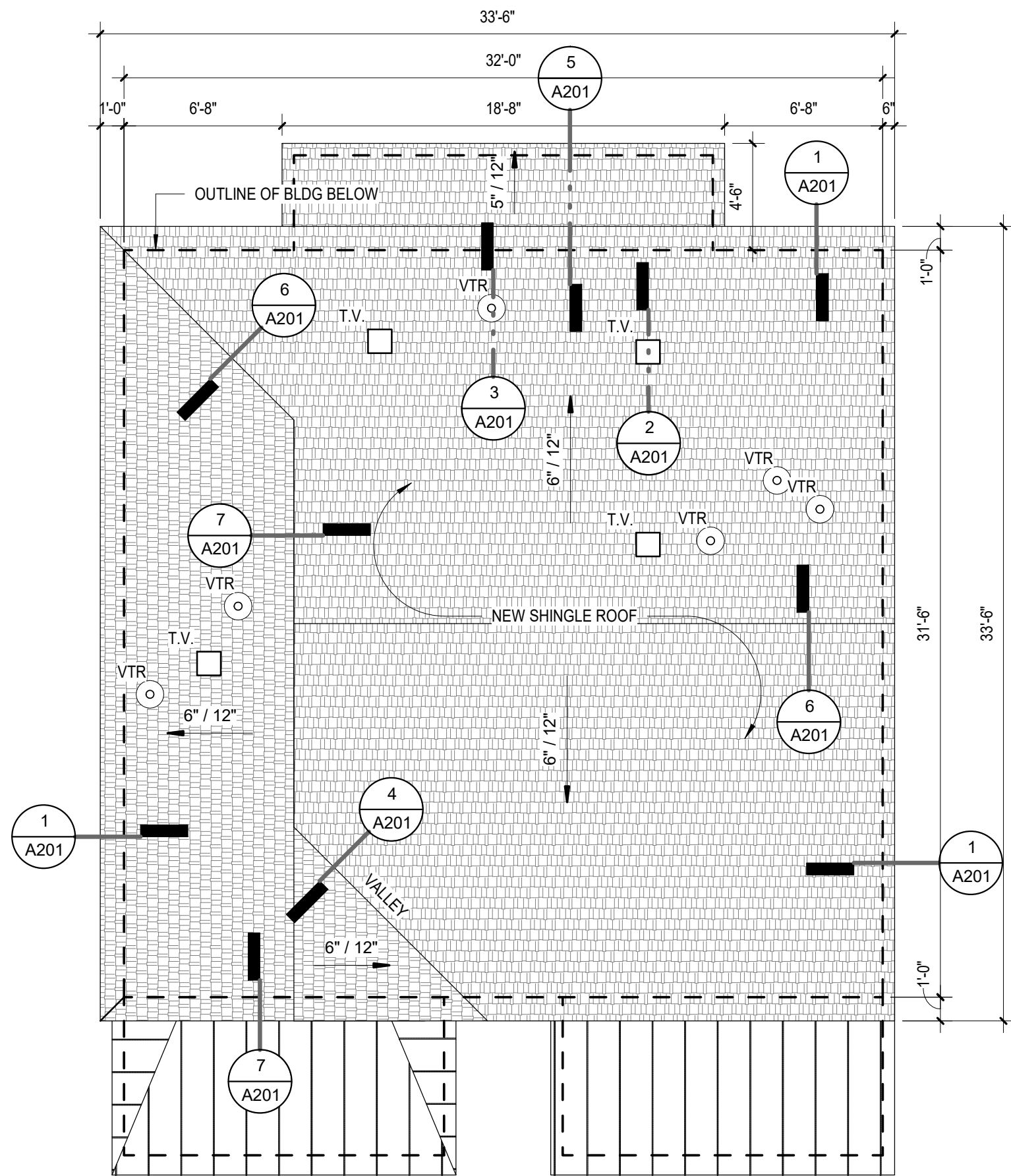




TYPE C2



1 C2-DEMOLITION PLAN  
3/16" = 1'-0"



2 C2-REROOF PLAN  
3/16" = 1'-0"

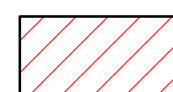
SCOPE OF WORK BUILDING TYPE C2  
DEMOLITION NOTES

- THE FOLLOWING BUILDINGS ARE TYPE C2:  
A. 335 AUGUSTE COURT  
B. 347 AUGUSTE COURT  
C. 396 AUGUSTE COURT  
D. 345 TRAWLER LANE
- THE FOLLOWING SCOPE OF WORK APPLIES ONLY TO AREAS WITH SHINGLE ROOFING. THE STANDING SEAM METAL PORCH ROOF, INCLUDING ALL EXISTING TRIM, FLASHING, UNDERLAYMENTS AND ACCESSORIES, IS EXISTING AND SHALL REMAIN.
- DEMOLITION SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:  
A. CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE ROOFING MATERIAL.  
B. CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE UNDERLAYMENTS.  
C. CONTRACTOR SHALL DEMOLISH ALL PIPE BOOTS, CRICKETS AND OTHER PENETRATION FLASHINGS.  
D. CONTRACTOR SHALL DEMOLISH ALL TURTLE VENTS, THEN PREP THE ROOF OPENING FOR A NEW VENT.  
E. CONTRACTOR SHALL RETAIN IN PLACE ALL EXISTING VTR'S.  
F. CONTRACTOR SHALL RETAIN IN PLACE ALL GABLE VENTS.  
G. CONTRACTOR SHALL DEMOLISH ALL EAVE AND RAKE TRIM.  
H. CONTRACTOR SHALL DEMOLISH ALL FLASHINGS AND COUNTER FLASHINGS NOT OTHERWISE NOTED TO REMAIN.  
I. CONTRACTOR SHALL DEMOLISH 5% OF THE EXISTING 5/8" CDX ROOF DECK. AREAS TO BE DEMOLISHED WILL BE DETERMINED BY THE ARCHITECT IN THE FIELD.  
J. CONTRACTOR SHALL PREPARE THE DECK FOR NEW WORK.

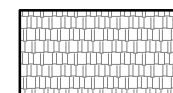
SCOPE OF WORK BUILDING TYPE C2  
REROOF NOTES

- THE FOLLOWING BUILDINGS ARE TYPE C2:  
A. 335 AUGUSTE COURT  
B. 347 AUGUSTE COURT  
C. 396 AUGUSTE COURT  
D. 345 TRAWLER LANE
- THE FOLLOWING SCOPE OF WORK APPLIES ONLY TO AREAS WITH SHINGLE ROOFING. THE STANDING SEAM METAL PORCH ROOF, INCLUDING ALL EXISTING TRIM, FLASHING, UNDERLAYMENTS AND ACCESSORIES, IS EXISTING AND SHALL REMAIN.
- REROOF SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:  
A. CONTRACTOR SHALL PROVIDE AND INSTALL NEW 5/8" CDX ROOF DECK OVER 5% OF THE EXISTING DECK AREA, WHERE EXISTING DECK HAS BEEN DEMOLISHED.  
B. CONTRACTOR SHALL PROVIDE AND INSTALL NEW UNDERLAYMENT AS SPECIFIED AND DETAILED.  
C. CONTRACTOR SHALL PROVIDE AND INSTALL NEW TURTLE VENTS IN LOCATIONS DRAWN.  
D. CONTRACTOR SHALL PROVIDE AND INSTALL NEW FLASHING AT GAS FLUES AND VTR'S.  
E. CONTRACTOR SHALL PROVIDE AND INSTALL NEW ROOF SHINGLES AS SPECIFIED AND DETAILED.  
F. CONTRACTOR SHALL PROVIDE AND INSTALL NEW RAKE AND EAVE TRIM.  
G. CONTRACTOR SHALL PROVIDE AND INSTALL NEW COUNTERFLASHING / THRU-WALL FLASHING.

LEGEND



DEMOLITION MARK



NEW SHINGLES



EXISTING STANDING SEAM METAL ROOF TO REMAIN (TYP PORCH ROOF)

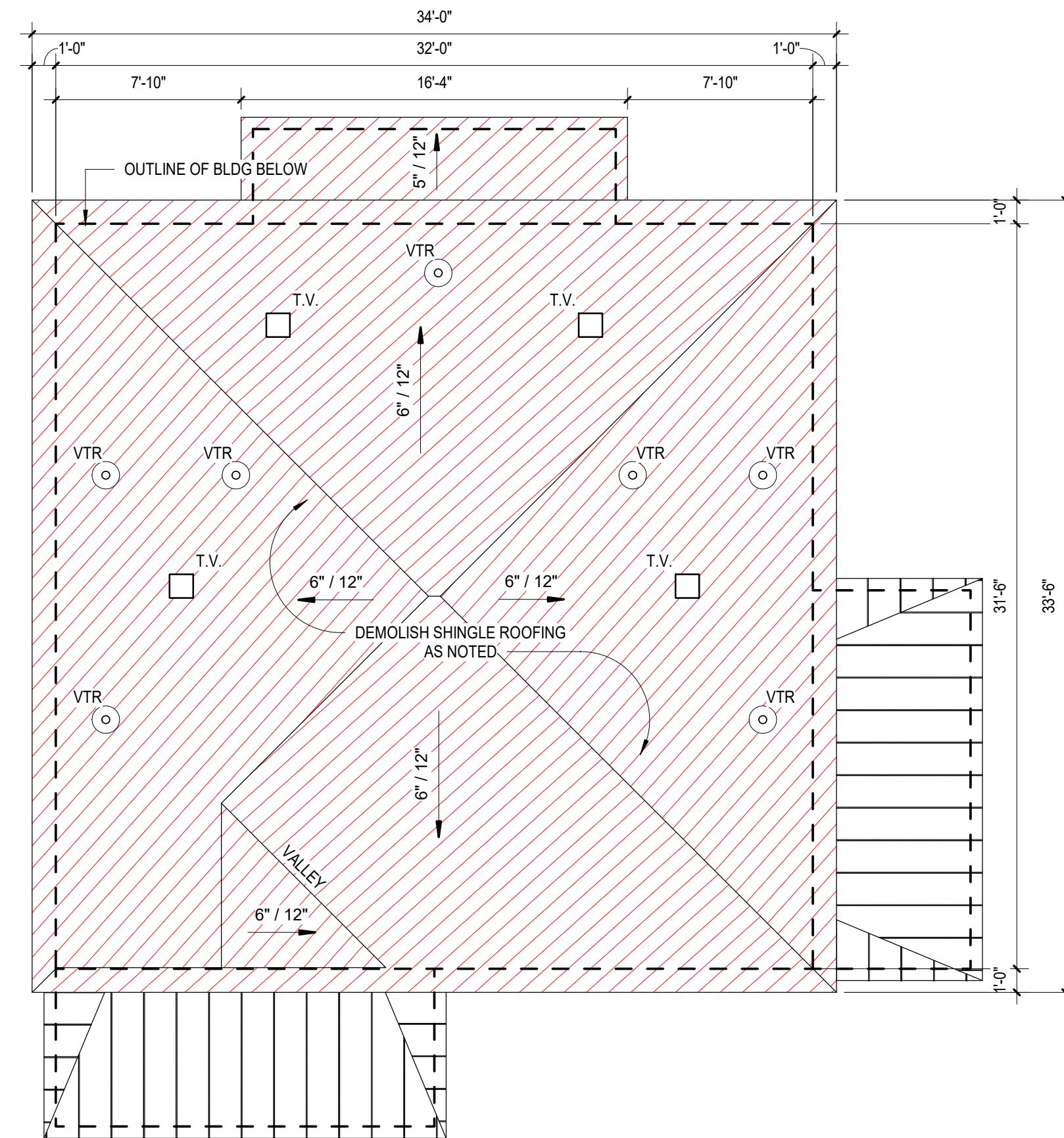


VTR - EXISTING VENT THRU ROOF TO REMAIN. PROVIDE NEW BOOT.

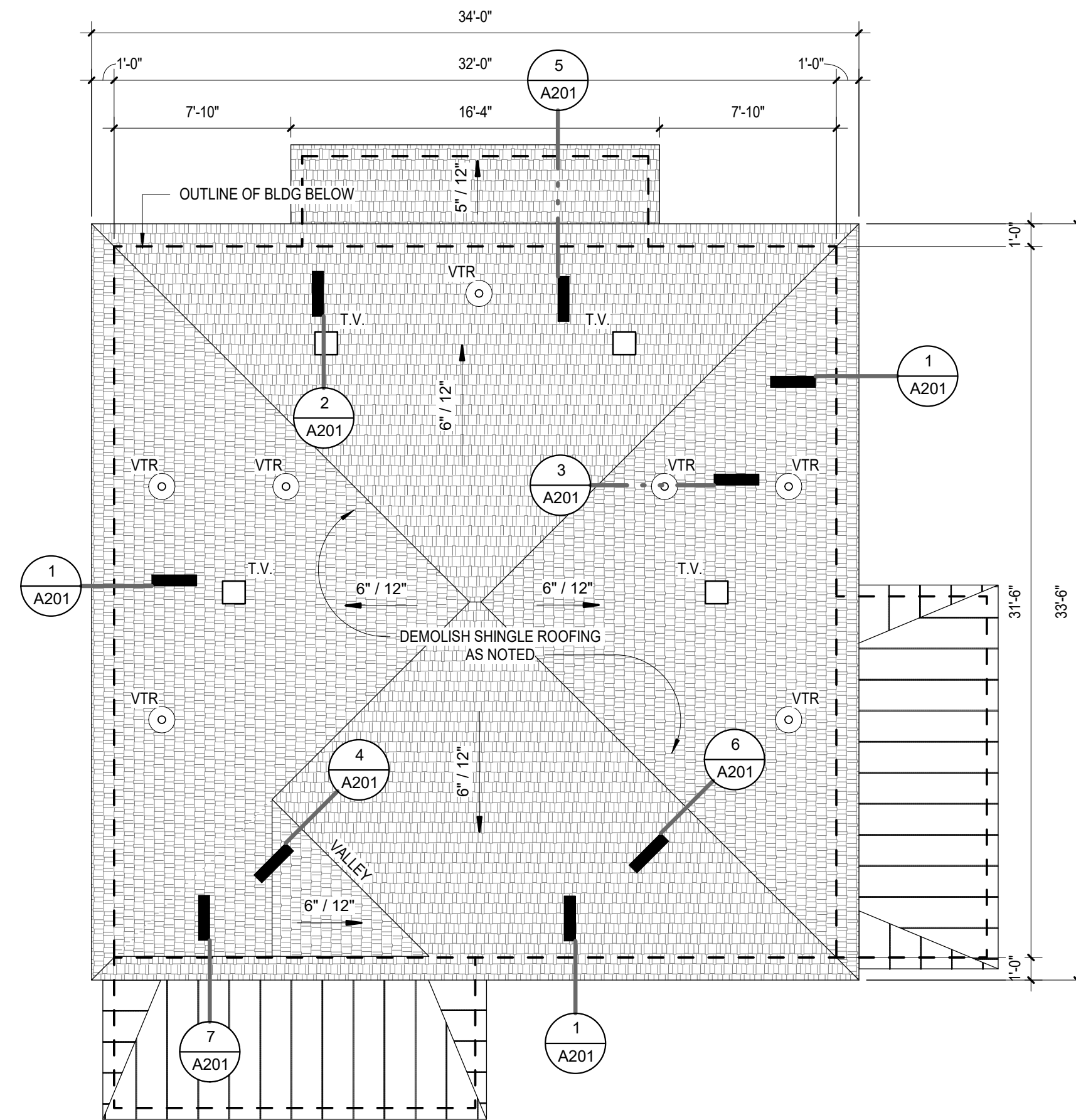


T.V. - TURTLE VENT - EXISTING VENT TO BE DEMOLISHED. INSTALL NEW SPECIFIED VENT IN EXISTING LOCATION.

TYPE D1



3 D1-DEMOLITION PLAN  
3/16" = 1'-0"



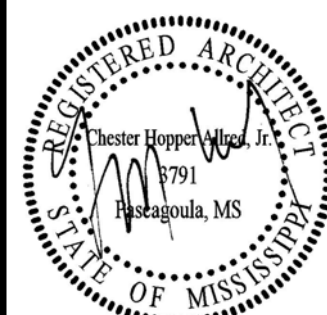
4 D1-REROOF PLAN  
3/16" = 1'-0"

SCOPE OF WORK BUILDING TYPE D1  
DEMOLITION NOTES

- THE FOLLOWING BUILDINGS ARE TYPE D1:  
A. 343 TRAWLER LANE  
B. 339 TRAWLER LANE  
C. 338 TRAWLER LANE  
D. 395 AUGUSTE COURT
- THE FOLLOWING SCOPE OF WORK APPLIES ONLY TO AREAS WITH SHINGLE ROOFING. THE STANDING SEAM METAL PORCH ROOF, INCLUDING ALL EXISTING TRIM, FLASHING, UNDERLAYMENTS AND ACCESSORIES, IS EXISTING AND SHALL REMAIN.
- DEMOLITION SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:  
A. CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE ROOFING MATERIAL.  
B. CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE UNDERLAYMENTS.  
C. CONTRACTOR SHALL DEMOLISH ALL PIPE BOOTS, CRICKETS AND OTHER PENETRATION FLASHINGS.  
D. CONTRACTOR SHALL DEMOLISH ALL TURTLE VENTS, THEN PREP THE ROOF OPENING FOR A NEW VENT.  
E. CONTRACTOR SHALL RETAIN IN PLACE ALL EXISTING VTR'S.  
F. CONTRACTOR SHALL RETAIN IN PLACE ALL GABLE VENTS.  
G. CONTRACTOR SHALL DEMOLISH ALL EAVE AND RAKE TRIM.  
H. CONTRACTOR SHALL DEMOLISH ALL FLASHINGS AND COUNTER FLASHINGS NOT OTHERWISE NOTED TO REMAIN.  
I. CONTRACTOR SHALL DEMOLISH 5% OF THE EXISTING 5/8" CDX ROOF DECK. AREAS TO BE DEMOLISHED WILL BE DETERMINED BY THE ARCHITECT IN THE FIELD.  
J. CONTRACTOR SHALL PREPARE THE DECK FOR NEW WORK.

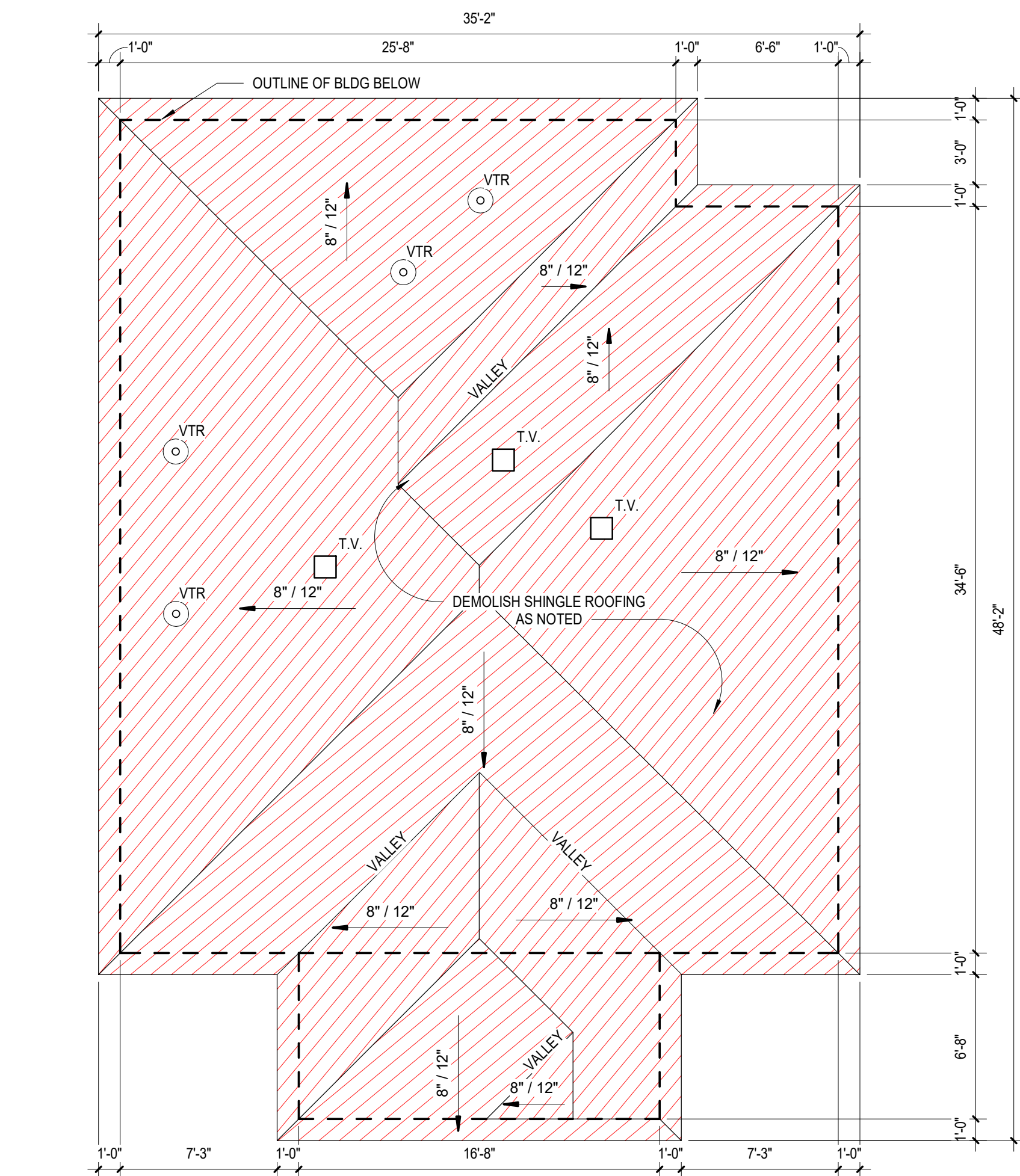
SCOPE OF WORK BUILDING TYPE D1  
REROOF NOTES

- THE FOLLOWING BUILDINGS ARE TYPE D1:  
A. 343 TRAWLER LANE  
B. 339 TRAWLER LANE  
C. 338 TRAWLER LANE  
D. 395 AUGUSTE COURT
- THE FOLLOWING SCOPE OF WORK APPLIES ONLY TO AREAS WITH SHINGLE ROOFING. THE STANDING SEAM METAL PORCH ROOF, INCLUDING ALL EXISTING TRIM, FLASHING, UNDERLAYMENTS AND ACCESSORIES, IS EXISTING AND SHALL REMAIN.
- REROOF SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:  
A. CONTRACTOR SHALL PROVIDE AND INSTALL NEW 5/8" CDX ROOF DECK OVER 5% OF THE EXISTING DECK AREA, WHERE EXISTING DECK HAS BEEN DEMOLISHED.  
B. CONTRACTOR SHALL PROVIDE AND INSTALL NEW UNDERLAYMENT AS SPECIFIED AND DETAILED.  
C. CONTRACTOR SHALL PROVIDE AND INSTALL NEW TURTLE VENTS IN LOCATIONS DRAWN.  
D. CONTRACTOR SHALL PROVIDE AND INSTALL NEW FLASHING AT GAS FLUES AND VTR'S.  
E. CONTRACTOR SHALL PROVIDE AND INSTALL NEW ROOF SHINGLES AS SPECIFIED AND DETAILED.  
F. CONTRACTOR SHALL PROVIDE AND INSTALL NEW RAKE AND EAVE TRIM.  
G. CONTRACTOR SHALL PROVIDE AND INSTALL NEW COUNTERFLASHING / THRU-WALL FLASHING.

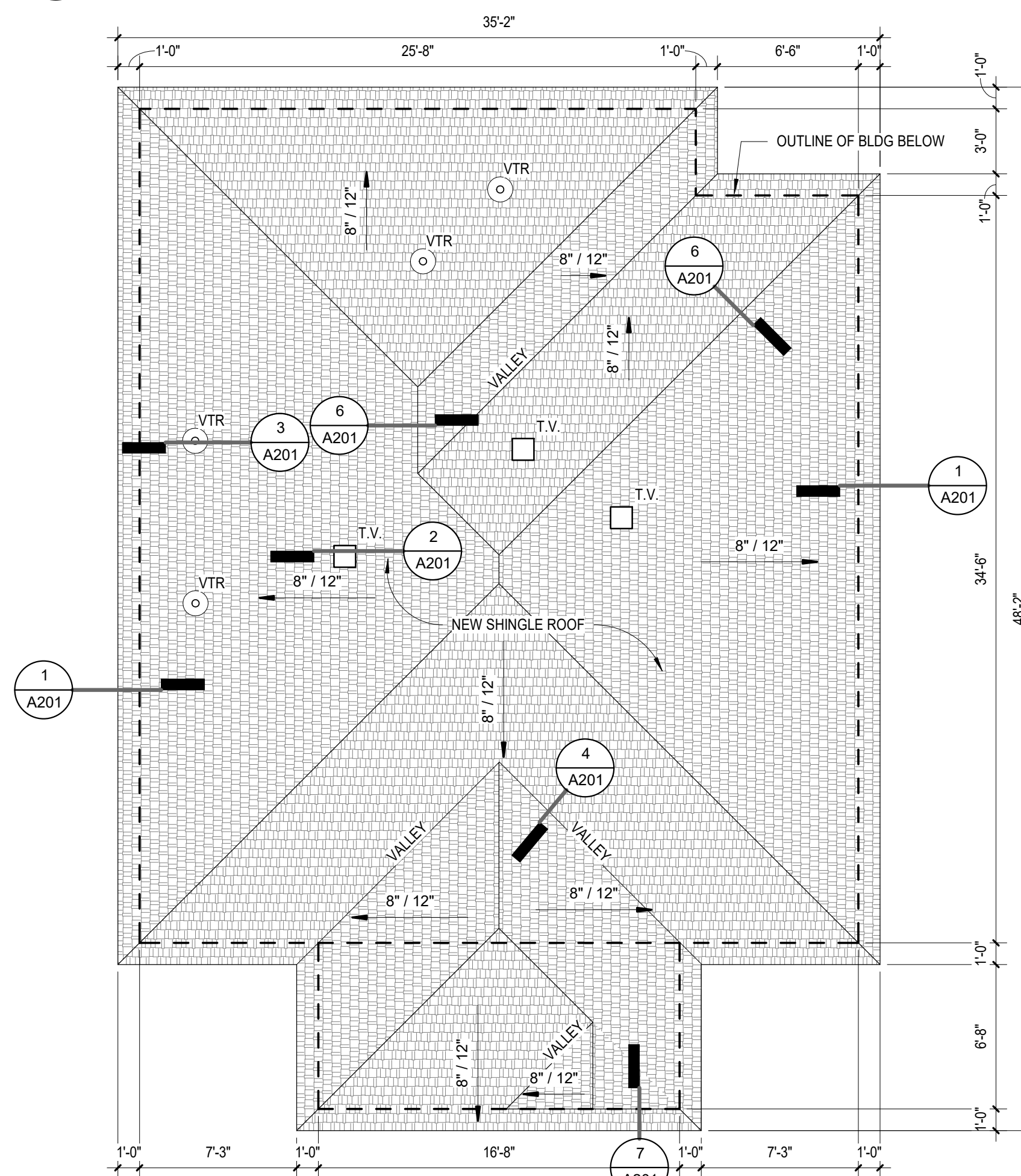




## TYPE E1



1 E1-DEMOLITION PLAN  
A104 3/16" = 1'-0"



2 E1-REROOF PLAN  
A104 3/16" = 1'-0"

## SCOPE OF WORK BUILDING TYPE E1

### DEMOLITION NOTES

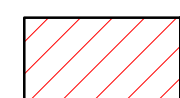
1. THE FOLLOWING BUILDINGS ARE TYPE E1:
  - A. 407 HOPE STREET
2. DEMOLITION SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
  - A. CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE ROOFING MATERIAL.
  - B. CONTRACTOR SHALL DEMOLISH ALL EXISTING UNDERLAYMENTS.
  - C. CONTRACTOR SHALL DEMOLISH ALL PIPE BOOTS, CRICKETS AND OTHER PENETRATION FLASHINGS.
  - D. CONTRACTOR SHALL DEMOLISH ALL TURTLE VENTS, THEN PREP THE ROOF OPENING FOR NEW VENTS.
  - E. CONTRACTOR SHALL RETAIN IN PLACE ALL EXISTING VTRS'.
  - F. CONTRACTOR SHALL DEMOLISH ALL EAVE AND RAKE TRIM.
  - G. CONTRACTOR SHALL DEMOLISH ALL FLASHINGS AND COUNTER FLASHINGS NOT OTHERWISE NOTED TO REMAIN.
  - H. CONTRACTOR SHALL DEMOLISH 15% OF THE EXISTING 5/8" CDX ROOF DECK. AREAS TO BE DEMOLISHED WILL BE DETERMINED BY THE ARCHITECT IN THE FIELD.
  - I. CONTRACTOR SHALL PREPARE THE DECK FOR NEW WORK.

## SCOPE OF WORK BUILDING TYPE E1

### REROOF NOTES

1. THE FOLLOWING BUILDINGS ARE TYPE E1:
  - A. 407 HOPE STREET
2. REROOF SLOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
  - A. CONTRACTOR SHALL PROVIDE AND INSTALL NEW 5/8" CDX ROOF DECK OVER 5% OF THE EXISTING DECK AREA, WHERE EXISTING DECK HAS BEEN DEMOLISHED.
  - B. CONTRACTOR SHALL PROVIDE AND INSTALL NEW UNDERLAYMENT AS SPECIFIED AND DETAILED.
  - C. CONTRACTOR SHALL PROVIDE AND INSTALL NEW TURTLE VENTS IN LOCATIONS DRAWN.
  - D. CONTRACTOR SHALL PROVIDE AND INSTALL NEW FLASHING AT VTRS.
  - E. CONTRACTOR SHALL PROVIDE AND INSTALL NEW ROOF SHINGLES AS SPECIFIED AND DETAILED.
  - F. CONTRACTOR SHALL PROVIDE AND INSTALL NEW RAKE AND EAVE TRIM.

## LEGEND



DEMOLITION MARK



## NEW SHINGLES



EXISTING STANDING SEAM  
METAL ROOF TO REMAIN  
(TYP PORCH ROOF)



VTR - EXISTING VENT THRU ROOF  
TO REMAIN. PROVIDE NEW BOOT.



TURTLE VENT - EXISTING VENT TO BE DEMOLISHED. INSTALL NEW SPECIFIED VENT IN EXISTING LOCATION.

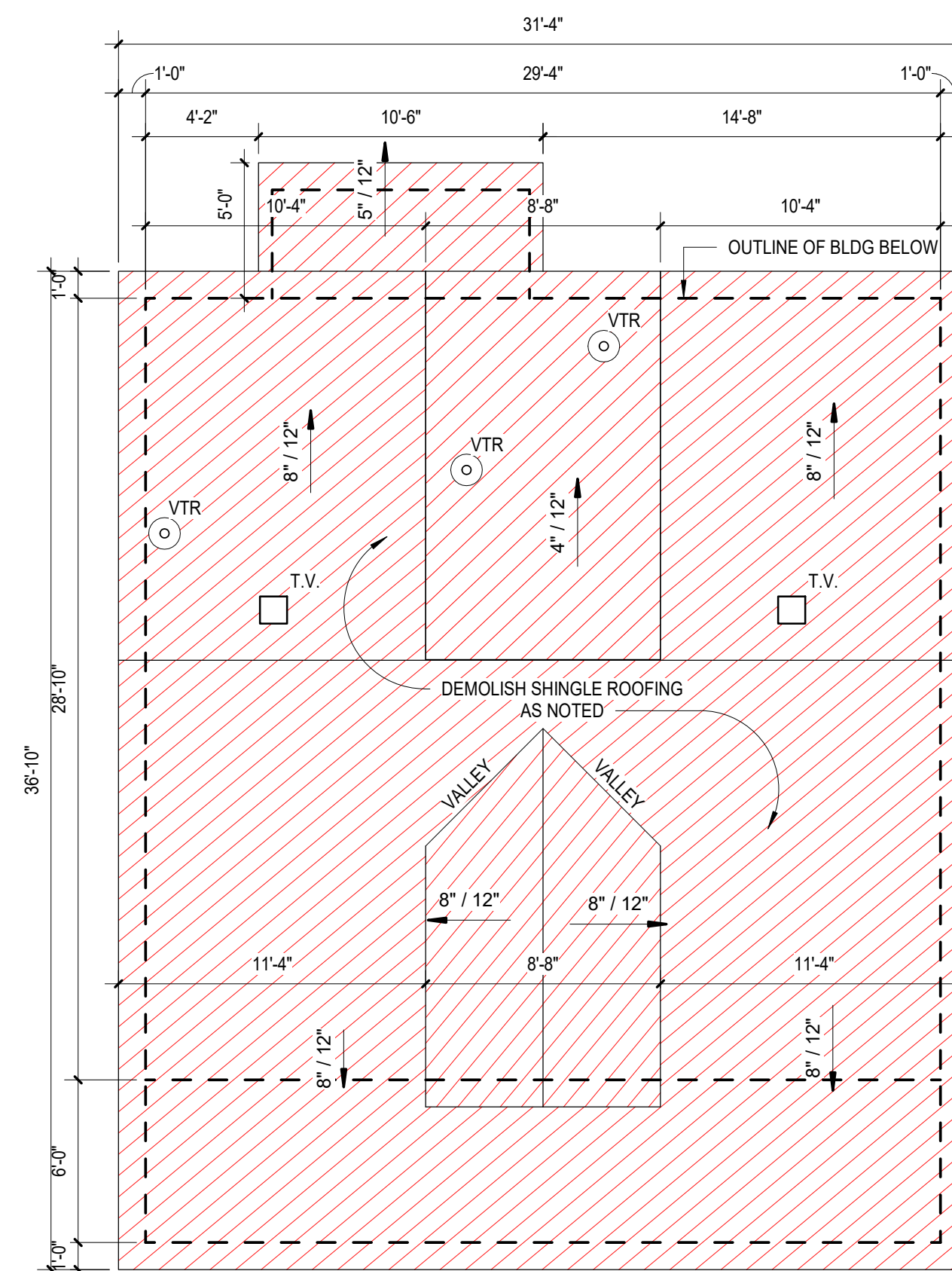
**SCOPE OF WORK BUILDING TYPE G1**  
**DEMOLITION NOTES**

1. THE FOLLOWING BUILDINGS ARE TYPE G1:
  - A. 399 HOPE STREET
  - B. 402 BRAUN STREET
  - C. 340 TRAWLER LANE
  - D. 353 AUGUSTE COURT
2. DEMOLITION SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
  - A. CONTRACTOR SHALL DEMOLISH ALL EXISTING SINGLE ROOFING MATERIAL.
  - B. CONTRACTOR SHALL DEMOLISH ALL EXISTING UNDERLAYMENTS.
  - C. CONTRACTOR SHALL DEMOLISH ALL PIPE BOOTS, CRICKETS AND OTHER PENETRATION FLASHINGS.
  - D. CONTRACTOR SHALL DEMOLISH ALL TURTLE VENTS, THEN PREP THE ROOF OPENING FOR NEW VENTS.
  - E. CONTRACTOR SHALL RETAIN IN PLACE ALL EXISTING VTR'S.
  - F. CONTRACTOR SHALL DEMOLISH ALL EAVE AND RAKE TRIM.
  - G. CONTRACTOR SHALL DEMOLISH ALL FLASHINGS AND COUNTER FLASHINGS NOT OTHERWISE NOTED TO REMAIN. EXISTING STEPPED THRU-WALL FLASHING SHALL REMAIN IN PLACE AND SHALL BE REUSED.
  - H. CONTRACTOR SHALL DEMOLISH 5% OF THE EXISTING 5/8" CDX ROOF DECK AREAS TO BE DEMOLISHED WILL BE DETERMINED BY THE ARCHITECT IN THE FIELD.
  - I. CONTRACTOR SHALL PREPARE THE DECK FOR NEW WORK.

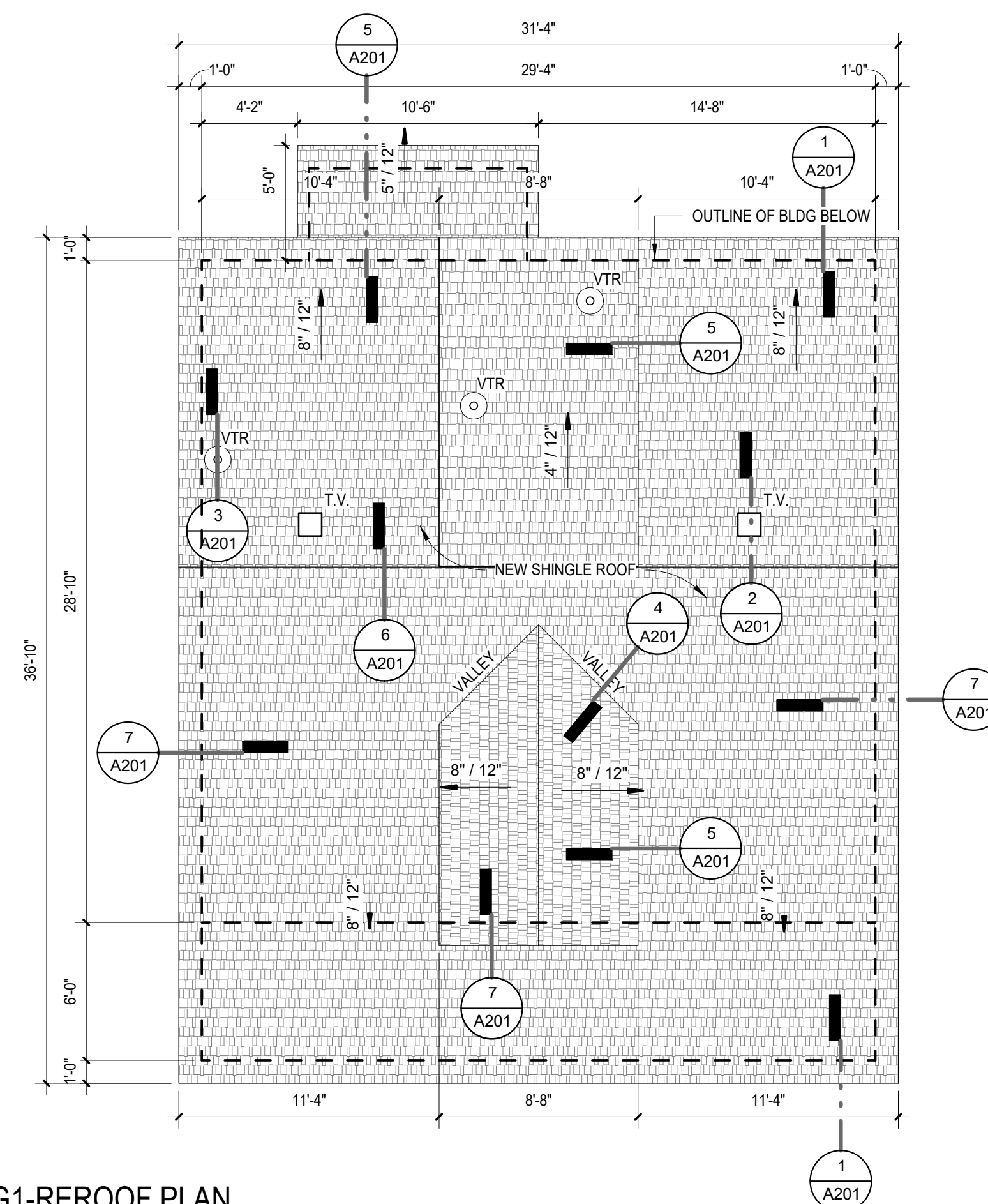
## SCOPE OF WORK BUILDING TYPE G1

1. THE FOLLOWING BUILDINGS ARE TYPE G1:
  - A. 399 HOPE STREET
  - B. 402 BRAUN STREET
  - C. 340 TRAWLER LANE
  - D. 353 AUGUSTE COURT
2. REROOF SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
  - A. CONTRACTOR SHALL PROVIDE AND INSTALL NEW 5/8" CDX ROOF DECK OVER 5/8" OF THE EXISTING DECK AREA, WHERE EXISTING DECK HAS BEEN DEMOLISHED.
  - B. CONTRACTOR SHALL PROVIDE AND INSTALL NEW UNDERLAYMENT AS SPECIFIED AND DETAILED.
  - C. CONTRACTOR SHALL PROVIDE AND INSTALL NEW FLASHING TENTS IN LOCATIONS DRAWN.
  - D. CONTRACTOR SHALL PROVIDE AND INSTALL NEW VENTING AT VTR'S.
  - E. CONTRACTOR SHALL PROVIDE AND INSTALL NEW ROOF SHINGLES AS SPECIFIED AND DETAILED.
  - F. CONTRACTOR SHALL PROVIDE AND INSTALL NEW RAKE AND EAVE TRIM.
  - G. CONTRACTOR SHALL PROVIDE AND INSTALL NEW COUNTERFLASHING AT THRU-WALL FLASHING.

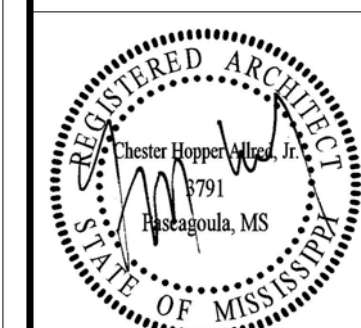
# TYPE G1



3 G1-DEMOLITION PLAN  
A104 3/16" = 1'-0"

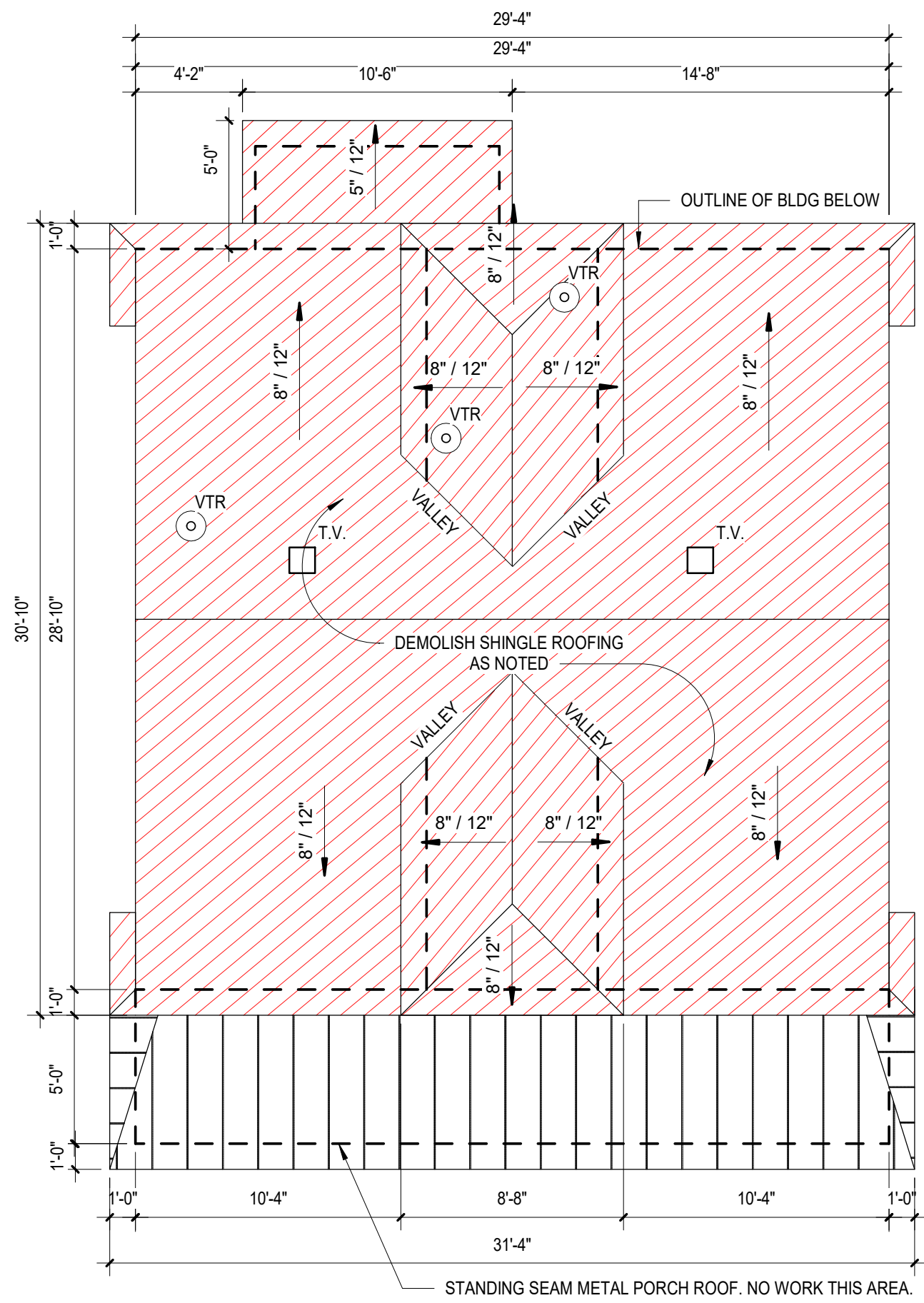


4 G1-REROOF PLAN  
A104 3/16" = 1'-0"

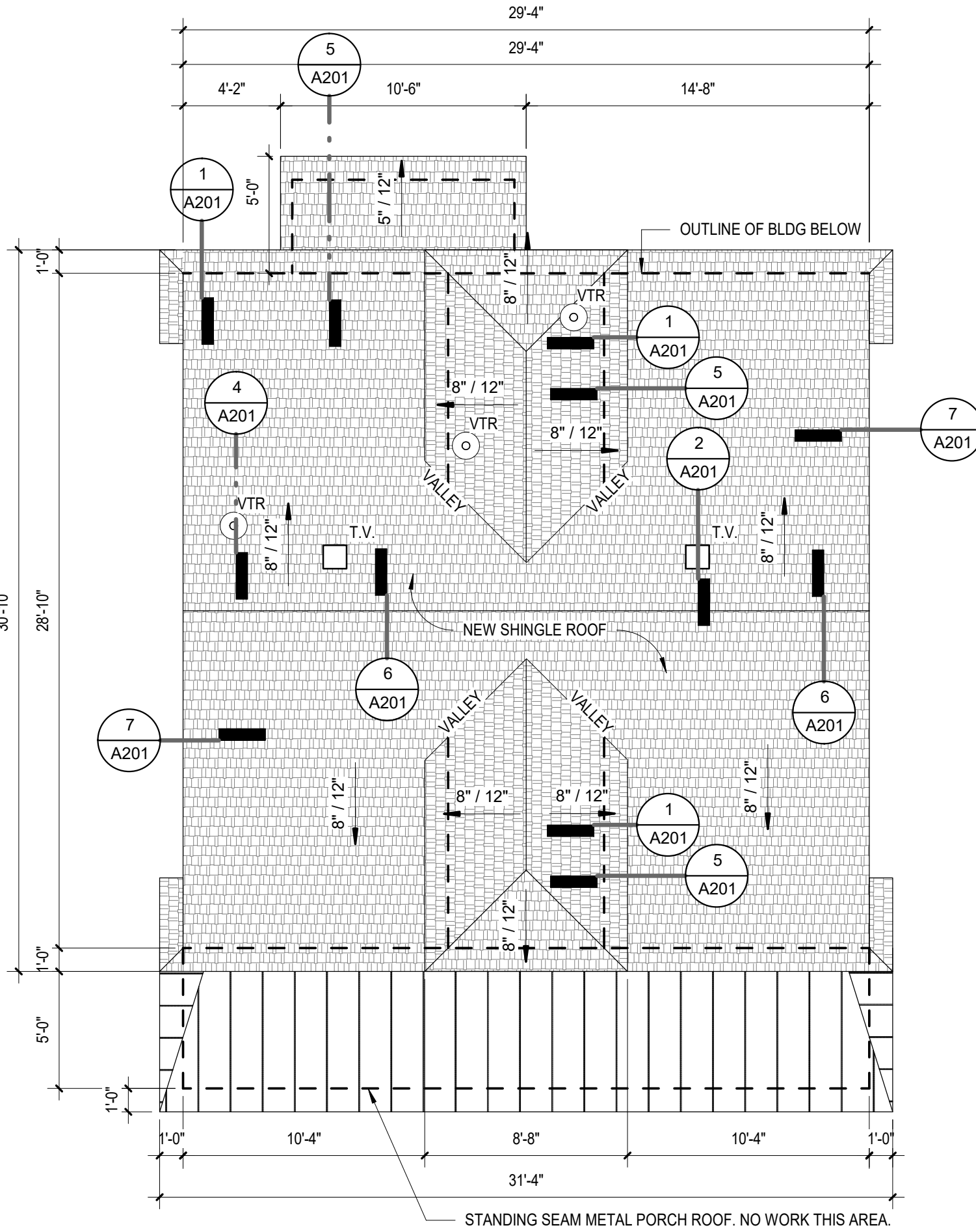




TYPE G2



3 G2-DEMOLITION PLAN  
3/16" = 1'-0"



4 G2-REROOF PLAN  
3/16" = 1'-0"

SCOPE OF WORK BUILDING TYPE G2  
DEMOLITION NOTES

- THE FOLLOWING BUILDINGS ARE TYPE G2:  
A. 336 TRAWLER LANE  
B. 394 AUGUSTE COURT  
C. 406 HOPE STREET
- THE FOLLOWING SCOPE OF WORK APPLIES ONLY TO AREAS WITH SHINGLE ROOFING. THE STANDING SEAM METAL PORCH ROOF, INCLUDING ALL EXISTING TRIM, FLASHING, UNDERLAYMENTS AND ACCESSORIES, IS EXISTING AND SHALL REMAIN.
- DEMOLITION SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:  
A. CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE ROOFING MATERIAL.  
B. CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE UNDERLAYMENTS.  
C. CONTRACTOR SHALL DEMOLISH ALL PIPE BOOTS, CRICKETS AND OTHER PENETRATION FLASHINGS.  
D. CONTRACTOR SHALL DEMOLISH ALL TURTLE VENTS, THEN PREP THE ROOF OPENING FOR NEW VENTS.  
E. CONTRACTOR SHALL RETAIN IN PLACE ALL EXISTING VTR'S.  
F. CONTRACTOR SHALL DEMOLISH ALL EAVE AND RAKE TRIM.  
G. CONTRACTOR SHALL DEMOLISH ALL FLASHINGS AND COUNTER FLASHINGS NOT OTHERWISE NOTED TO REMAIN. EXISTING THRU-WALL FLASHING SHALL REMAIN IN PLACE AND SHALL BE REUSED.  
H. CONTRACTOR SHALL DEMOLISH 5% OF THE EXISTING 5/8" CDX ROOF DECK. AREAS TO BE DEMOLISHED WILL BE DETERMINED BY THE ARCHITECT IN THE FIELD.  
I. CONTRACTOR SHALL PREPARE THE DECK FOR NEW WORK.

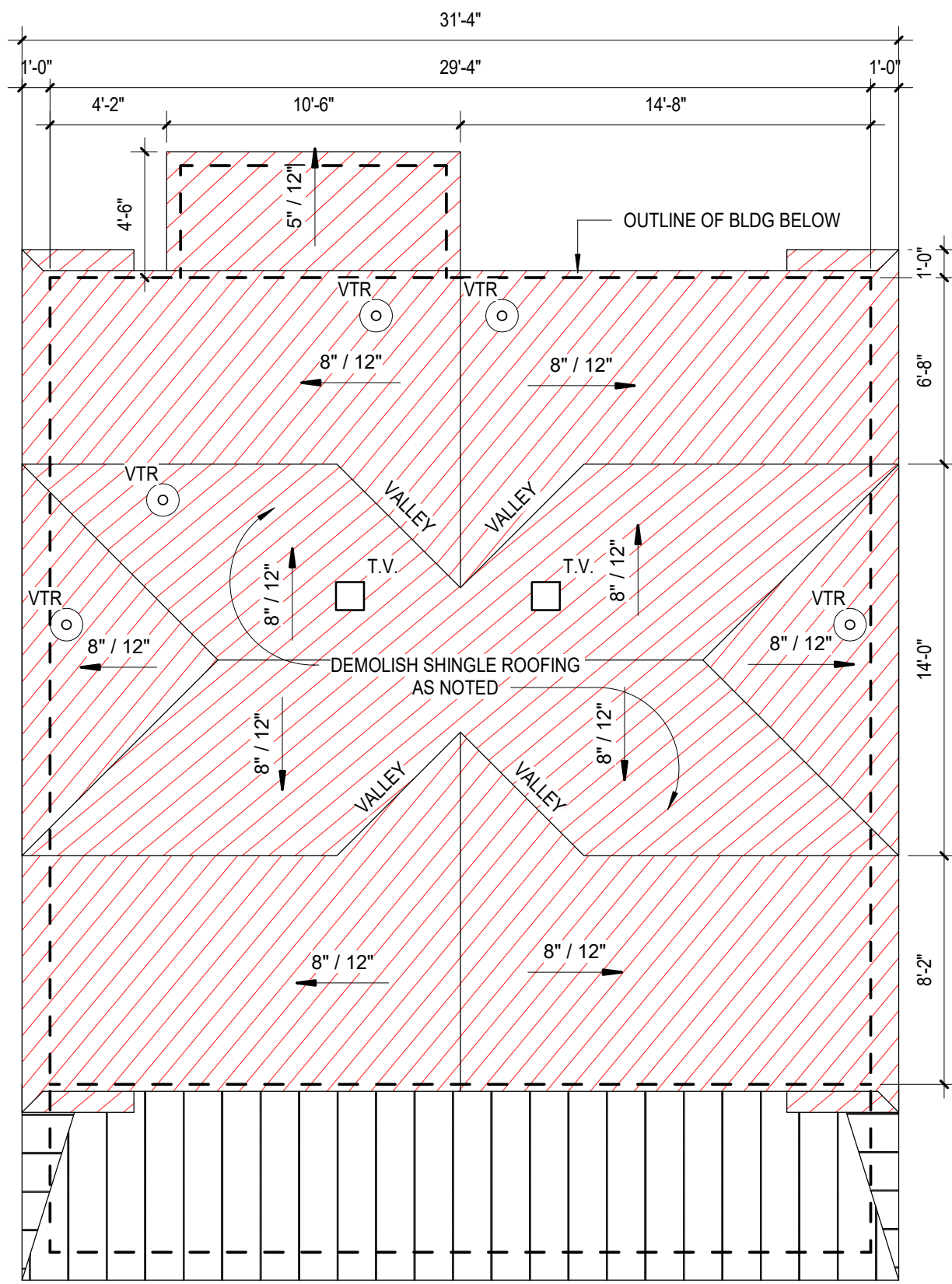
SCOPE OF WORK BUILDING TYPE G2  
REROOF NOTES

- THE FOLLOWING BUILDINGS ARE TYPE G2:  
A. 336 TRAWLER LANE  
B. 394 AUGUSTE COURT  
C. 406 HOPE STREET
- THE FOLLOWING SCOPE OF WORK APPLIES ONLY TO AREAS WITH SHINGLE ROOFING. THE STANDING SEAM METAL PORCH ROOF, INCLUDING ALL EXISTING TRIM, FLASHING, UNDERLAYMENTS AND ACCESSORIES, IS EXISTING AND SHALL REMAIN.
- REROOF SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:  
A. CONTRACTOR SHALL PROVIDE AND INSTALL NEW 5/8" CDX ROOF DECK OVER 5% OF THE EXISTING DECK AREA, WHERE EXISTING DECK HAS BEEN DEMOLISHED.  
B. CONTRACTOR SHALL PROVIDE AND INSTALL NEW UNDERLAYMENT AS SPECIFIED AND DETAILED.  
C. CONTRACTOR SHALL PROVIDE AND INSTALL NEW TURTLE VENTS IN LOCATIONS DRAWN.  
D. CONTRACTOR SHALL PROVIDE AND INSTALL NEW FLASHING AT VTR'S.  
E. CONTRACTOR SHALL PROVIDE AND INSTALL NEW ROOF SHINGLES AS SPECIFIED AND DETAILED.  
F. CONTRACTOR SHALL PROVIDE AND INSTALL NEW RAKE AND EAVE TRIM.  
G. CONTRACTOR SHALL PROVIDE AND INSTALL NEW COUNTERFLASHING / THRU-WALL FLASHING.

LEGEND

- DEMOLITION MARK
- NEW SHINGLES
- EXISTING STANDING SEAM METAL ROOF TO REMAIN (TYP PORCH ROOF)
- VTR - EXISTING VENT THRU ROOF TO REMAIN. PROVIDE NEW BOOT.
- T.V. - TURTLE VENT - EXISTING VENT TO BE DEMOLISHED. INSTALL NEW SPECIFIED VENT IN EXISTING LOCATION.

TYPE G3



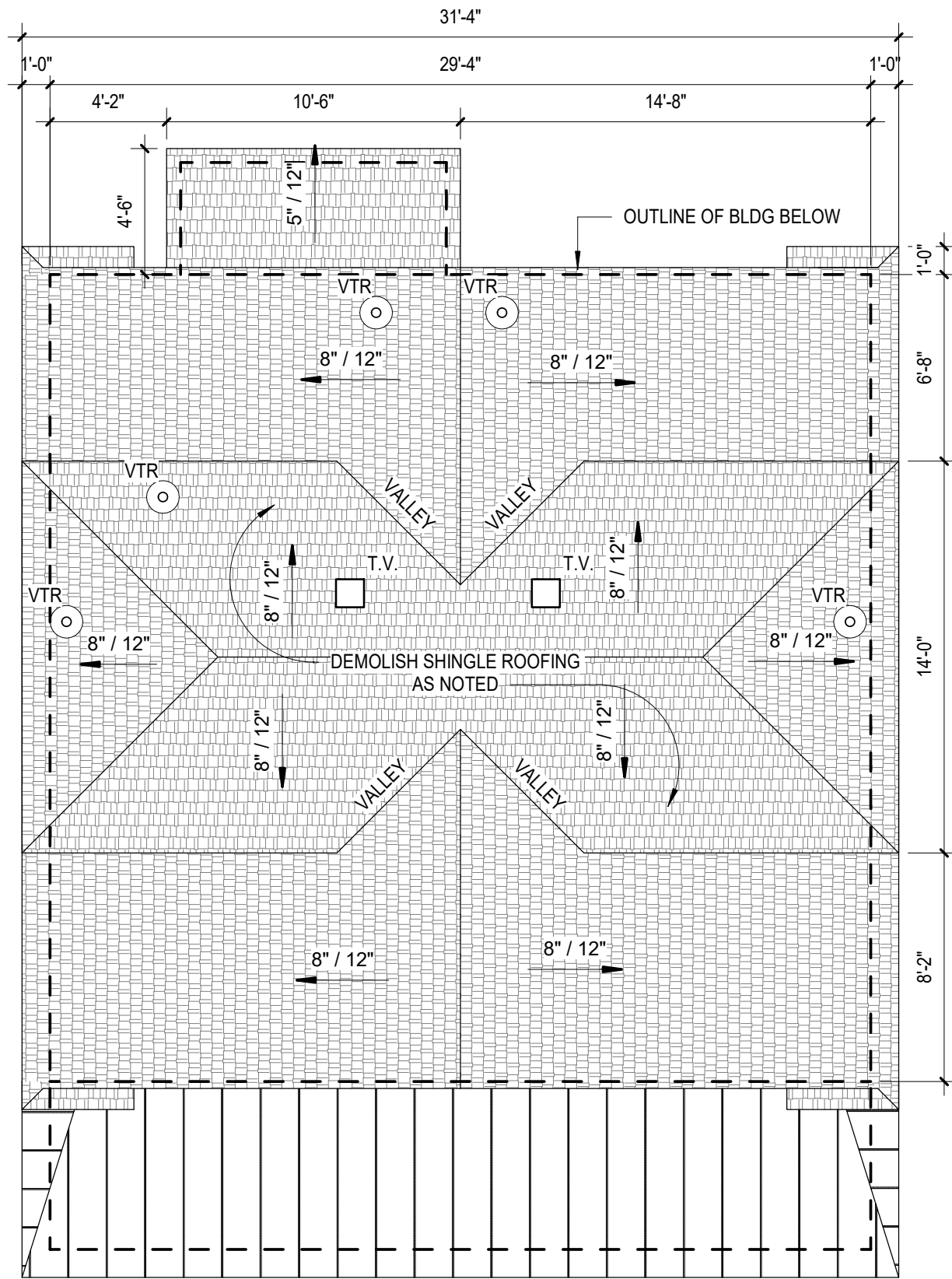
1 G3-DEMOLITION PLAN  
3/16" = 1'-0"

SCOPE OF WORK BUILDING TYPE G3  
DEMOLITION NOTES

- THE FOLLOWING BUILDINGS ARE TYPE G3:  
A. 344 TRAWLER LANE  
B. 357 AUGUSTE COURT  
C. 397 AUGUSTE COURT  
D. 392 BRAUN STREET  
E. 396 HOPE STREET
- THE FOLLOWING SCOPE OF WORK APPLIES ONLY TO AREAS WITH SHINGLE ROOFING. THE STANDING SEAM METAL PORCH ROOF, INCLUDING ALL EXISTING TRIM, FLASHING, UNDERLAYMENTS AND ACCESSORIES, IS EXISTING AND SHALL REMAIN.
- DEMOLITION SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:  
A. CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE ROOFING MATERIAL.  
B. CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE UNDERLAYMENTS.  
C. CONTRACTOR SHALL DEMOLISH ALL PIPE BOOTS, CRICKETS AND OTHER PENETRATION FLASHINGS.  
D. CONTRACTOR SHALL DEMOLISH ALL TURTLE VENTS, THEN PREP THE ROOF OPENING FOR NEW VENTS.  
E. CONTRACTOR SHALL RETAIN IN PLACE ALL EXISTING VTR'S.  
F. CONTRACTOR SHALL DEMOLISH ALL EAVE AND RAKE TRIM.  
G. CONTRACTOR SHALL DEMOLISH ALL FLASHINGS AND COUNTER FLASHINGS NOT OTHERWISE NOTED TO REMAIN. EXISTING THRU-WALL FLASHING SHALL REMAIN IN PLACE AND SHALL BE REUSED.  
H. CONTRACTOR SHALL DEMOLISH 5% OF THE EXISTING 5/8" CDX ROOF DECK. AREAS TO BE DEMOLISHED WILL BE DETERMINED BY THE ARCHITECT IN THE FIELD.  
I. CONTRACTOR SHALL PREPARE THE DECK FOR NEW WORK.

SCOPE OF WORK BUILDING TYPE G3  
REROOF NOTES

- THE FOLLOWING BUILDINGS ARE TYPE G3:  
A. 344 TRAWLER LANE  
B. 357 AUGUSTE COURT  
C. 397 AUGUSTE COURT  
D. 392 BRAUN STREET  
E. 396 HOPE STREET
- THE FOLLOWING SCOPE OF WORK APPLIES ONLY TO AREAS WITH SHINGLE ROOFING. THE STANDING SEAM METAL PORCH ROOF, INCLUDING ALL EXISTING TRIM, FLASHING, UNDERLAYMENTS AND ACCESSORIES, IS EXISTING AND SHALL REMAIN.
- REROOF SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:  
A. CONTRACTOR SHALL PROVIDE AND INSTALL NEW 5/8" CDX ROOF DECK OVER 5% OF THE EXISTING DECK AREA, WHERE EXISTING DECK HAS BEEN DEMOLISHED.  
B. CONTRACTOR SHALL PROVIDE AND INSTALL NEW UNDERLAYMENT AS SPECIFIED AND DETAILED.  
C. CONTRACTOR SHALL PROVIDE AND INSTALL NEW TURTLE VENTS IN LOCATIONS DRAWN.  
D. CONTRACTOR SHALL PROVIDE AND INSTALL NEW FLASHING AT VTR'S.  
E. CONTRACTOR SHALL PROVIDE AND INSTALL NEW ROOF SHINGLES AS SPECIFIED AND DETAILED.  
F. CONTRACTOR SHALL PROVIDE AND INSTALL NEW RAKE AND EAVE TRIM.  
G. CONTRACTOR SHALL PROVIDE AND INSTALL NEW COUNTERFLASHING / THRU-WALL FLASHING.



2 G3-REROOF PLAN  
3/16" = 1'-0"

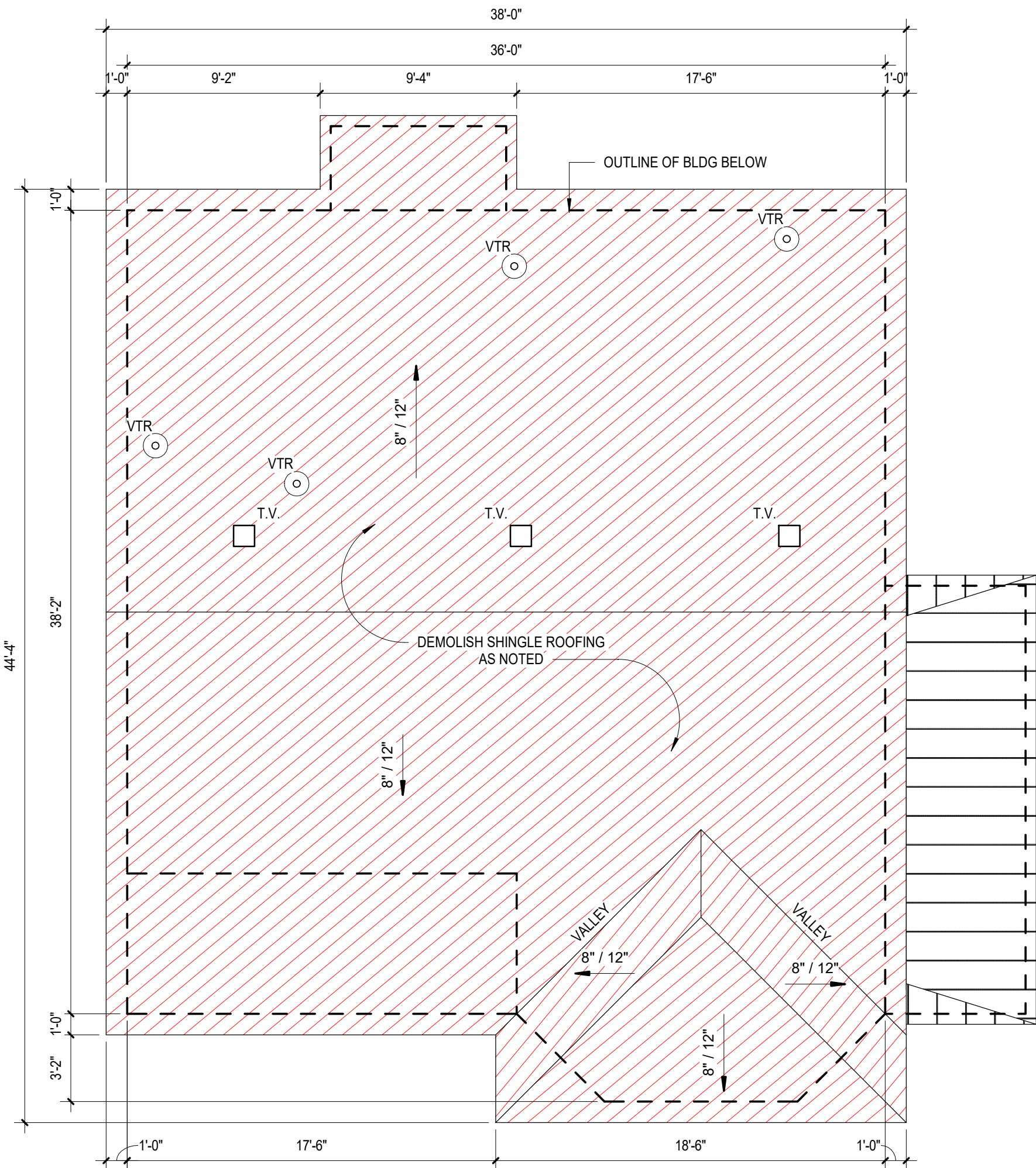




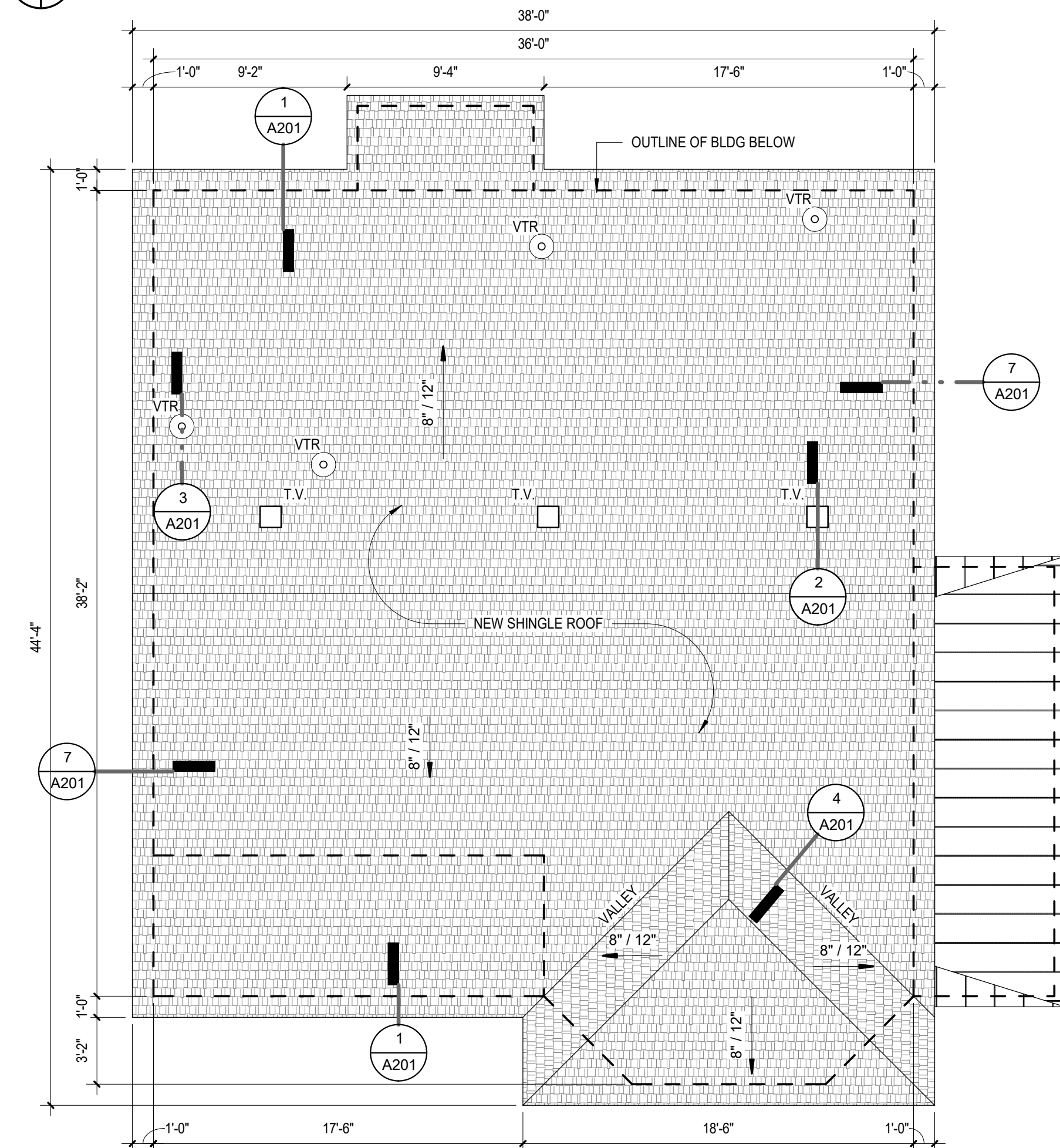




# TYPE H3



1 H3-DEMOLITION PLAN  
3/16" = 1'-0"



2 H3-REROOF PLAN  
3/16" = 1'-0"

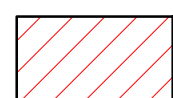
## SCOPE OF WORK BUILDING TYPE H3 DEMOLITION NOTES

- THE FOLLOWING BUILDINGS ARE TYPE H3:  
A. 388 BRAUN STREET  
B. 403 HOPE STREET  
C. 405 DR GILBERT MASON  
D. 369 AUGUSTE COURT  
E. 346 TRAWLER LANE
- THE FOLLOWING SCOPE OF WORK APPLIES ONLY TO AREAS WITH SHINGLE ROOFING. THE STANDING SEAM METAL PORCH ROOF, INCLUDING ALL EXISTING TRIM, FLASHING, UNDERLAYMENTS AND ACCESSORIES, IS EXISTING AND SHALL REMAIN.
- DEMOLITION SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:  
A. CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE ROOFING MATERIAL.  
B. CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE UNDERLAYMENTS.  
C. CONTRACTOR SHALL DEMOLISH ALL PIPE BOOTS, CRICKETS AND OTHER PENETRATION FLASHINGS.  
D. CONTRACTOR SHALL DEMOLISH ALL TURTLE VENTS, THEN PREP THE ROOF OPENING FOR NEW VENTS.  
E. CONTRACTOR SHALL RETAIN IN PLACE ALL EXISTING VTR'S.  
F. CONTRACTOR SHALL DEMOLISH ALL EAVE AND RAKE TRIM.  
G. CONTRACTOR SHALL DEMOLISH ALL FLASHINGS AND COUNTER FLASHINGS NOT OTHERWISE NOTED TO REMAIN. EXISTING THRU-WALL FLASHING SHALL REMAIN IN PLACE AND SHALL BE REUSED.  
H. CONTRACTOR SHALL DEMOLISH 5% OF THE EXISTING 5/8" CDX ROOF DECK. AREAS TO BE DEMOLISHED WILL BE DETERMINED BY THE ARCHITECT IN THE FIELD.  
I. CONTRACTOR SHALL PREPARE THE DECK FOR NEW WORK.

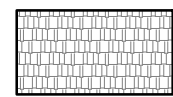
## SCOPE OF WORK BUILDING TYPE H3 REROOF NOTES

- THE FOLLOWING BUILDINGS ARE TYPE H3:  
A. 388 BRAUN STREET  
B. 403 HOPE STREET  
C. 405 DR GILBERT MASON  
D. 369 AUGUSTE COURT  
E. 346 TRAWLER LANE
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B. CONTRACTOR SHALL PROVIDE AND INSTALL NEW UNDERLAYMENT AS SPECIFIED AND DETAILED.  
C. CONTRACTOR SHALL PROVIDE AND INSTALL NEW TURTLE VENTS IN LOCATIONS DRAWN.  
D. CONTRACTOR SHALL PROVIDE AND INSTALL NEW FLASHING AT VTR'S.  
E. CONTRACTOR SHALL PROVIDE AND INSTALL NEW ROOF SHINGLES AS SPECIFIED AND DETAILED.  
F. CONTRACTOR SHALL PROVIDE AND INSTALL NEW RAKE AND EAVE TRIM.  
G. CONTRACTOR SHALL PROVIDE AND INSTALL NEW COUNTERFLASHING / THRU-WALL FLASHING.

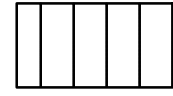
### LEGEND



DEMOLITION MARK



NEW SHINGLES



EXISTING STANDING SEAM METAL ROOF TO REMAIN (TYP PORCH ROOF)

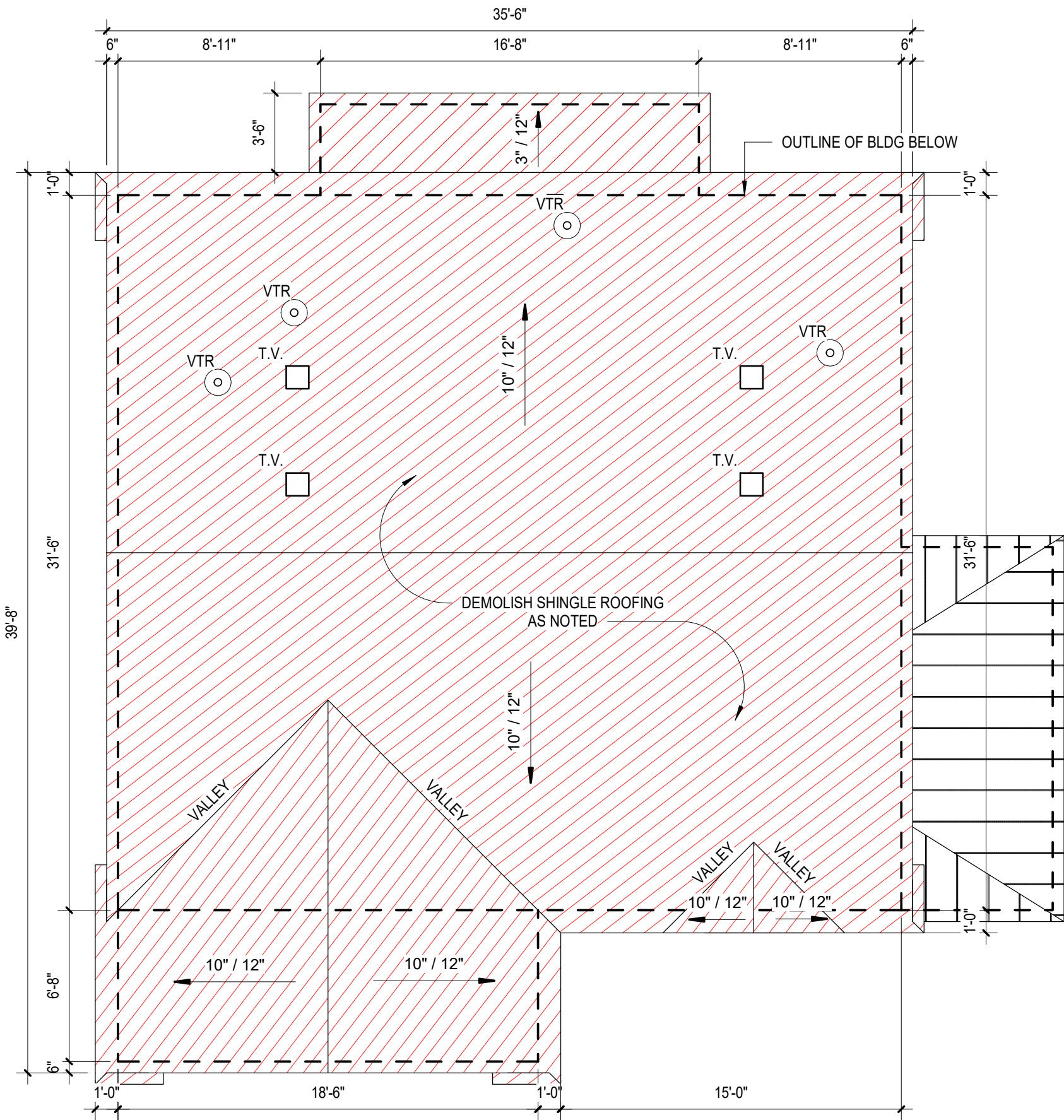


VTR - EXISTING VENT THRU ROOF TO REMAIN. PROVIDE NEW BOOT.

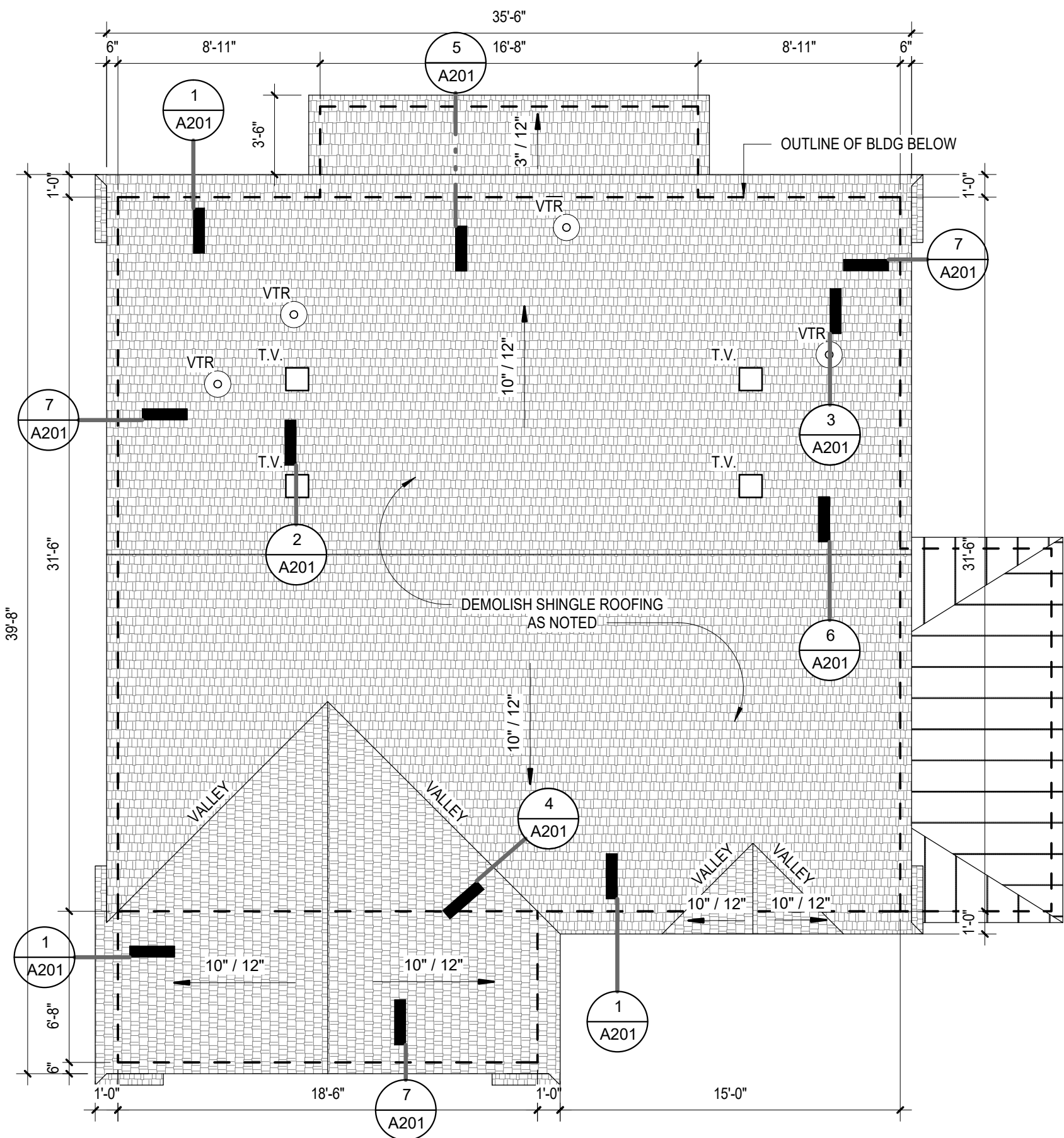


TURTLE VENT - EXISTING VENT TO BE DEMOLISHED. INSTALL NEW SPECIFIED VENT IN EXISTING LOCATION.

# TYPE I1



3 I1-DEMOLITION PLAN  
3/16" = 1'-0"



4 I1-REROOF PLAN  
3/16" = 1'-0"

## SCOPE OF WORK BUILDING TYPE I1 DEMOLITION NOTES

- THE FOLLOWING BUILDINGS ARE TYPE I1:  
A. 400 HOPE STREET  
B. 334 TRAWLER LANE  
C. 383 AUGUSTE COURT
- THE FOLLOWING SCOPE OF WORK APPLIES ONLY TO AREAS WITH SHINGLE ROOFING. THE STANDING SEAM METAL PORCH ROOF, INCLUDING ALL EXISTING TRIM, FLASHING, UNDERLAYMENTS AND ACCESSORIES, IS EXISTING AND SHALL REMAIN.
- DEMOLITION SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:  
A. CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE ROOFING MATERIAL.  
B. CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE UNDERLAYMENTS.  
C. CONTRACTOR SHALL DEMOLISH ALL PIPE BOOTS, CRICKETS AND OTHER PENETRATION FLASHINGS.  
D. CONTRACTOR SHALL DEMOLISH ALL TURTLE VENTS, THEN PREP THE ROOF OPENING FOR NEW VENTS.  
E. CONTRACTOR SHALL RETAIN IN PLACE ALL EXISTING VTR'S.  
F. CONTRACTOR SHALL DEMOLISH ALL EAVE AND RAKE TRIM.  
G. CONTRACTOR SHALL DEMOLISH ALL FLASHINGS AND COUNTER FLASHINGS NOT OTHERWISE NOTED TO REMAIN. EXISTING THRU-WALL FLASHING SHALL REMAIN IN PLACE AND SHALL BE REUSED.  
H. CONTRACTOR SHALL DEMOLISH 5% OF THE EXISTING 5/8" CDX ROOF DECK. AREAS TO BE DEMOLISHED WILL BE DETERMINED BY THE ARCHITECT IN THE FIELD.  
I. CONTRACTOR SHALL PREPARE THE DECK FOR NEW WORK.

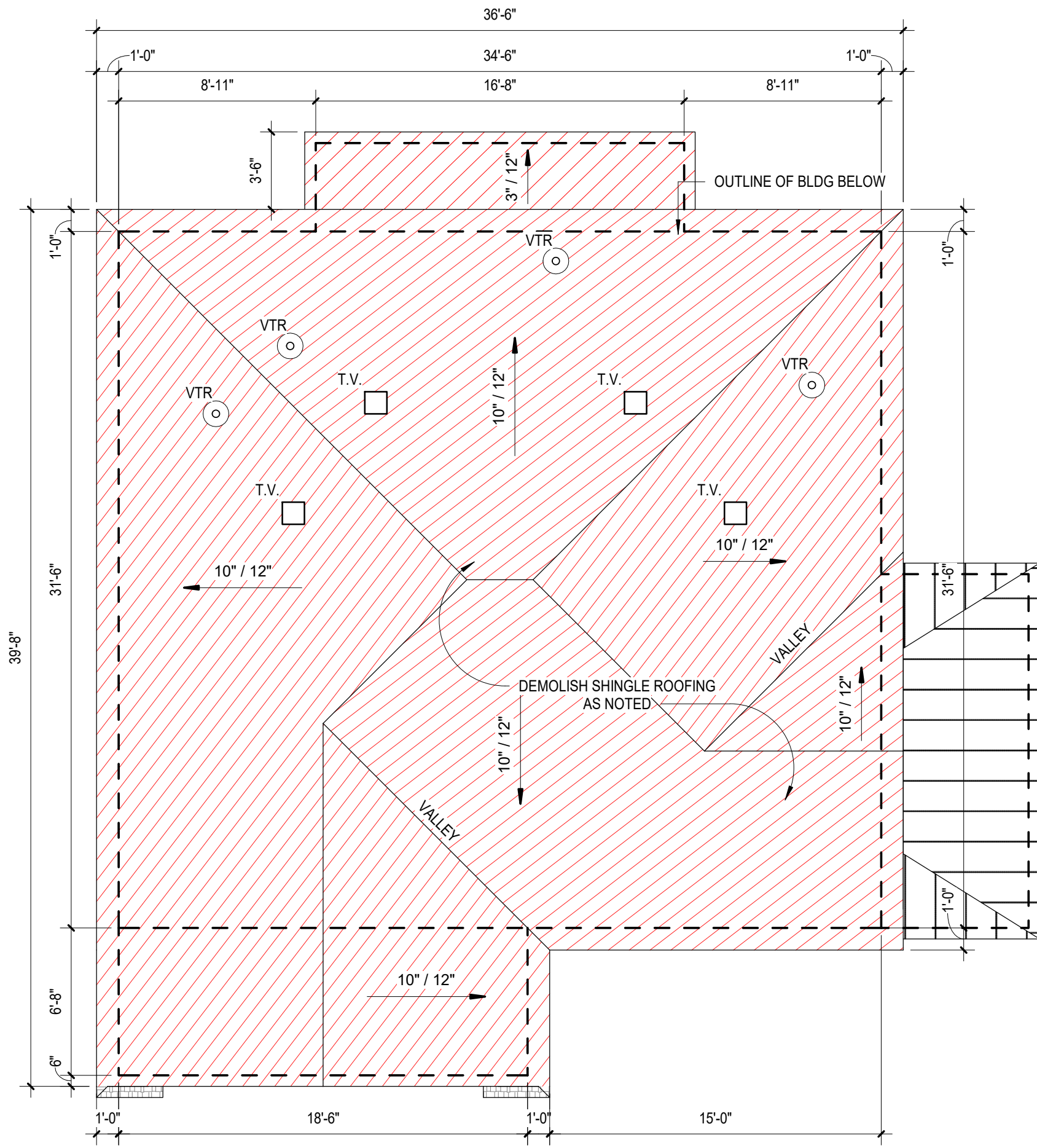
## SCOPE OF WORK BUILDING TYPE I1 REROOF NOTES

- THE FOLLOWING BUILDINGS ARE TYPE I1:  
A. 400 HOPE STREET  
B. 334 TRAWLER LANE  
C. 383 AUGUSTE COURT
- THE FOLLOWING SCOPE OF WORK APPLIES ONLY TO AREAS WITH SHINGLE ROOFING. THE STANDING SEAM METAL PORCH ROOF, INCLUDING ALL EXISTING TRIM, FLASHING, UNDERLAYMENTS AND ACCESSORIES, IS EXISTING AND SHALL REMAIN.
- REROOF SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:  
A. CONTRACTOR SHALL PROVIDE AND INSTALL NEW 5/8" CDX ROOF DECK OVER 5% OF THE EXISTING DECK AREA, WHERE EXISTING DECK HAS BEEN DEMOLISHED.  
B. CONTRACTOR SHALL PROVIDE AND INSTALL NEW UNDERLAYMENT AS SPECIFIED AND DETAILED.  
C. CONTRACTOR SHALL PROVIDE AND INSTALL NEW TURTLE VENTS IN LOCATIONS DRAWN.  
D. CONTRACTOR SHALL PROVIDE AND INSTALL NEW FLASHING AT VTR'S.  
E. CONTRACTOR SHALL PROVIDE AND INSTALL NEW ROOF SHINGLES AS SPECIFIED AND DETAILED.  
F. CONTRACTOR SHALL PROVIDE AND INSTALL NEW RAKE AND EAVE TRIM.  
G. CONTRACTOR SHALL PROVIDE AND INSTALL NEW COUNTERFLASHING / THRU-WALL FLASHING.





TYPE I2



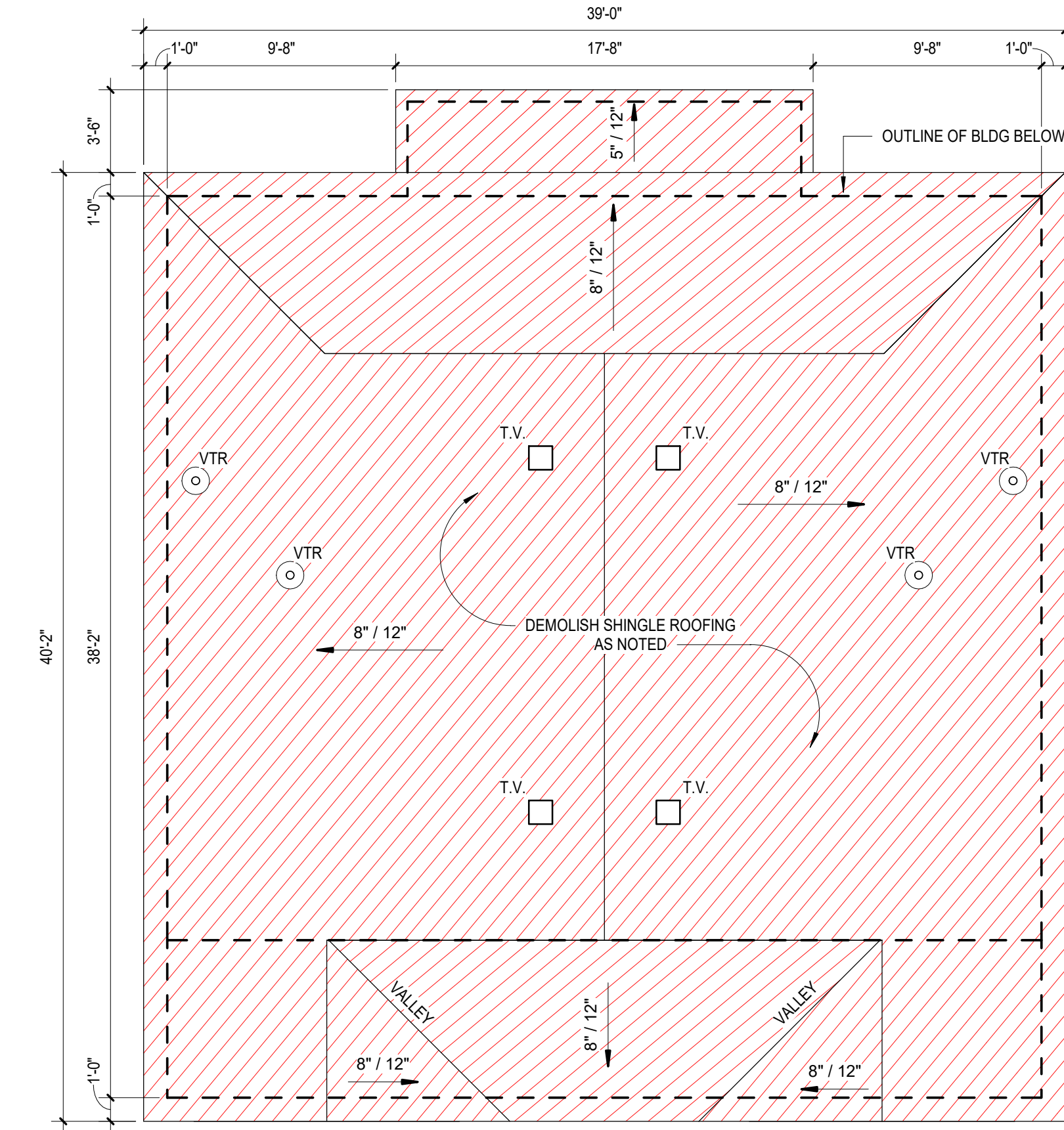
SCOPE OF WORK BUILDING TYPE I2  
DEMOLITION NOTES

- THE FOLLOWING BUILDINGS ARE TYPE I2:  
A. 420 BRAUN STREET  
B. 391 DR GILBERT MASON  
C. 342 TRAWLER LANE
- THE FOLLOWING SCOPE OF WORK APPLIES ONLY TO AREAS WITH SHINGLE ROOFING. THE STANDING SEAM METAL PORCH ROOF, INCLUDING ALL EXISTING TRIM, FLASHING, UNDERLAYMENTS AND ACCESSORIES, IS EXISTING AND SHALL REMAIN.
- DEMOLITION SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:  
A. CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE ROOFING MATERIAL.  
B. CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE UNDERLAYMENTS.  
C. CONTRACTOR SHALL DEMOLISH ALL PIPE BOOTS, CRICKETS AND OTHER PENETRATION FLASHINGS.  
D. CONTRACTOR SHALL DEMOLISH ALL TURTLE VENTS, THEN PREP THE ROOF OPENING FOR NEW VENTS.  
E. CONTRACTOR SHALL RETAIN IN PLACE ALL EXISTING VTR'S.  
F. CONTRACTOR SHALL DEMOLISH ALL FLASHINGS AND COUNTER FLASHINGS NOT OTHERWISE NOTED TO REMAIN. EXISTING THRU-WALL FLASHING SHALL REMAIN IN PLACE AND SHALL BE REUSED.  
G. CONTRACTOR SHALL DEMOLISH 5% OF THE EXISTING 5/8" CDX ROOF DECK. AREAS TO BE DEMOLISHED WILL BE DETERMINED BY THE ARCHITECT IN THE FIELD.  
H. CONTRACTOR SHALL PREPARE THE DECK FOR NEW WORK.

SCOPE OF WORK BUILDING TYPE J1  
DEMOLITION NOTES

- THE FOLLOWING BUILDINGS ARE TYPE J1:  
A. 401 DR GILBERT MASON  
B. 426 DR GILBERT MASON  
C. 448 DR GILBERT MASON  
D. 460 DR GILBERT MASON  
E. 398 BRAUN STREET  
F. 345 AUGUSTE COURT
- THE FOLLOWING SCOPE OF WORK APPLIES ONLY TO AREAS WITH SHINGLE ROOFING. THE STANDING SEAM METAL PORCH ROOF, INCLUDING ALL EXISTING TRIM, FLASHING, UNDERLAYMENTS AND ACCESSORIES, IS EXISTING AND SHALL REMAIN.
- DEMOLITION SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:  
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F. CONTRACTOR SHALL DEMOLISH ALL EAVE AND RAKE TRIM.  
G. CONTRACTOR SHALL DEMOLISH ALL FLASHINGS AND COUNTER FLASHINGS NOT OTHERWISE NOTED TO REMAIN. EXISTING THRU-WALL FLASHING SHALL REMAIN IN PLACE AND SHALL BE REUSED.  
H. CONTRACTOR SHALL DEMOLISH 5% OF THE EXISTING 5/8" CDX ROOF DECK. AREAS TO BE DEMOLISHED WILL BE DETERMINED BY THE ARCHITECT IN THE FIELD.  
I. CONTRACTOR SHALL PREPARE THE DECK FOR NEW WORK.

TYPE J1



3 J1-DEMOLITION PLAN  
3/16" = 1'-0"

SCOPE OF WORK BUILDING TYPE I2  
REROOF NOTES

- THE FOLLOWING BUILDINGS ARE TYPE I2:  
A. 420 BRAUN STREET  
B. 391 DR GILBERT MASON  
C. 342 TRAWLER LANE
- THE FOLLOWING SCOPE OF WORK APPLIES ONLY TO AREAS WITH SHINGLE ROOFING. THE STANDING SEAM METAL PORCH ROOF, INCLUDING ALL EXISTING TRIM, FLASHING, UNDERLAYMENTS AND ACCESSORIES, IS EXISTING AND SHALL REMAIN.
- REROOF SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:  
A. CONTRACTOR SHALL PROVIDE AND INSTALL NEW 5/8" CDX ROOF DECK OVER 5% OF THE EXISTING DECK AREA, WHERE EXISTING DECK HAS BEEN DEMOLISHED.  
B. CONTRACTOR SHALL PROVIDE AND INSTALL NEW UNDERLAYMENT AS SPECIFIED AND DETAILED.  
C. CONTRACTOR SHALL PROVIDE AND INSTALL NEW TURTLE VENTS IN LOCATIONS DRAWN.  
D. CONTRACTOR SHALL PROVIDE AND INSTALL NEW FLASHING AT VTR'S.  
E. CONTRACTOR SHALL PROVIDE AND INSTALL NEW ROOF SHINGLES AS SPECIFIED AND DETAILED.  
F. CONTRACTOR SHALL PROVIDE AND INSTALL NEW RAKE AND EAVE TRIM.  
G. CONTRACTOR SHALL PROVIDE AND INSTALL NEW COUNTERFLASHING / THRU-WALL FLASHING.

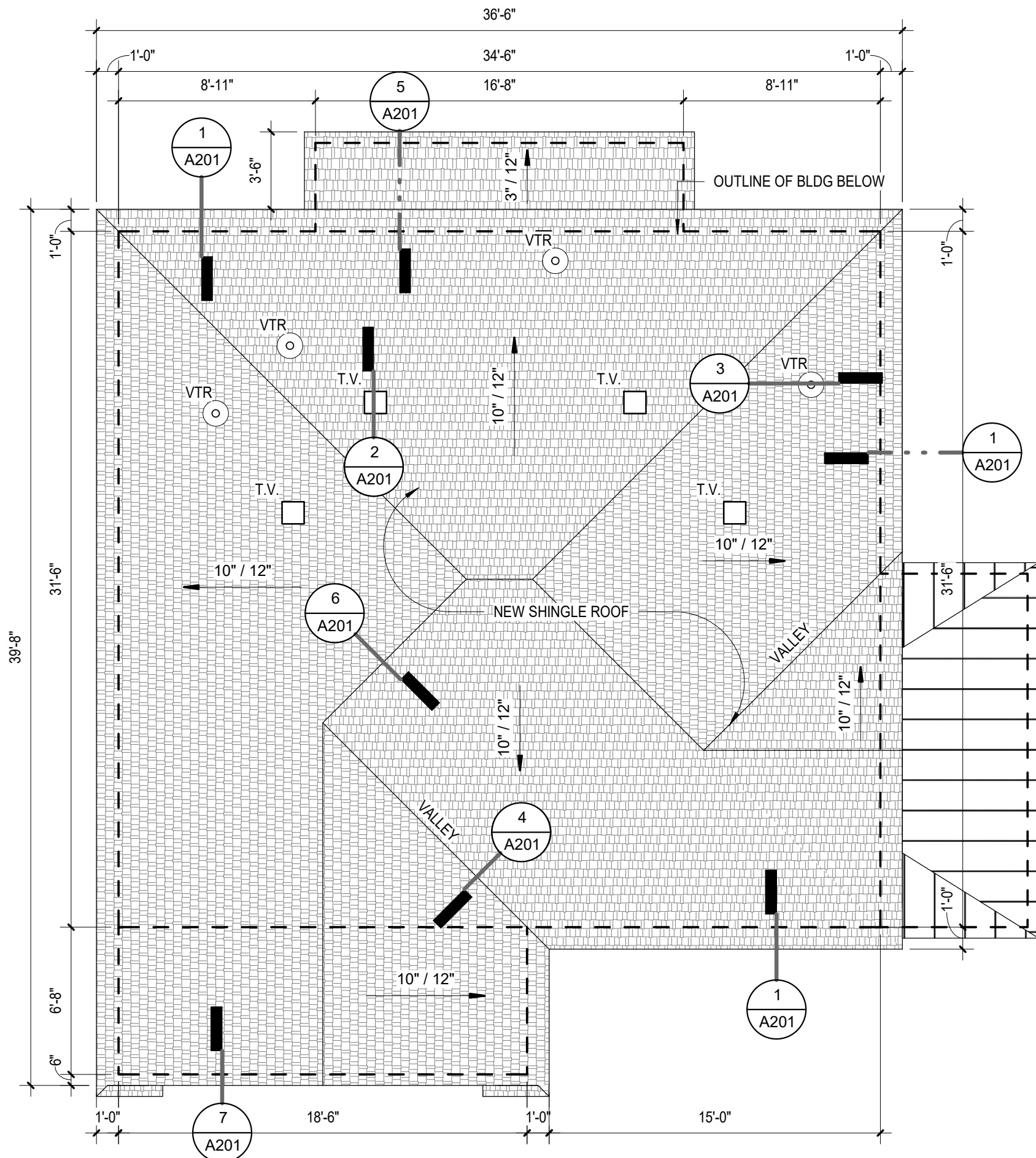
SCOPE OF WORK BUILDING TYPE J1  
REROOF NOTES

- THE FOLLOWING BUILDINGS ARE TYPE J1:  
A. 401 DR GILBERT MASON  
B. 426 DR GILBERT MASON  
C. 448 DR GILBERT MASON  
D. 460 DR GILBERT MASON  
E. 398 BRAUN STREET  
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- THE FOLLOWING SCOPE OF WORK APPLIES ONLY TO AREAS WITH SHINGLE ROOFING. THE STANDING SEAM METAL PORCH ROOF, INCLUDING ALL EXISTING TRIM, FLASHING, UNDERLAYMENTS AND ACCESSORIES, IS EXISTING AND SHALL REMAIN.
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F. CONTRACTOR SHALL PROVIDE AND INSTALL NEW RAKE AND EAVE TRIM.  
G. CONTRACTOR SHALL PROVIDE AND INSTALL NEW COUNTERFLASHING / THRU-WALL FLASHING.

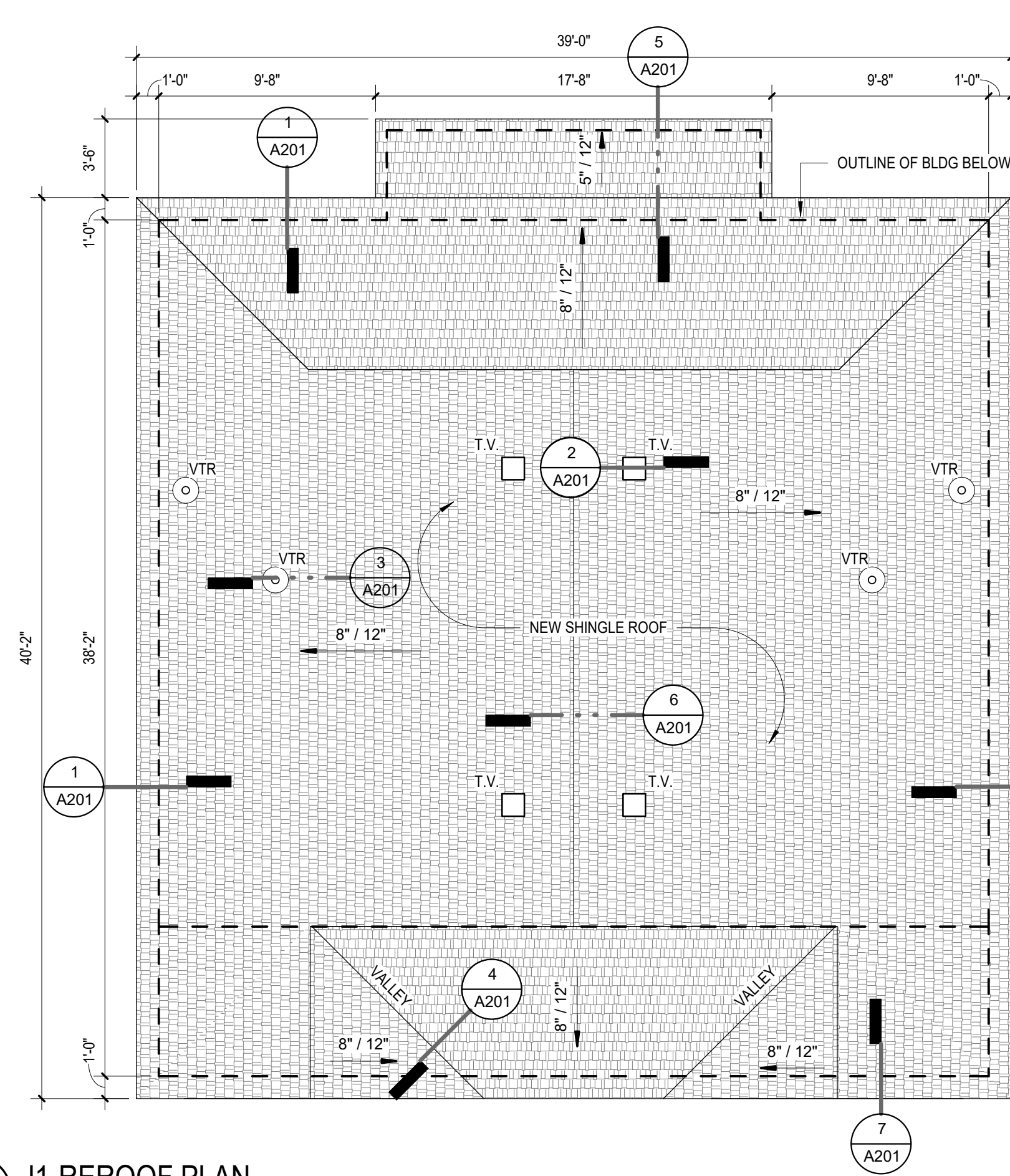
LEGEND

- DEMOLITION MARK
- NEW SHINGLES
- EXISTING STANDING SEAM METAL ROOF TO REMAIN (TYP PORCH ROOF)
- VTR - EXISTING VENT THRU ROOF TO REMAIN. PROVIDE NEW BOOT.
- T.V. - TURTLE VENT - EXISTING VENT TO BE DEMOLISHED. INSTALL NEW SPECIFIED VENT IN EXISTING LOCATION.

1 I2-DEMOLITION PLAN  
3/16" = 1'-0"



2 I2-REROOF PLAN  
3/16" = 1'-0"



4 J1-REROOF PLAN  
3/16" = 1'-0"

TYPES I2 & J1 - DEMOLITION AND REROOF PLANS

IFB#RRP03.21 BHA ROOF REPLACEMENT PROJECT - HURRICANE

ZETA REPAIRS - VOLUME 8 - BAYVIEW PLACE

BILOXI HOUSING AUTHORITY

330 BENACHI AVENUE BILOXI, MS 39530

JOB NUMBER  
2021-23

DATE  
02/28/2021

REVISION  
SCN

DRAWN BY  
SCN

CHECKED BY  
HA



SHEET

A108

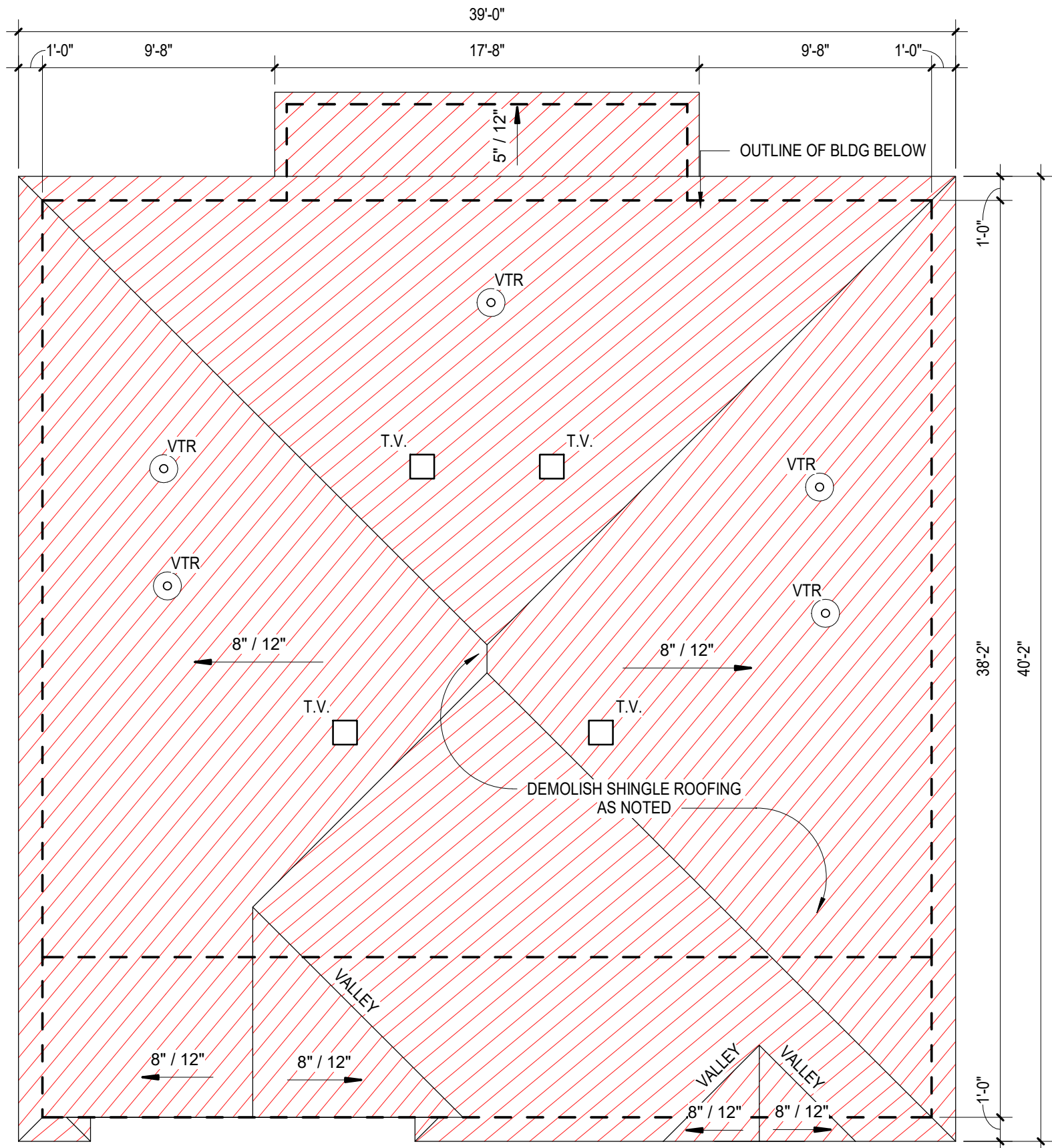
711 Church Street  
Ocean Springs, MS 39564

alred  
stolarski  
architects

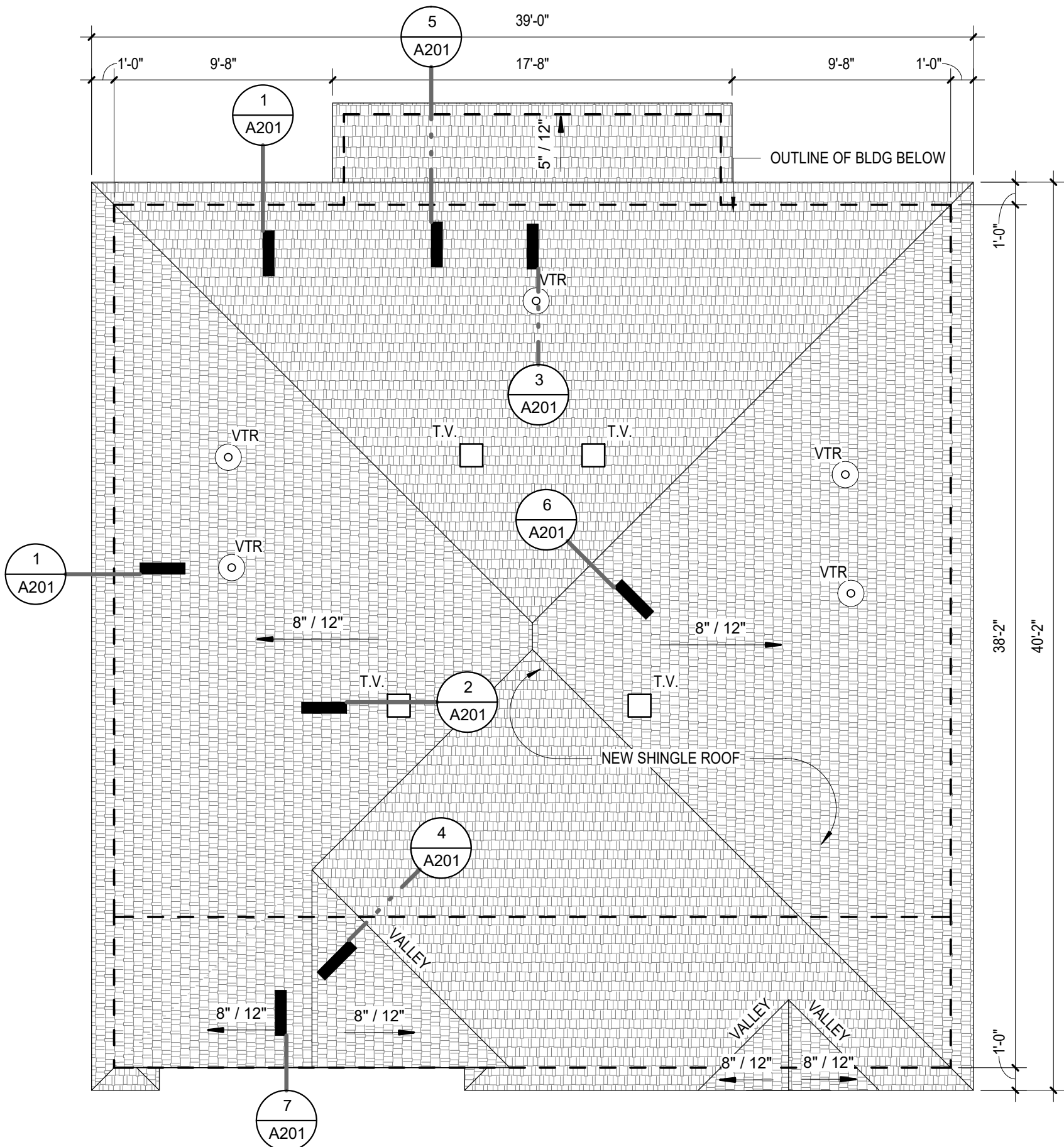
Phone: (228) 762-1975  
Email: [contact@alredstolarski.com](mailto:contact@alredstolarski.com)



TYPE J2



1 J2-DEMOLITION PLAN  
3/16" = 1'-0"



2 J2-REROOF PLAN  
3/16" = 1'-0"

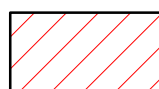
SCOPE OF WORK BUILDING TYPE J2  
DEMOLITION NOTES

- THE FOLLOWING BUILDINGS ARE TYPE J2:  
A. 410 BRAUN STREET  
B. 395 HOPE STREET  
C. 440 DR GILBERT MASON  
D. 470 DR GILBERT MASON  
E. 626 ROY STREET
- THE FOLLOWING SCOPE OF WORK APPLIES ONLY TO AREAS WITH SHINGLE ROOFING. THE STANDING SEAM METAL PORCH ROOF, INCLUDING ALL EXISTING TRIM, FLASHING, UNDERLAYMENTS AND ACCESSORIES, IS EXISTING AND SHALL REMAIN.
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D. CONTRACTOR SHALL DEMOLISH ALL TURTLE VENTS, THEN PREP THE ROOF OPENING FOR NEW VENTS.  
E. CONTRACTOR SHALL RETAIN IN PLACE ALL EXISTING VTR'S.  
F. CONTRACTOR SHALL DEMOLISH ALL EAVE AND RAKE TRIM.  
G. CONTRACTOR SHALL DEMOLISH ALL FLASHINGS AND COUNTER FLASHINGS NOT OTHERWISE NOTED TO REMAIN. EXISTING THRU-WALL FLASHING SHALL REMAIN IN PLACE AND SHALL BE REUSED.  
H. CONTRACTOR SHALL DEMOLISH 5% OF THE EXISTING 5/8" CDX ROOF DECK. AREAS TO BE DEMOLISHED WILL BE DETERMINED BY THE ARCHITECT IN THE FIELD.  
I. CONTRACTOR SHALL PREPARE THE DECK FOR NEW WORK.

SCOPE OF WORK BUILDING TYPE J2  
REROOF NOTES

- THE FOLLOWING BUILDINGS ARE TYPE J2:  
A. 410 BRAUN STREET  
B. 395 HOPE STREET  
C. 440 DR GILBERT MASON  
D. 470 DR GILBERT MASON  
E. 626 ROY STREET
- THE FOLLOWING SCOPE OF WORK APPLIES ONLY TO AREAS WITH SHINGLE ROOFING. THE STANDING SEAM METAL PORCH ROOF, INCLUDING ALL EXISTING TRIM, FLASHING, UNDERLAYMENTS AND ACCESSORIES, IS EXISTING AND SHALL REMAIN.
- REROOF SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:  
A. CONTRACTOR SHALL PROVIDE AND INSTALL NEW 5/8" CDX ROOF DECK OVER 5% OF THE EXISTING DECK AREA, WHERE EXISTING DECK HAS BEEN DEMOLISHED.  
B. CONTRACTOR SHALL PROVIDE AND INSTALL NEW UNDERLAYMENT AS SPECIFIED AND DETAILED.  
C. CONTRACTOR SHALL PROVIDE AND INSTALL NEW TURTLE VENTS IN LOCATIONS DRAWN.  
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E. CONTRACTOR SHALL PROVIDE AND INSTALL NEW ROOF SHINGLES AS SPECIFIED AND DETAILED.  
F. CONTRACTOR SHALL PROVIDE AND INSTALL NEW RAKE AND EAVE TRIM.  
G. CONTRACTOR SHALL PROVIDE AND INSTALL NEW COUNTERFLASHING / THRU-WALL FLASHINGS.

LEGEND



DEMOLITION MARK



NEW SHINGLES



EXISTING STANDING SEAM METAL ROOF TO REMAIN (TYP PORCH ROOF)

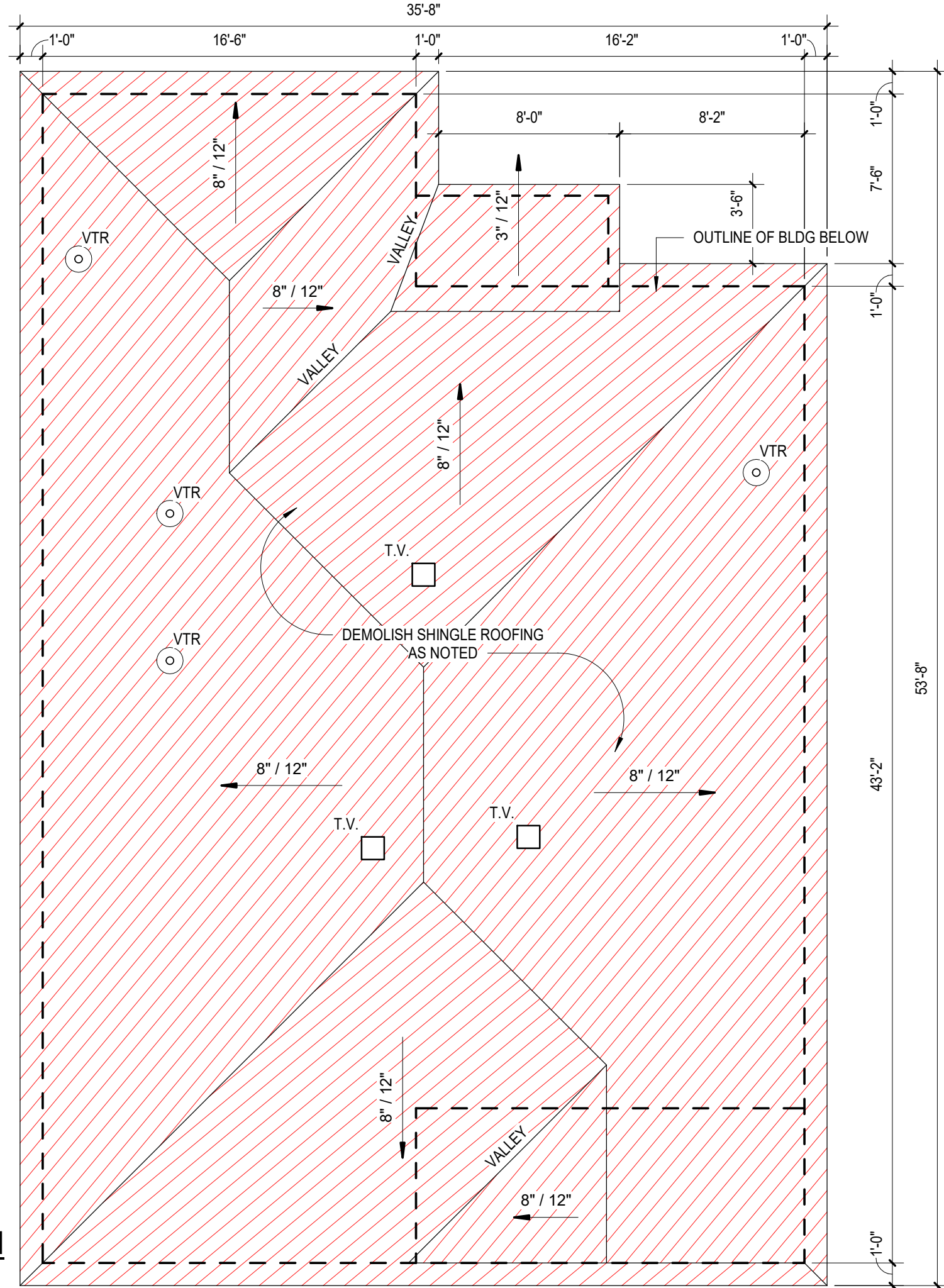


VTR - EXISTING VENT THRU ROOF TO REMAIN. PROVIDE NEW BOOT.

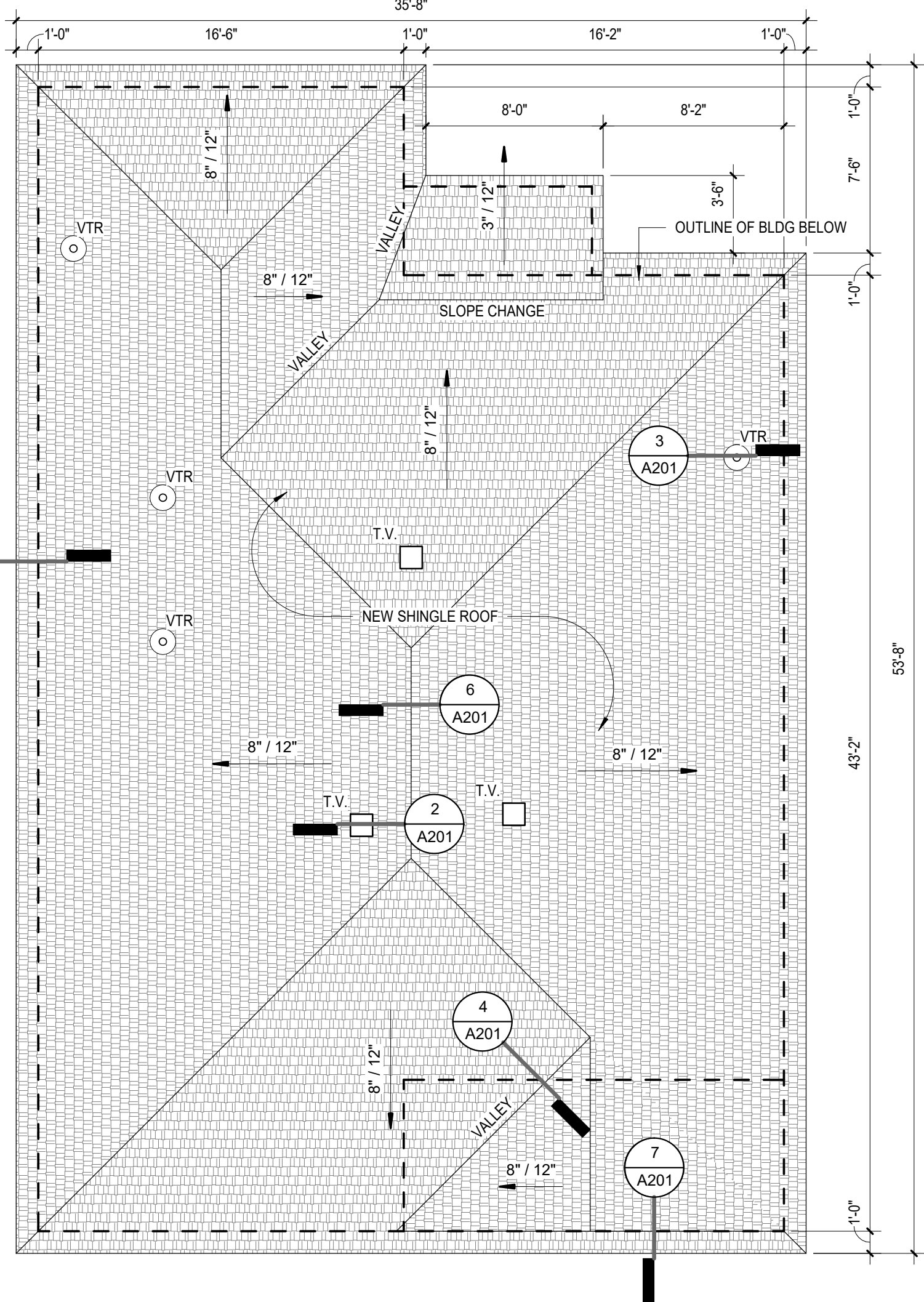


T.V. - TURTLE VENT - EXISTING VENT TO BE DEMOLISHED. INSTALL NEW SPECIFIED VENT IN EXISTING LOCATION.

TYPE K1



3 K1-DEMOLITION PLAN  
3/16" = 1'-0"



4 K1-REROOF PLAN  
3/16" = 1'-0"

SCOPE OF WORK BUILDING TYPE K1  
DEMOLITION NOTES

- THE FOLLOWING BUILDINGS ARE TYPE K1:  
A. 381 AUGUSTE COURT
- THE FOLLOWING SCOPE OF WORK APPLIES ONLY TO AREAS WITH SHINGLE ROOFING. THE STANDING SEAM METAL PORCH ROOF, INCLUDING ALL EXISTING TRIM, FLASHING, UNDERLAYMENTS AND ACCESSORIES, IS EXISTING AND SHALL REMAIN.
- DEMOLITION SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:  
A. CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE ROOFING MATERIAL.  
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D. CONTRACTOR SHALL DEMOLISH ALL TURTLE VENTS, THEN PREP THE ROOF OPENING FOR NEW VENTS.  
E. CONTRACTOR SHALL RETAIN IN PLACE ALL EXISTING VTR'S.  
F. CONTRACTOR SHALL DEMOLISH ALL EAVE AND RAKE TRIM.  
G. CONTRACTOR SHALL DEMOLISH ALL FLASHINGS AND COUNTER FLASHINGS NOT OTHERWISE NOTED TO REMAIN. EXISTING THRU-WALL FLASHING SHALL REMAIN IN PLACE AND SHALL BE REUSED.  
H. CONTRACTOR SHALL DEMOLISH 5% OF THE EXISTING 5/8" CDX ROOF DECK. AREAS TO BE DEMOLISHED WILL BE DETERMINED BY THE ARCHITECT IN THE FIELD.  
I. CONTRACTOR SHALL PREPARE THE DECK FOR NEW WORK.

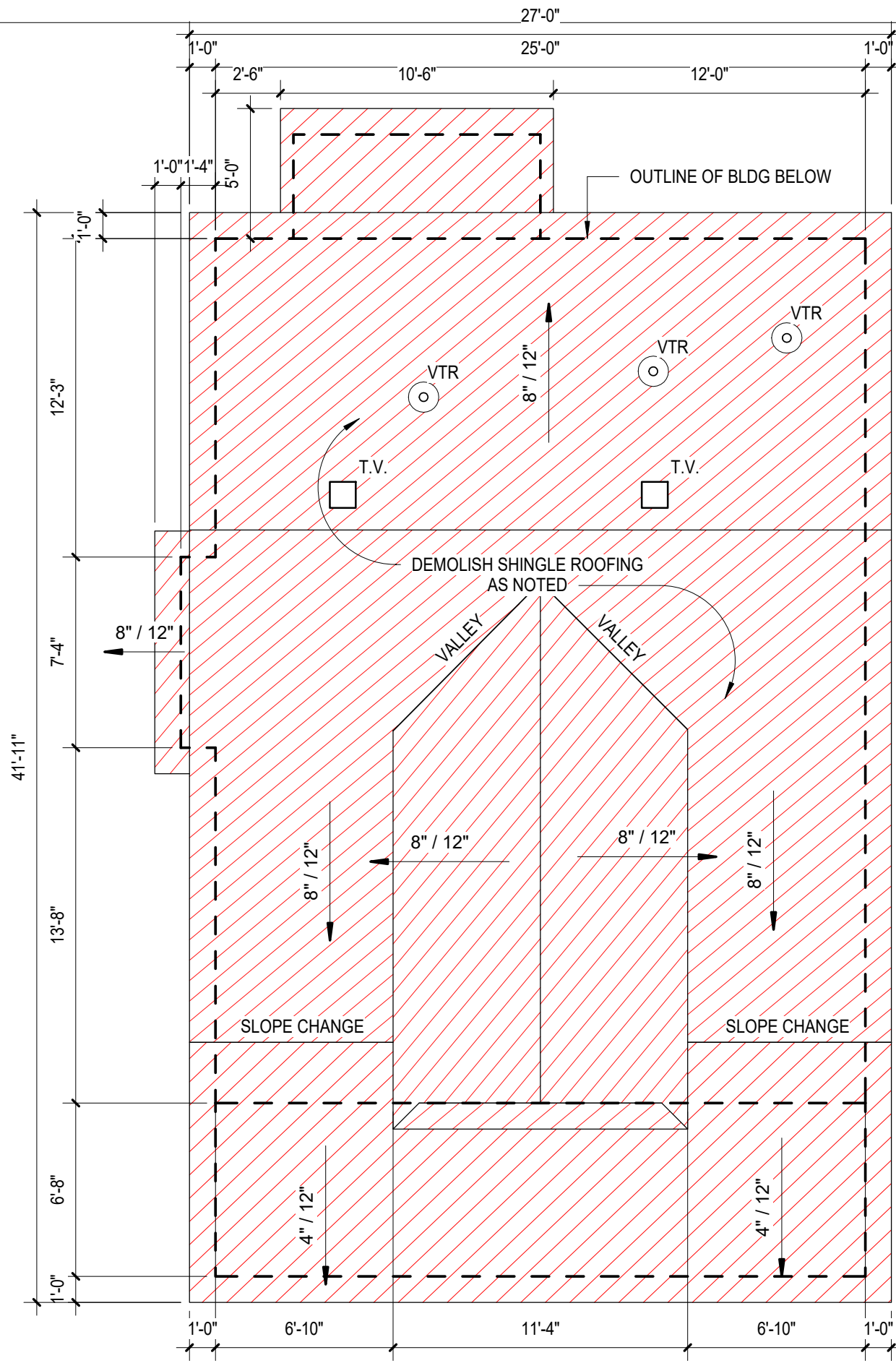
SCOPE OF WORK BUILDING TYPE K1  
REROOF NOTES

- THE FOLLOWING BUILDINGS ARE TYPE K1:  
A. 381 AUGUSTE COURT
- THE FOLLOWING SCOPE OF WORK APPLIES ONLY TO AREAS WITH SHINGLE ROOFING. THE STANDING SEAM METAL PORCH ROOF, INCLUDING ALL EXISTING TRIM, FLASHING, UNDERLAYMENTS AND ACCESSORIES, IS EXISTING AND SHALL REMAIN.
- REROOF SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:  
A. CONTRACTOR SHALL PROVIDE AND INSTALL NEW 5/8" CDX ROOF DECK OVER 5% OF THE EXISTING DECK AREA, WHERE EXISTING DECK HAS BEEN DEMOLISHED.  
B. CONTRACTOR SHALL PROVIDE AND INSTALL NEW UNDERLAYMENT AS SPECIFIED AND DETAILED.  
C. CONTRACTOR SHALL PROVIDE AND INSTALL NEW TURTLE VENTS IN LOCATIONS DRAWN.  
D. CONTRACTOR SHALL PROVIDE AND INSTALL NEW FLASHING AT VTR'S.  
E. CONTRACTOR SHALL PROVIDE AND INSTALL NEW ROOF SHINGLES AS SPECIFIED AND DETAILED.  
F. CONTRACTOR SHALL PROVIDE AND INSTALL NEW RAKE AND EAVE TRIM.  
G. CONTRACTOR SHALL PROVIDE AND INSTALL NEW COUNTERFLASHING / THRU-WALL FLASHING.

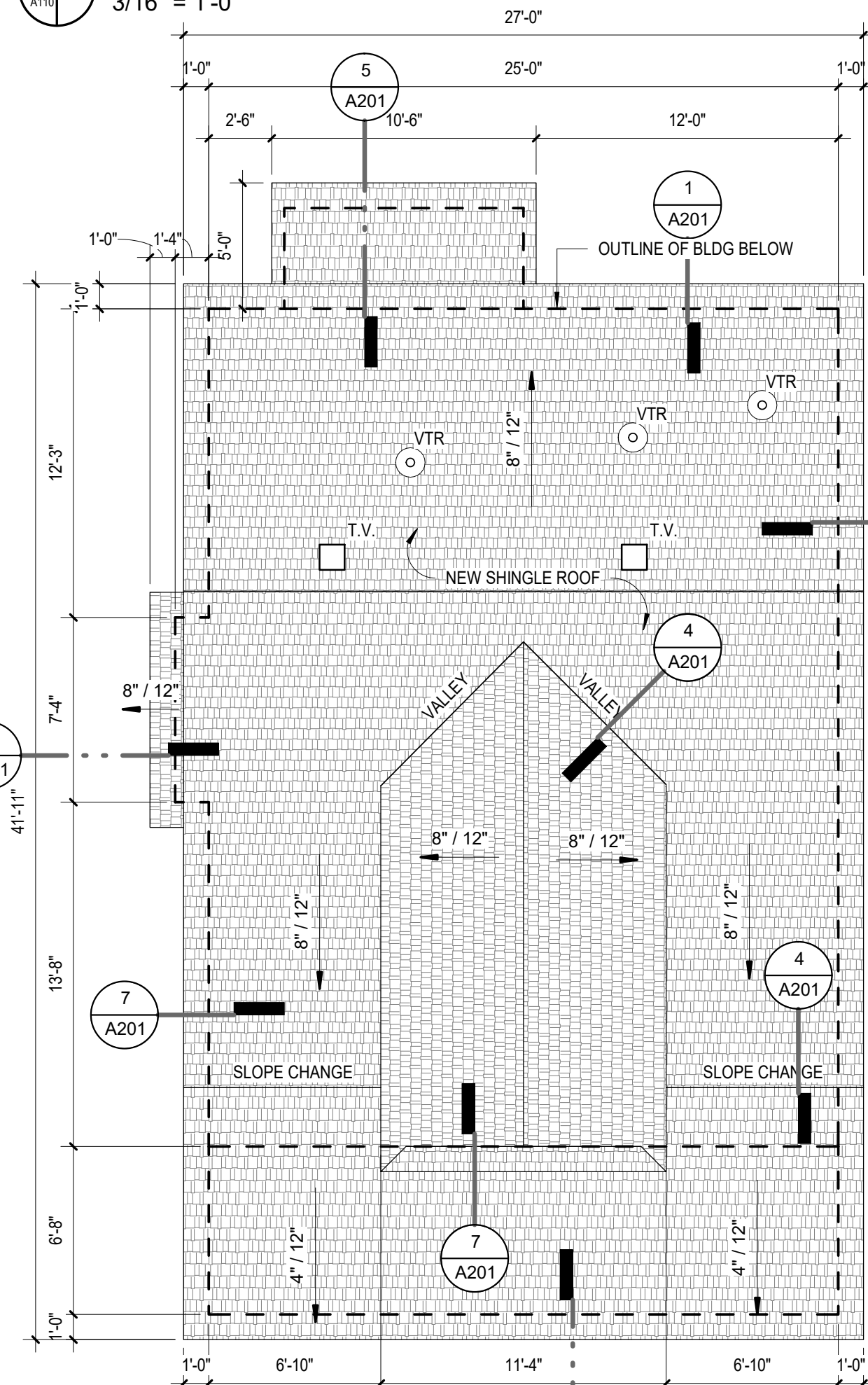




TYPE L1



1 L1-DEMOLITION PLAN  
3/16" = 1'-0"



2 L1-REROOF PLAN  
3/16" = 1'-0"

SCOPE OF WORK BUILDING TYPE L1  
DEMOLITION NOTES

- THE FOLLOWING BUILDINGS ARE TYPE L1:
  - 333 AUGUSTE COURT
  - 337 AUGUSTE COURT \*NOTE THIS BUILDING SHALL HAVE PRIORITY SCHEDULING
  - 395 AUGUSTE COURT
  - 415 HOPE STREET
- DEMOLITION SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
  - CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE ROOFING MATERIAL.
  - CONTRACTOR SHALL DEMOLISH ALL EXISTING UNDERLAYMENTS.
  - CONTRACTOR SHALL DEMOLISH ALL PIPE BOOTS, CRICKETS AND OTHER PENETRATION FLASHINGS.
  - CONTRACTOR SHALL DEMOLISH ALL TURBINE VENTS, ASSOCIATED CRICKETS AND CURBS, THEN ABANDON THE PENETRATION AND PATCH THE DECK.
  - CONTRACTOR SHALL DEMOLISH ALL TURTLE VENTS, THEN PREP THE ROOF OPENING FOR NEW VENTS.
  - CONTRACTOR SHALL RETAIN IN PLACE ALL EXISTING VTR'S.
  - CONTRACTOR SHALL DEMOLISH ALL EAVE AND RAKE TRIM.
  - CONTRACTOR SHALL DEMOLISH ALL FLASHINGS AND COUNTER FLASHINGS NOT OTHERWISE NOTED TO REMAIN. EXISTING STEPPED THRU-WALL FLASHING SHALL REMAIN IN PLACE AND SHALL BE REUSED.
  - CONTRACTOR SHALL DEMOLISH 5% OF THE EXISTING 5/8" CDX ROOF DECK. AREAS TO BE DEMOLISHED WILL BE DETERMINED BY THE ARCHITECT IN THE FIELD.
  - CONTRACTOR SHALL PREPARE THE DECK FOR NEW WORK.

SCOPE OF WORK BUILDING TYPE L1  
REROOF NOTES

- THE FOLLOWING BUILDINGS ARE TYPE L1:
  - 333 AUGUSTE COURT
  - 337 AUGUSTE COURT \*NOTE THIS BUILDING SHALL HAVE PRIORITY SCHEDULING
  - 395 AUGUSTE COURT
  - 415 HOPE STREET
- REROOF SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW 5/8" CDX ROOF DECK OVER 5% OF THE EXISTING DECK AREA, WHERE EXISTING DECK HAS BEEN DEMOLISHED.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW UNDERLAYMENT AS SPECIFIED AND DETAILED.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW TURTLE VENTS IN LOCATIONS DRAWN.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW FLASHING AT VTR'S.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW ROOF SHINGLES AS SPECIFIED AND DETAILED.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW RAKE AND EAVE TRIM.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW COUNTERFLASHING / THRU-WALL FLASHING.

SCOPE OF WORK BUILDING  
TYPE M1 DEMOLITION NOTES

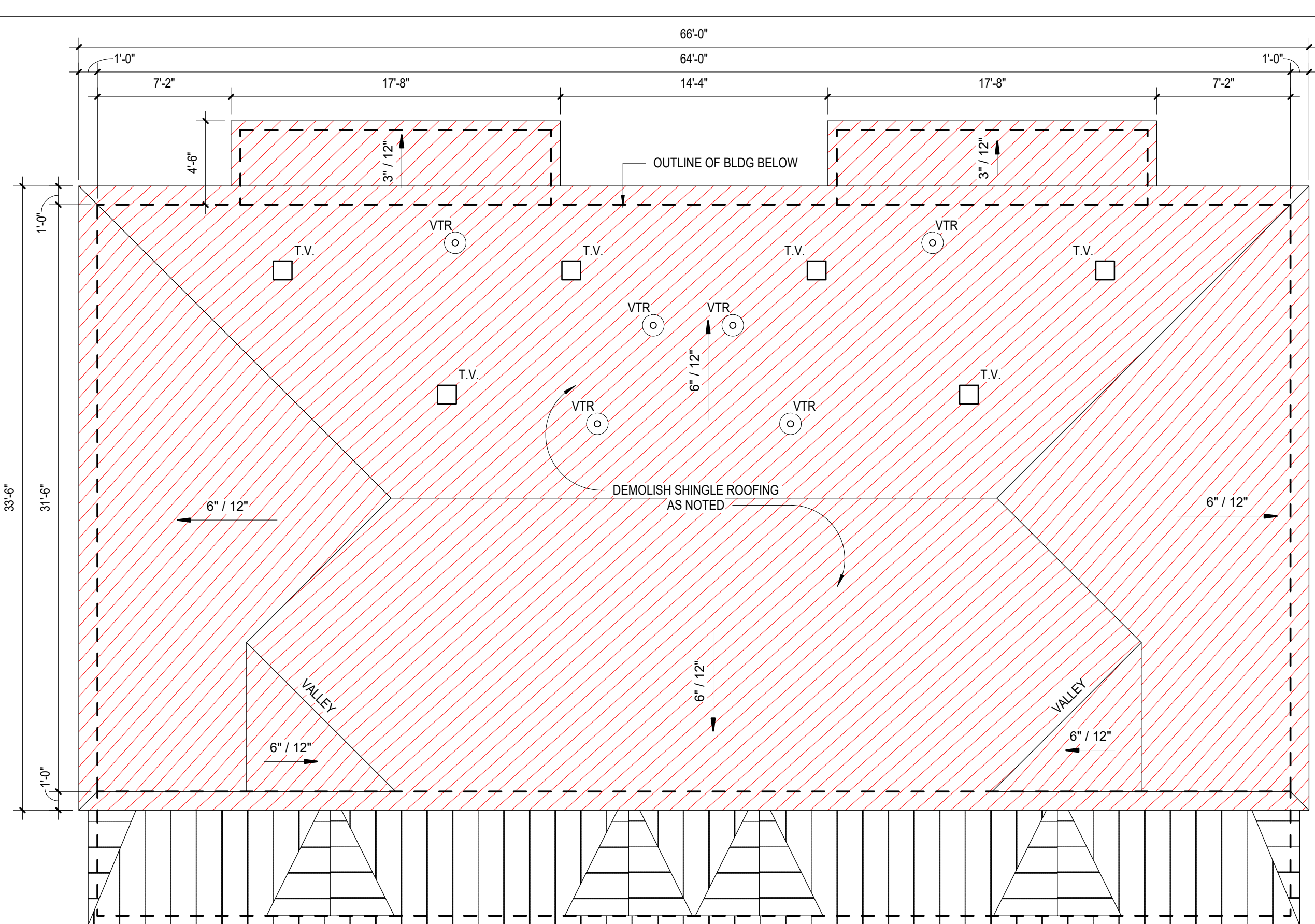
- THE FOLLOWING BUILDINGS ARE TYPE M1:
  - 617 BRADFORD STREET
  - 643 BRADFORD STREET
- THE FOLLOWING SCOPE OF WORK APPLIES ONLY TO AREAS WITH SHINGLE ROOFING. THE STANDING SEAM METAL PORCH ROOF, INCLUDING ALL EXISTING TRIM, FLASHING, UNDERLAYMENTS AND ACCESSORIES, IS EXISTING AND SHALL REMAIN.
- DEMOLITION SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
  - CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE ROOFING MATERIAL.
  - CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE UNDERLAYMENTS.
  - CONTRACTOR SHALL DEMOLISH ALL PIPE BOOTS, CRICKETS AND OTHER PENETRATION FLASHINGS.
  - CONTRACTOR SHALL DEMOLISH ALL BOX VENTS, THEN PREP THE ROOF OPENING FOR NEW VENTS.
  - CONTRACTOR SHALL RETAIN IN PLACE ALL GABLE VENTS.
  - CONTRACTOR SHALL DEMOLISH ALL EAVE AND RAKE TRIM.
  - CONTRACTOR SHALL DEMOLISH ALL FLASHINGS AND COUNTER FLASHINGS NOT OTHERWISE NOTED TO REMAIN. EXISTING THRU-WALL FLASHING SHALL REMAIN IN PLACE AND SHALL BE REUSED.
  - CONTRACTOR SHALL DEMOLISH 5% OF THE EXISTING 5/8" CDX ROOF DECK. AREAS TO BE DEMOLISHED WILL BE DETERMINED BY THE ARCHITECT IN THE FIELD.
  - CONTRACTOR SHALL PREPARE THE DECK FOR NEW WORK.

SCOPE OF WORK BUILDING  
TYPE M1 REROOF NOTES

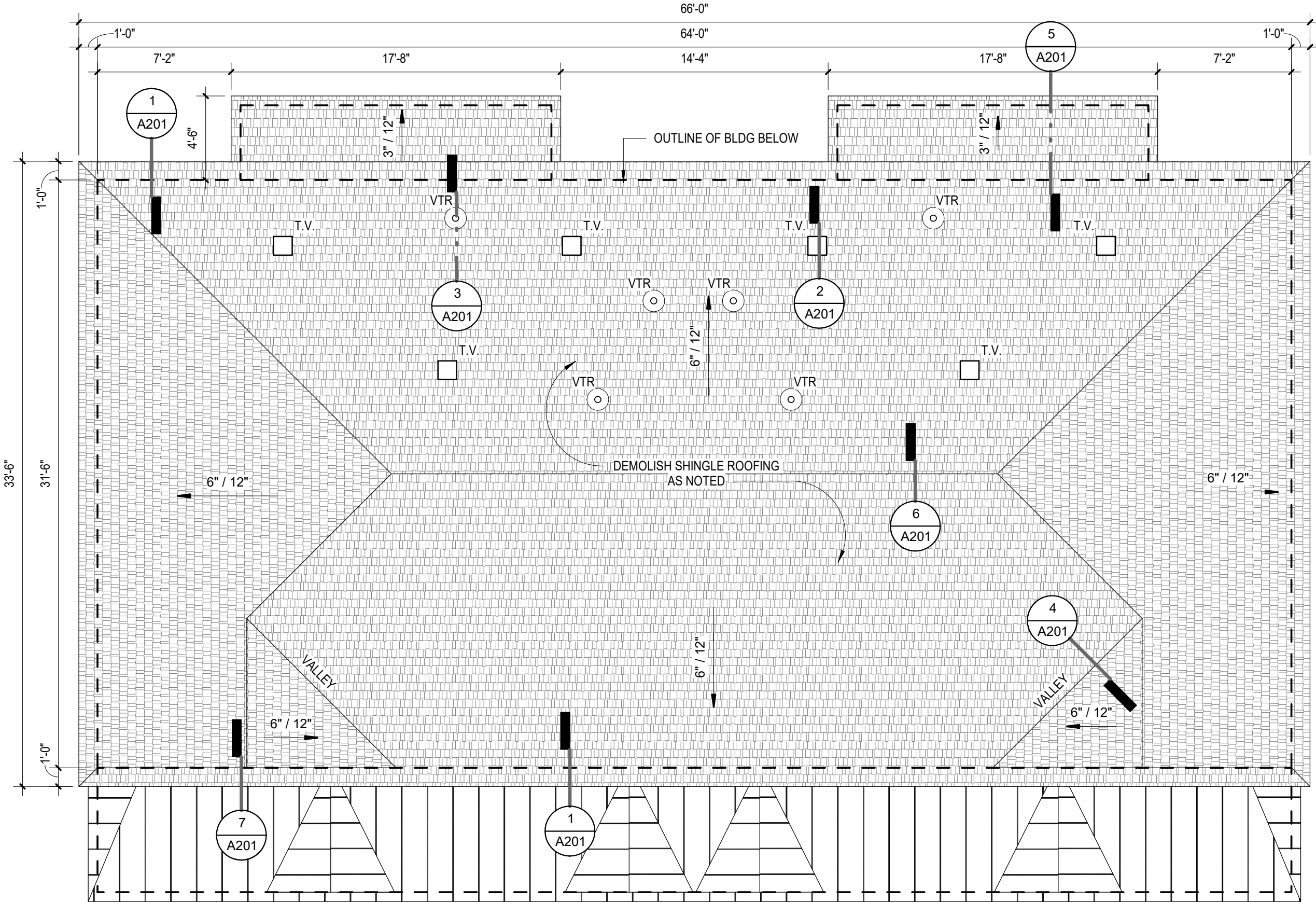
- THE FOLLOWING BUILDINGS ARE TYPE M1:
  - 617 BRADFORD STREET
  - 643 BRADFORD STREET
- THE FOLLOWING SCOPE OF WORK APPLIES ONLY TO AREAS WITH SHINGLE ROOFING. THE STANDING SEAM METAL PORCH ROOF, INCLUDING ALL EXISTING TRIM, FLASHING, UNDERLAYMENTS AND ACCESSORIES, IS EXISTING AND SHALL REMAIN.
- REROOF SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW 5/8" CDX ROOF DECK OVER 5% OF THE EXISTING DECK AREA, WHERE EXISTING DECK HAS BEEN DEMOLISHED.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW UNDERLAYMENT AS SPECIFIED AND DETAILED.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW ROOF SHINGLES AS SPECIFIED AND DETAILED.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW FLASHING AT VTR'S.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW RAKE AND EAVE TRIM.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW COUNTERFLASHING / THRU-WALL FLASHING.

LEGEND	
	DEMOLITION MARK
	NEW SHINGLES
	EXISTING STANDING SEAM METAL ROOF TO REMAIN (TYP PORCH ROOF)
	VTR - EXISTING VENT THRU ROOF TO REMAIN. PROVIDE NEW BOOT.
	TURTLE VENT - EXISTING VENT TO BE DEMOLISHED. INSTALL NEW SPECIFIED VENT IN EXISTING LOCATION.

TYPE M1



3 M1-DEMOLITION PLAN  
3/16" = 1'-0"

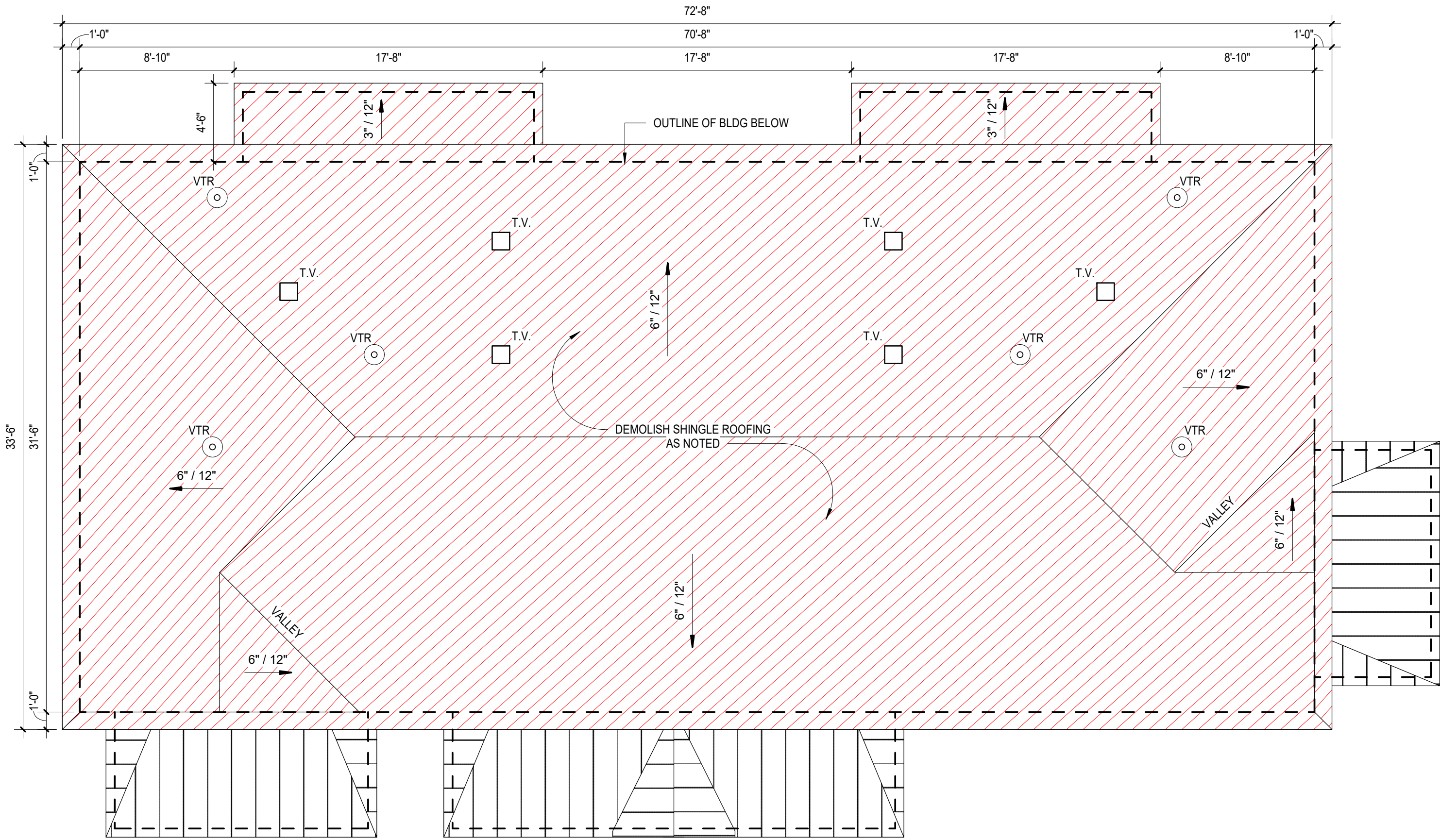


4 M1-REROOF PLAN  
3/16" = 1'-0"

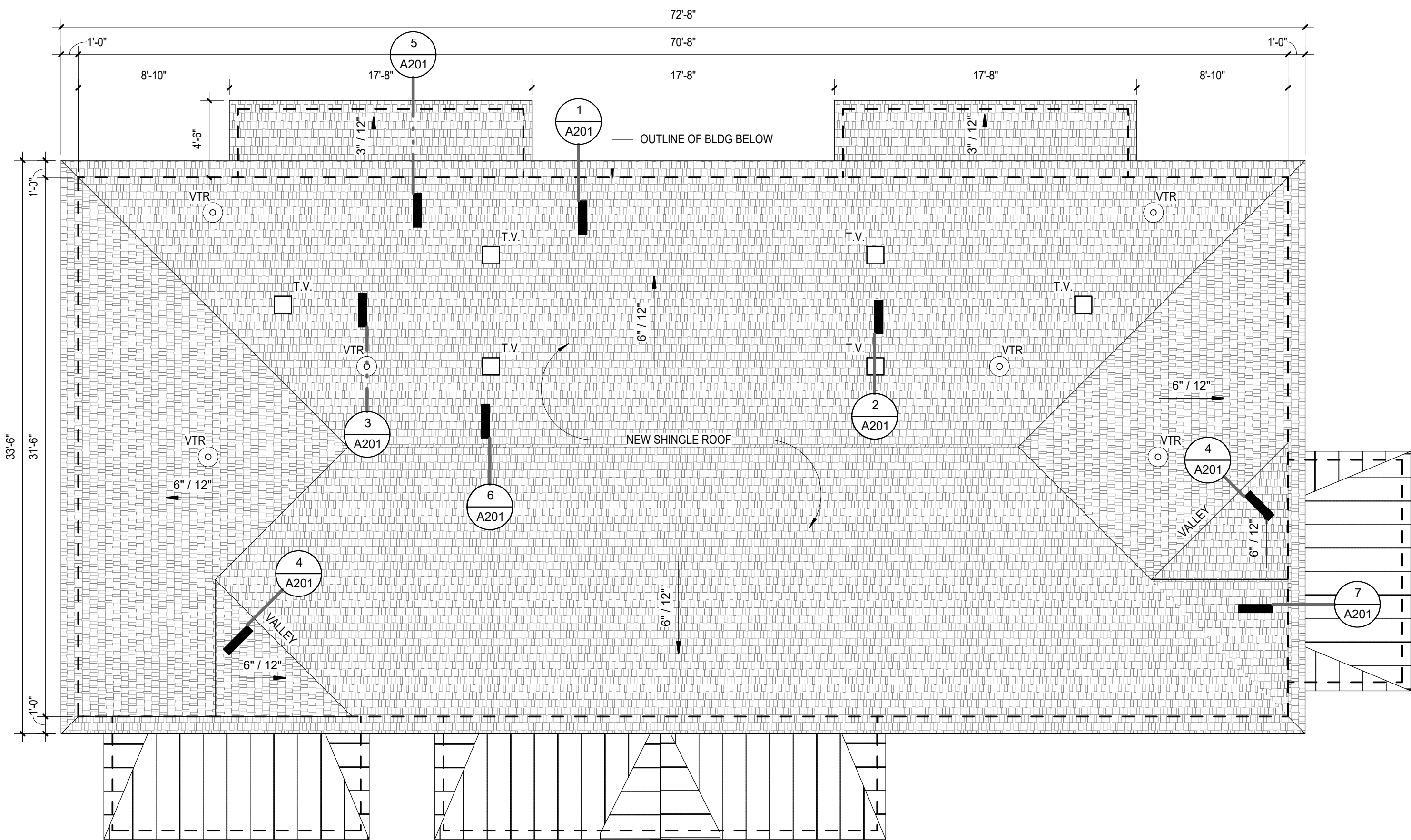




1  
A111  
M2-DEMOLITION PLAN  
3/16" = 1'-0"



2  
A111  
M2-REROOF PLAN  
3/16" = 1'-0"



### SCOPE OF WORK BUILDING TYPE M2 DEMOLITION NOTES

- THE FOLLOWING BUILDINGS ARE TYPE M2:
  - 602 SPLENDOR STREET
  - 655 BRADFORD STREET
  - 625 BRADFORD STREET
- THE FOLLOWING SCOPE OF WORK APPLIES ONLY TO AREAS WITH SHINGLE ROOFING. THE STANDING SEAM METAL PORCH ROOF, INCLUDING ALL EXISTING TRIM, FLASHING, UNDERLAYMENTS AND ACCESSORIES, IS EXISTING AND SHALL REMAIN.
- DEMOLITION SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
  - CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE ROOFING MATERIAL.
  - CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE UNDERLAYMENTS.
  - CONTRACTOR SHALL DEMOLISH ALL PIPE BOOTS, CRICKETS AND OTHER PENETRATION FLASHINGS.
  - CONTRACTOR SHALL DEMOLISH ALL BOX VENTS, THEN PREP THE ROOF OPENING FOR NEW VENTS.
  - CONTRACTOR SHALL RETAIN IN PLACE ALL EXISTING VTR'S.
  - CONTRACTOR SHALL RETAIN IN PLACE ALL GABLE VENTS.
  - CONTRACTOR SHALL DEMOLISH ALL EAVE AND RAKE TRIM.
  - CONTRACTOR SHALL DEMOLISH ALL FLASHINGS AND COUNTER FLASHINGS NOT OTHERWISE NOTED TO REMAIN. EXISTING THRU-WALL FLASHING SHALL REMAIN IN PLACE AND SHALL BE REUSED.
  - CONTRACTOR SHALL DEMOLISH 5% OF THE EXISTING 5/8" CDX ROOF DECK. AREAS TO BE DEMOLISHED WILL BE DETERMINED BY THE ARCHITECT IN THE FIELD.
  - CONTRACTOR SHALL PREPARE THE DECK FOR NEW WORK.

### LEGEND

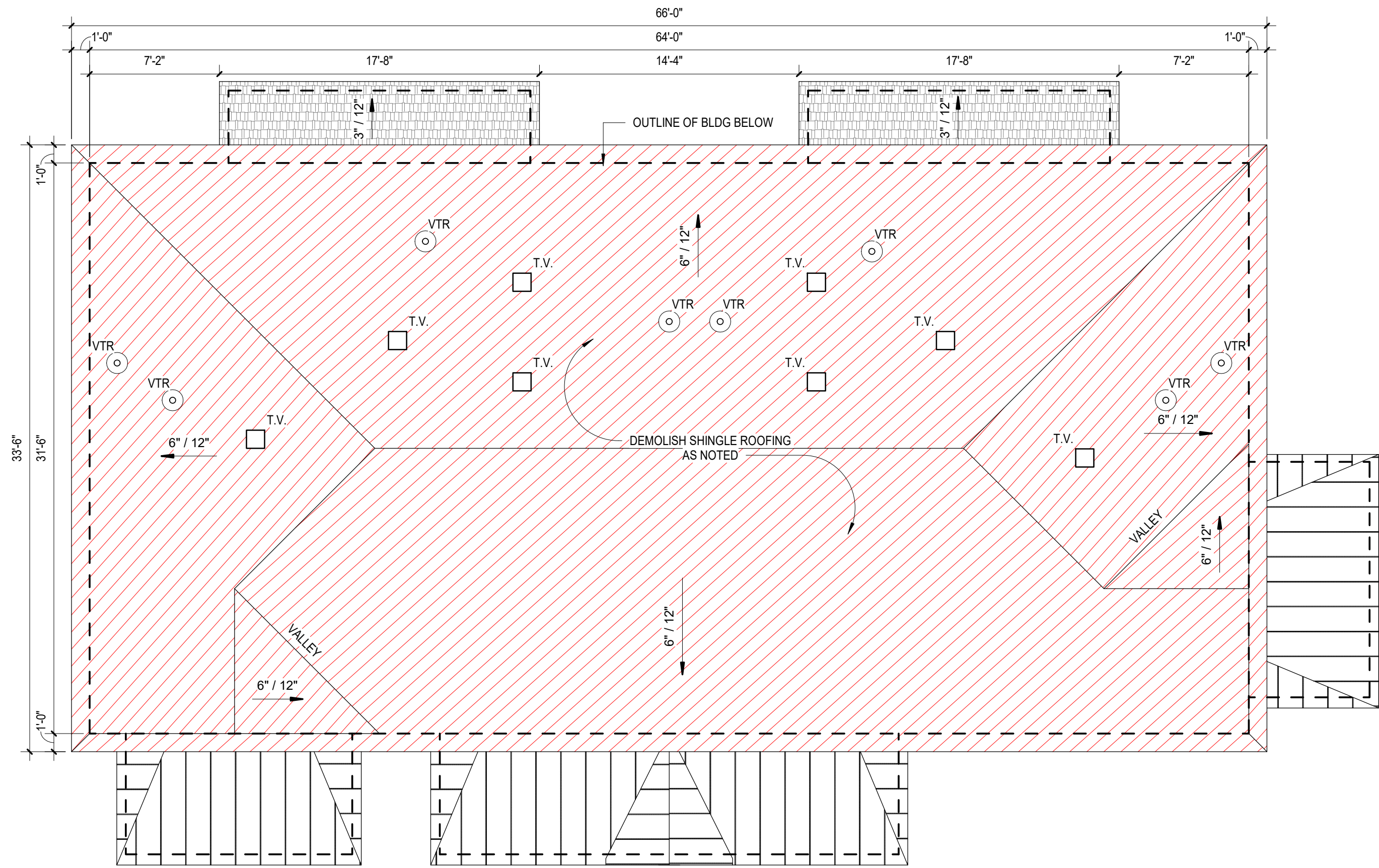
- |  |   |
|--|---|
|  | DEMOLITION MARK   |
|  | NEW SHINGLES  |
|  | EXISTING STANDING SEAM METAL ROOF TO REMAIN (TYP PORCH ROOF)  |
|  | VTR - EXISTING VENT THRU ROOF TO REMAIN. PROVIDE NEW BOOT.  |
|  | T.V. - TURTLE VENT - EXISTING VENT TO BE DEMOLISHED. INSTALL NEW SPECIFIED VENT IN EXISTING LOCATION. |

### SCOPE OF WORK BUILDING TYPE M2 REROOF NOTES

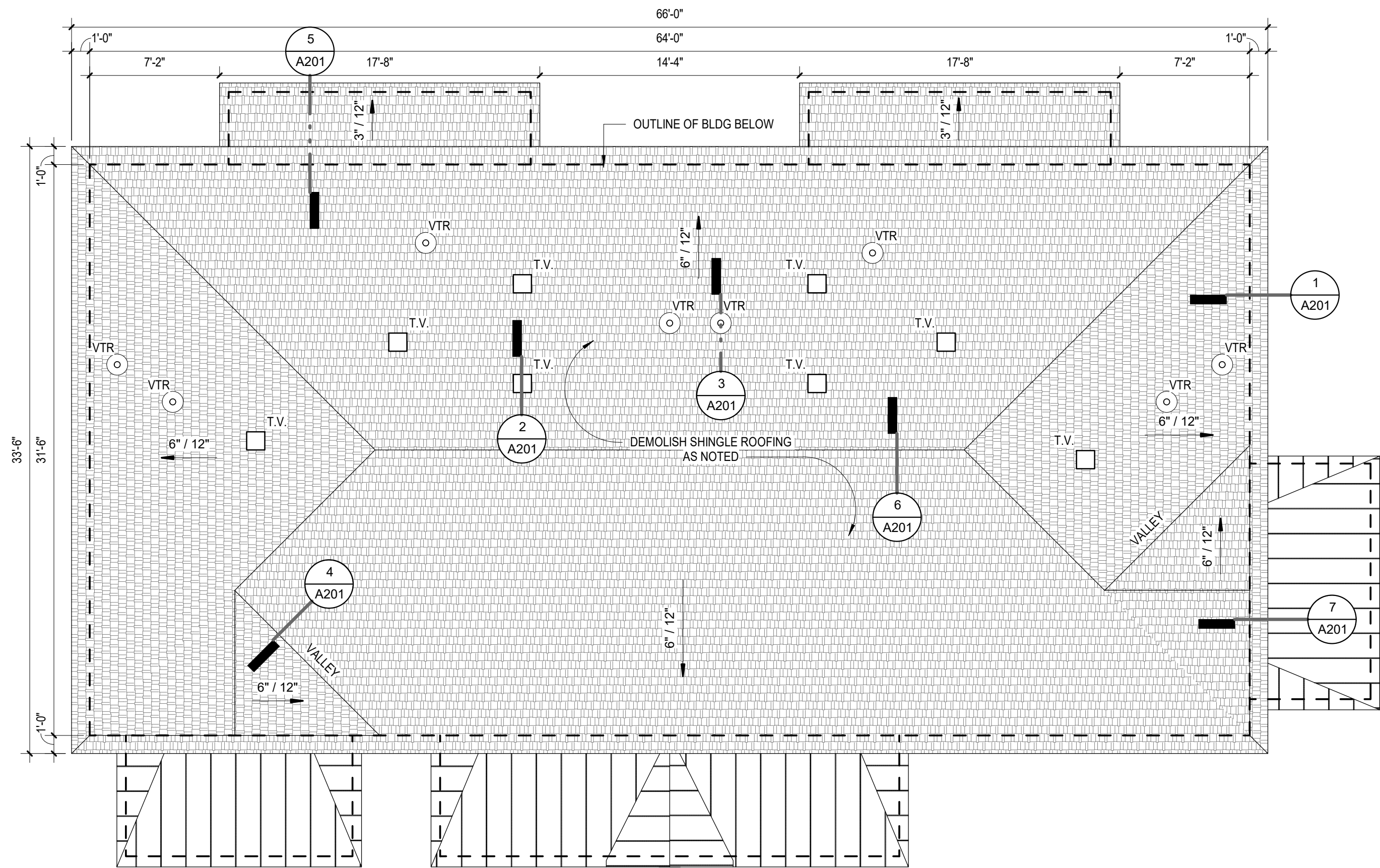
- THE FOLLOWING BUILDINGS ARE TYPE M2:
  - 602 SPLENDOR STREET
  - 655 BRADFORD STREET
  - 625 BRADFORD STREET
- THE FOLLOWING SCOPE OF WORK APPLIES ONLY TO AREAS WITH SHINGLE ROOFING. THE STANDING SEAM METAL PORCH ROOF, INCLUDING ALL EXISTING TRIM, FLASHING, UNDERLAYMENTS AND ACCESSORIES, IS EXISTING AND SHALL REMAIN.
- REROOF SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW 5/8" CDX ROOF DECK OVER 5% OF THE EXISTING DECK AREA, WHERE EXISTING DECK HAS BEEN DEMOLISHED.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW UNDERLAYMENT AS SPECIFIED AND DETAILED.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW BOX VENTS IN LOCATIONS DRAWN.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW FLASHING AT VTR'S.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW ROOF SHINGLES AS SPECIFIED AND DETAILED.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW RAKE AND EAVE TRIM.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW COUNTERFLASHING / THRU-WALL FLASHING.







1 M3-DEMOLITION PLAN  
3/16" = 1'-0"



2 M3-REROOF PLAN  
3/16" = 1'-0"

### SCOPE OF WORK BUILDING TYPE M3 DEMOLITION NOTES

- THE FOLLOWING BUILDINGS ARE TYPE M3:
  - 675 BRADFORD STREET
  - 637 BRADFORD STREET
  - 419 DR GILBERT MASON
- THE FOLLOWING SCOPE OF WORK APPLIES ONLY TO AREAS WITH SHINGLE ROOFING. THE STANDING SEAM METAL PORCH ROOF, INCLUDING ALL EXISTING TRIM, FLASHING, UNDERLAYMENTS AND ACCESSORIES, IS EXISTING AND SHALL REMAIN.
- DEMOLITION SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
  - CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE ROOFING MATERIAL.
  - CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE UNDERLAYMENTS.
  - CONTRACTOR SHALL DEMOLISH ALL PIPE BOOTS, CRICKETS AND OTHER PENETRATION FLASHINGS.
  - CONTRACTOR SHALL DEMOLISH ALL BOX VENTS, THEN PREP THE ROOF OPENING FOR NEW VENTS.
  - CONTRACTOR SHALL RETAIN IN PLACE ALL EXISTING VTR'S.
  - CONTRACTOR SHALL RETAIN IN PLACE ALL GABLE VENTS.
  - CONTRACTOR SHALL DEMOLISH ALL EAVE AND RAKE TRIM.
  - CONTRACTOR SHALL DEMOLISH ALL FLASHINGS AND COUNTER FLASHINGS NOT OTHERWISE NOTED TO REMAIN. EXISTING THRU-WALL FLASHING SHALL REMAIN IN PLACE AND SHALL BE REUSED.
  - CONTRACTOR SHALL DEMOLISH 5% OF THE EXISTING 5/8" CDX ROOF DECK. AREAS TO BE DEMOLISHED WILL BE DETERMINED BY THE ARCHITECT IN THE FIELD.
  - CONTRACTOR SHALL PREPARE THE DECK FOR NEW WORK.

### LEGEND

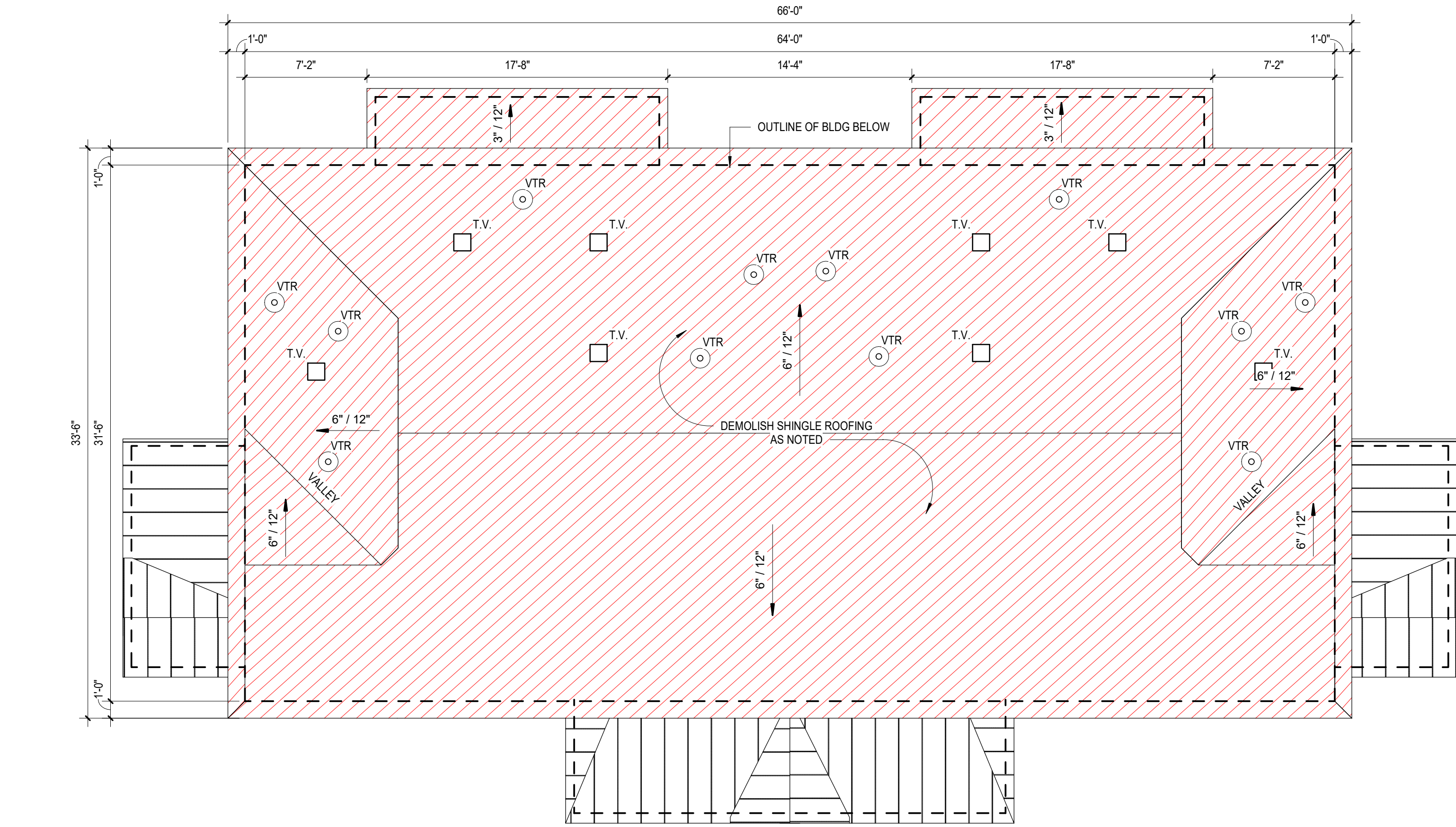
- DEMOLITION MARK
- NEW SHINGLES
- EXISTING STANDING SEAM METAL ROOF TO REMAIN (TYP PORCH ROOF)
- VTR - EXISTING VENT THRU ROOF TO REMAIN. PROVIDE NEW BOOT.
- T.V. - EXISTING VENT TO BE DEMOLISHED. INSTALL NEW SPECIFIED VENT IN EXISTING LOCATION.

### SCOPE OF WORK BUILDING TYPE M3 REROOF NOTES

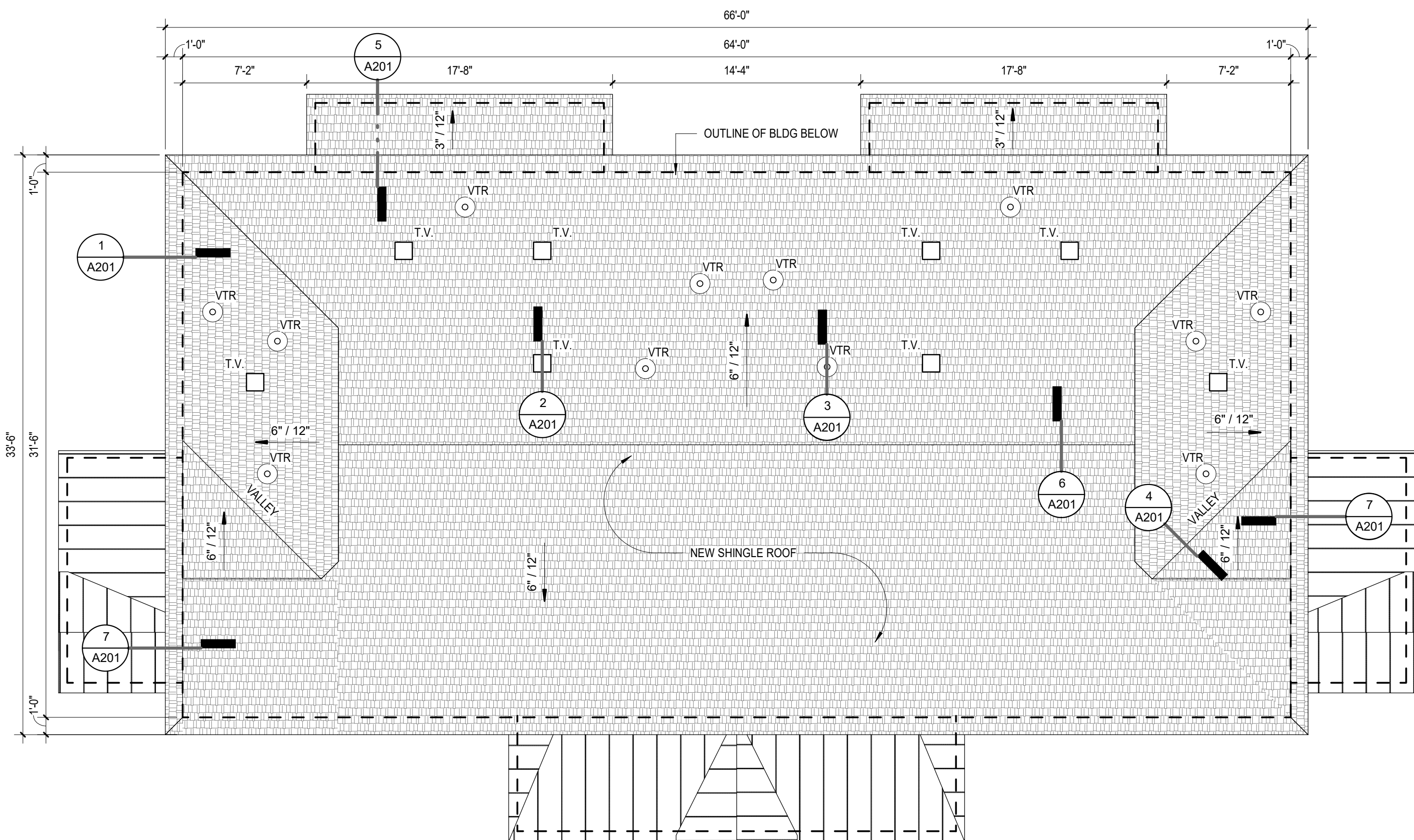
- THE FOLLOWING BUILDINGS ARE TYPE M3:
  - 675 BRADFORD STREET
  - 637 BRADFORD STREET
  - 419 DR GILBERT MASON
- THE FOLLOWING SCOPE OF WORK APPLIES ONLY TO AREAS WITH SHINGLE ROOFING. THE STANDING SEAM METAL PORCH ROOF, INCLUDING ALL EXISTING TRIM, FLASHING, UNDERLAYMENTS AND ACCESSORIES, IS EXISTING AND SHALL REMAIN.
- REROOF SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW 5/8" CDX ROOF DECK OVER 5% OF THE EXISTING DECK AREA, WHERE EXISTING DECK HAS BEEN DEMOLISHED.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW UNDERLAYMENT AS SPECIFIED AND DETAILED.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW BOX VENTS IN LOCATIONS DRAWN.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW FLASHING AT VTR'S.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW ROOF SHINGLES AS SPECIFIED AND DETAILED.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW EAVE TRIM.
  - CONTRACTOR SHALL PROVIDE AND INSTALL NEW COUNTERFLASHING / THRU-WALL FLASHING.







1 M4-DEMOLITION PLAN  
3/16" = 1'-0"



2 M4-REROOF PLAN  
3/16" = 1'-0"

## SCOPE OF WORK BUILDING TYPE M4 DEMOLITION NOTES

- THE FOLLOWING BUILDINGS ARE TYPE M4:  
A. 663 BRADFORD STREET  
B. 365 AUGUSTE COURT  
C. 636 ROY STREET
- THE FOLLOWING SCOPE OF WORK APPLIES ONLY TO AREAS WITH SHINGLE ROOFING. THE STANDING SEAM METAL PORCH ROOF, INCLUDING ALL EXISTING TRIM, FLASHING, UNDERLAYMENTS AND ACCESSORIES, IS EXISTING AND SHALL REMAIN. DEMOLITION SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:  
A. CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE ROOFING MATERIAL.  
B. CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE UNDERLAYMENTS.  
C. CONTRACTOR SHALL DEMOLISH ALL PIPE BOOTS, CRICKETS AND OTHER PENETRATION FLASHINGS.  
D. CONTRACTOR SHALL DEMOLISH ALL BOX VENTS, THEN PREP THE ROOF OPENING FOR NEW VENTS.  
E. CONTRACTOR SHALL RETAIN IN PLACE ALL EXISTING VTR'S.  
F. CONTRACTOR SHALL RETAIN IN PLACE ALL GABLE VENTS.  
G. CONTRACTOR SHALL DEMOLISH ALL EAVE AND RAKE TRIM.  
H. CONTRACTOR SHALL DEMOLISH ALL FLASHINGS AND COUNTER FLASHINGS NOT OTHERWISE NOTED TO REMAIN. EXISTING THRU-WALL FLASHING SHALL REMAIN IN PLACE AND SHALL BE REUSED.  
I. CONTRACTOR SHALL DEMOLISH 5% OF THE EXISTING 5/8" CDX ROOF DECK. AREAS TO BE DEMOLISHED WILL BE DETERMINED BY THE ARCHITECT IN THE FIELD.  
J. CONTRACTOR SHALL PREPARE THE DECK FOR NEW WORK.

## LEGEND

- DEMOLITION MARK
- NEW SHINGLES
- EXISTING STANDING SEAM METAL ROOF TO REMAIN (TYP PORCH ROOF)
- VTR - EXISTING VENT THRU ROOF TO REMAIN. PROVIDE NEW BOOT.
- T.V. - TURTLE VENT - EXISTING VENT TO BE DEMOLISHED. INSTALL NEW SPECIFIED VENT IN EXISTING LOCATION.

## SCOPE OF WORK BUILDING TYPE M4 REROOF NOTES

- THE FOLLOWING BUILDINGS ARE TYPE M4:  
A. 663 BRADFORD STREET  
B. 365 AUGUSTE COURT  
C. 636 ROY STREET
- THE FOLLOWING SCOPE OF WORK APPLIES ONLY TO AREAS WITH SHINGLE ROOFING. THE STANDING SEAM METAL PORCH ROOF, INCLUDING ALL EXISTING TRIM, FLASHING, UNDERLAYMENTS AND ACCESSORIES, IS EXISTING AND SHALL REMAIN.
- REROOF SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:  
A. CONTRACTOR SHALL PROVIDE AND INSTALL NEW 5/8" CDX ROOF DECK OVER 5% OF THE EXISTING DECK AREA, WHERE EXISTING DECK HAS BEEN DEMOLISHED.  
B. CONTRACTOR SHALL PROVIDE AND INSTALL NEW UNDERLAYMENT AS SPECIFIED AND DETAILED.  
C. CONTRACTOR SHALL PROVIDE AND INSTALL NEW BOX VENTS IN LOCATIONS DRAWN.  
D. CONTRACTOR SHALL PROVIDE AND INSTALL NEW FLASHING AT VTR'S.  
E. CONTRACTOR SHALL PROVIDE AND INSTALL NEW ROOF SHINGLES AS SPECIFIED AND DETAILED.  
F. CONTRACTOR SHALL PROVIDE AND INSTALL NEW RAKE AND EAVE TRIM.  
G. CONTRACTOR SHALL PROVIDE AND INSTALL NEW COUNTERFLASHING / THRU-WALL FLASHING.

JOB NUMBER  
2021-23  
DATE  
02/28/2021  
REVISION  
DRAWN BY  
SCN  
CHECKED BY  
HA



SHEET

A113

TYPE M4 - DEMOLITION AND REROOF PLANS

IFB#RRP03.21 BHA ROOF REPLACEMENT PROJECT - HURRICANE  
ZETA REPAIRS - VOLUME 8 - BAYVIEW PLACE

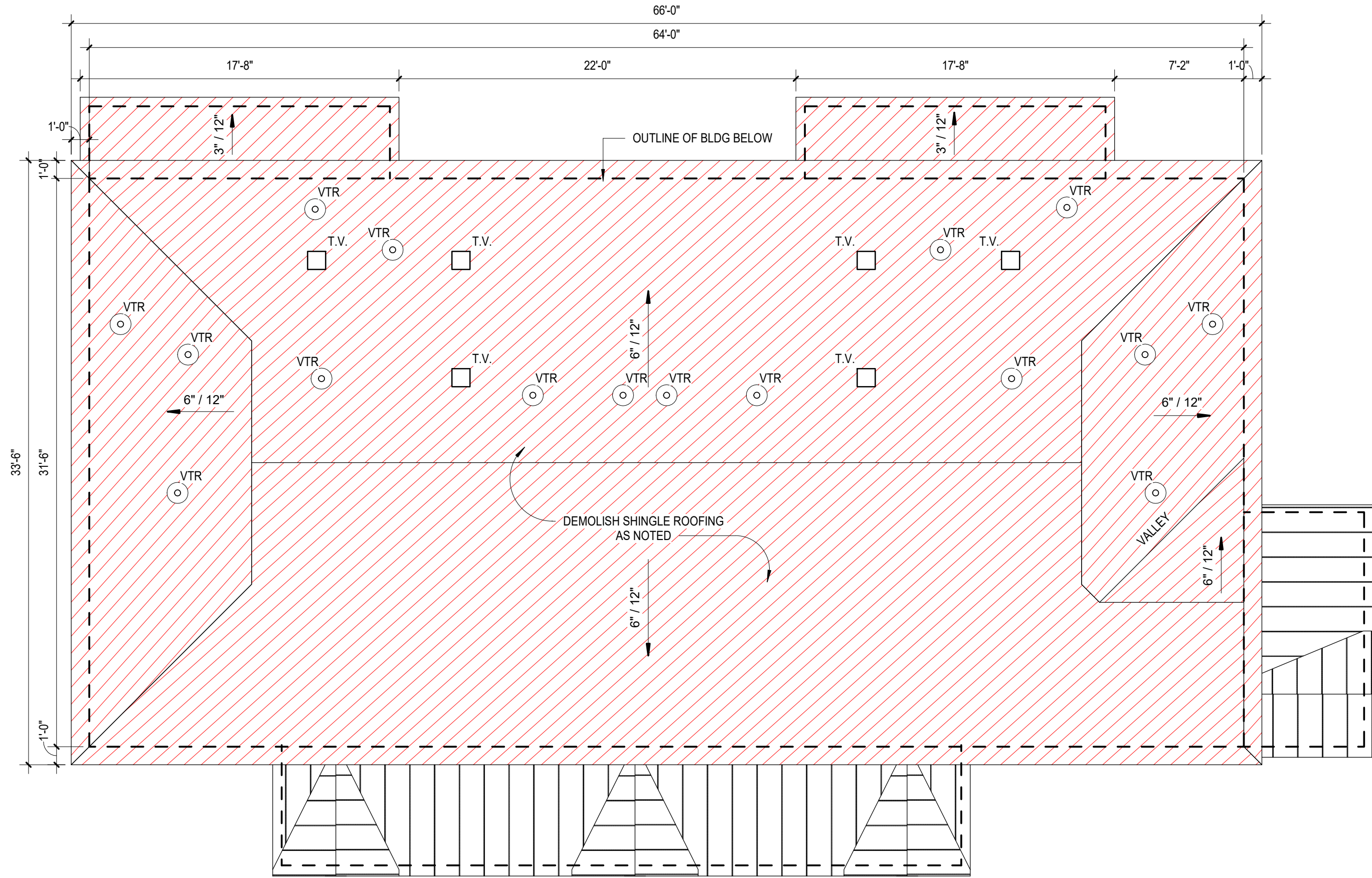
BILOXI HOUSING AUTHORITY  
330 BENACHI AVENUE BILOXI, MS 39530

711 Church Street  
Ocean Springs, MS 39564

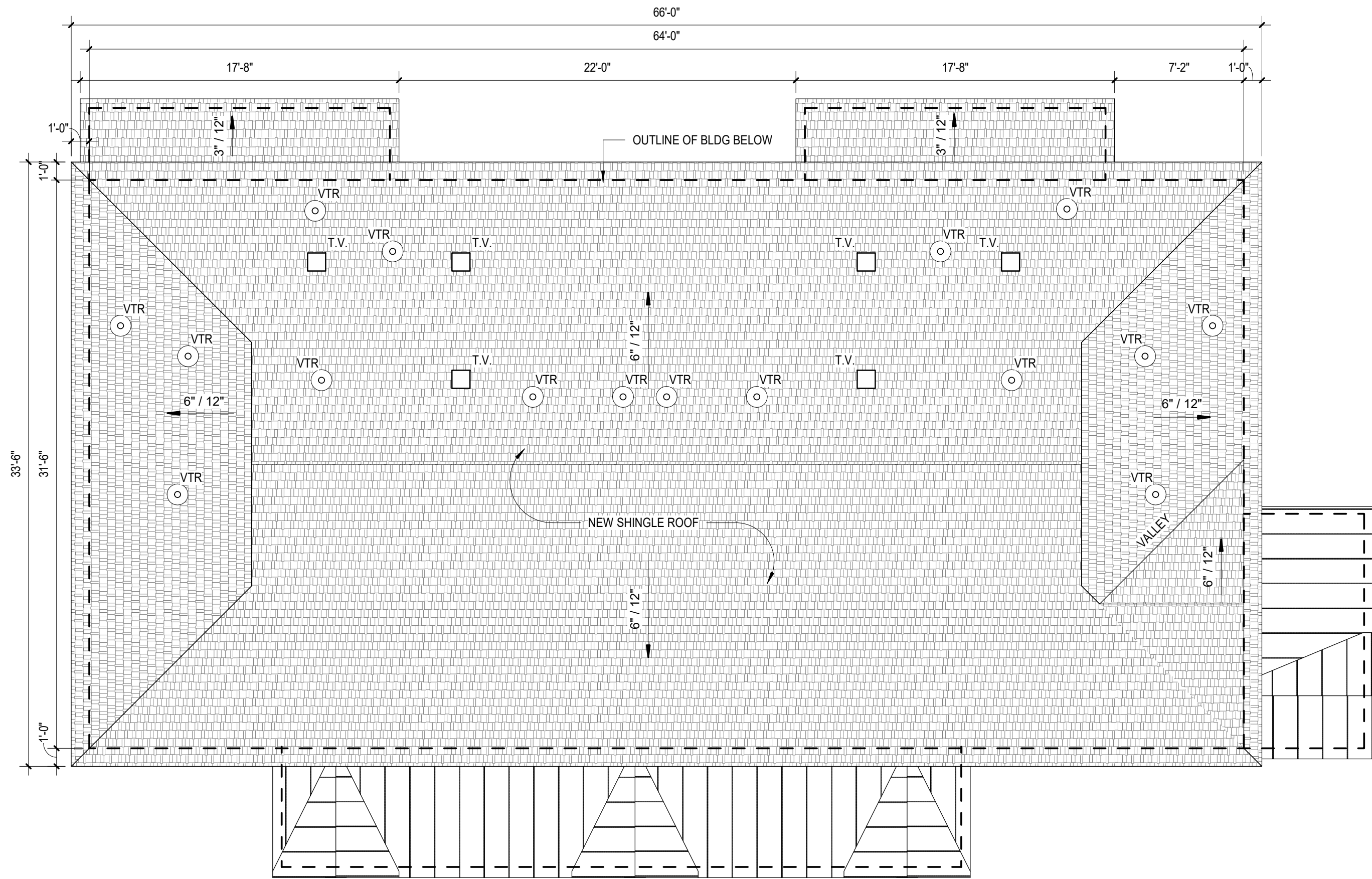
Phone: (228) 762-1975  
Email: [contact@alredstolarski.com](mailto:contact@alredstolarski.com)

alred  
stolarski  
architects





1 M5-DEMOLITION PLAN  
3/16" = 1'-0"



2 M5-REROOF PLAN  
3/16" = 1'-0"

### SCOPE OF WORK BUILDING TYPE M5 DEMOLITION NOTES

- THE FOLLOWING BUILDINGS ARE TYPE M5:  
A. 620 SPLENDOR STREET
- THE FOLLOWING SCOPE OF WORK APPLIES ONLY TO AREAS WITH SHINGLE ROOFING. THE STANDING SEAM METAL PORCH ROOF, INCLUDING ALL EXISTING TRIM, FLASHING, UNDERLAYMENTS AND ACCESSORIES, IS EXISTING AND SHALL REMAIN.
- DEMOLITION SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:  
A. CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE ROOFING MATERIAL.  
B. CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE UNDERLAYMENTS.  
C. CONTRACTOR SHALL DEMOLISH ALL PIPE BOOTS, CRICKETS AND OTHER PENETRATION FLASHINGS.  
D. CONTRACTOR SHALL DEMOLISH ALL BOX VENTS, THEN PREP THE ROOF OPENING FOR NEW VENTS.  
E. CONTRACTOR SHALL RETAIN IN PLACE ALL EXISTING VTR'S.  
F. CONTRACTOR SHALL RETAIN IN PLACE ALL GABLE VENTS.  
G. CONTRACTOR SHALL DEMOLISH ALL EAVE AND RAKE TRIM.  
H. CONTRACTOR SHALL DEMOLISH ALL FLASHINGS AND COUNTER FLASHINGS NOT OTHERWISE NOTED TO REMAIN. EXISTING THRU-WALL FLASHING SHALL REMAIN IN PLACE AND SHALL BE REUSED.  
I. CONTRACTOR SHALL DEMOLISH 5% OF THE EXISTING 5/8" CDX ROOF DECK. AREAS TO BE DEMOLISHED WILL BE DETERMINED BY THE ARCHITECT IN THE FIELD.  
J. CONTRACTOR SHALL PREPARE THE DECK FOR NEW WORK.

### LEGEND

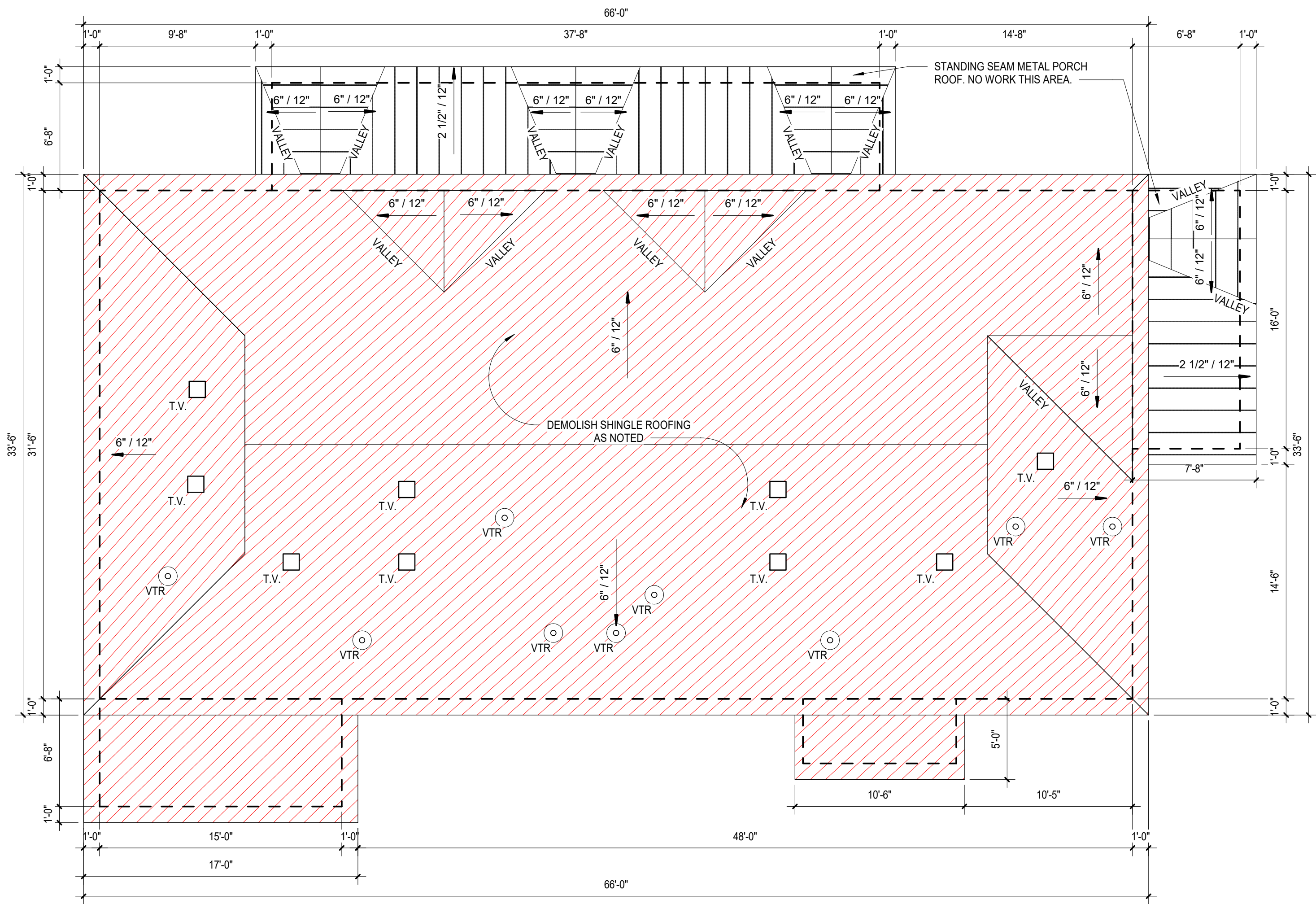
- DEMOLITION MARK
- NEW SHINGLES
- EXISTING STANDING SEAM METAL ROOF TO REMAIN (TYP PORCH ROOF)
- VTR - EXISTING VENT THRU ROOF TO REMAIN. PROVIDE NEW BOOT.
- T.V. - TURTLE VENT - EXISTING VENT TO BE DEMOLISHED. INSTALL NEW SPECIFIED VENT IN EXISTING LOCATION.

### SCOPE OF WORK BUILDING TYPE M5 REROOF NOTES

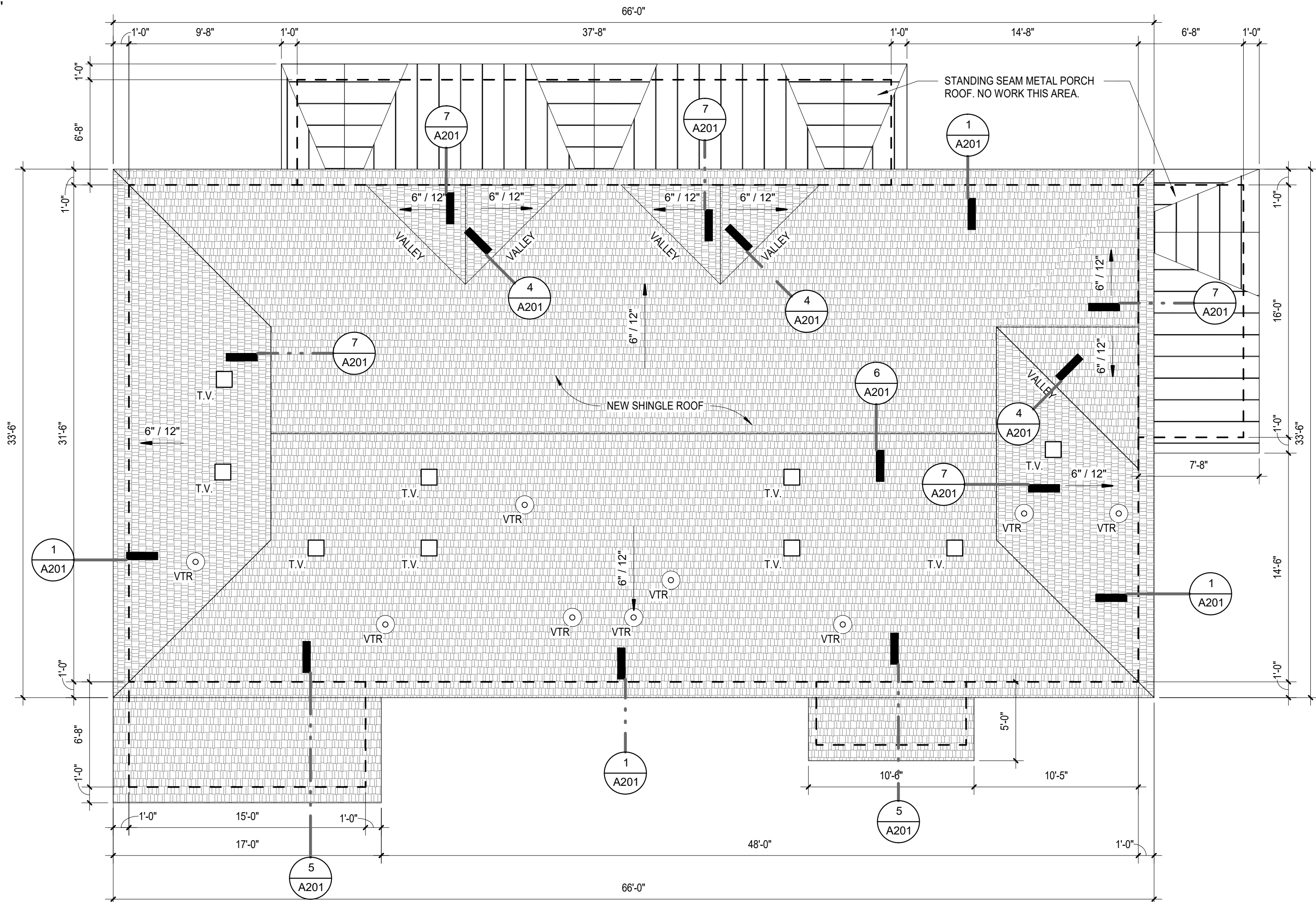
- THE FOLLOWING BUILDINGS ARE TYPE M5:  
A. 620 SPLENDOR STREET
- THE FOLLOWING SCOPE OF WORK APPLIES ONLY TO AREAS WITH SHINGLE ROOFING. THE STANDING SEAM METAL PORCH ROOF, INCLUDING ALL EXISTING TRIM, FLASHING, UNDERLAYMENTS AND ACCESSORIES, IS EXISTING AND SHALL REMAIN.
- REROOF SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:  
A. CONTRACTOR SHALL PROVIDE AND INSTALL NEW 5/8" CDX ROOF DECK OVER 5% OF THE EXISTING DECK AREA, WHERE EXISTING DECK HAS BEEN DEMOLISHED.  
B. CONTRACTOR SHALL PROVIDE AND INSTALL NEW UNDERLAYMENT AS SPECIFIED AND DETAILED.  
C. CONTRACTOR SHALL PROVIDE AND INSTALL NEW BOX VENTS IN LOCATIONS DRAWN.  
D. CONTRACTOR SHALL PROVIDE AND INSTALL NEW FLASHING AT VTR'S.  
E. CONTRACTOR SHALL PROVIDE AND INSTALL NEW ROOF SHINGLES AS SPECIFIED AND DETAILED.  
F. CONTRACTOR SHALL PROVIDE AND INSTALL NEW RAKE AND EAVE TRIM.  
G. CONTRACTOR SHALL PROVIDE AND INSTALL NEW COUNTERFLASHING / THRU-WALL FLASHING.







1  
A115  
M6-DEMOLITION PLAN  
3/16" = 1'-0"



2  
A115  
M6-REROOF PLAN  
3/16" = 1'-0"

## SCOPE OF WORK BUILDING TYPE M6 DEMOLITION NOTES

- THE FOLLOWING BUILDINGS ARE TYPE M6:  
A. 416 HOPE STREET \*NOTE THIS BUILDING SHALL HAVE PRIORITY SCHEDULING  
B. 625 SPLENDOR STREET  
C. 606 SPLENDOR STREET
- THE FOLLOWING SCOPE OF WORK APPLIES ONLY TO AREAS WITH SHINGLE ROOFING. THE STANDING SEAM METAL PORCH ROOF, INCLUDING ALL EXISTING TRIM, FLASHING, UNDERLAYMENTS AND ACCESSORIES, IS EXISTING AND SHALL REMAIN.
- DEMOLITION SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:  
A. CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE ROOFING MATERIAL.  
B. CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE UNDERLAYMENTS.  
C. CONTRACTOR SHALL DEMOLISH ALL PIPE BOOTS, CRICKETS AND OTHER PENETRATION FLASHINGS.  
D. CONTRACTOR SHALL DEMOLISH ALL BOX VENTS, THEN PREP THE ROOF OPENINGS FOR NEW VENTS.  
E. CONTRACTOR SHALL RETAIN IN PLACE ALL EXISTING VTR'S.  
F. CONTRACTOR SHALL RETAIN IN PLACE ALL GABLE VENTS.  
G. CONTRACTOR SHALL DEMOLISH ALL EAVE AND RAKE TRIM.  
H. CONTRACTOR SHALL DEMOLISH ALL FLASHINGS AND COUNTER FLASHINGS NOT OTHERWISE NOTED TO REMAIN. EXISTING THRU-WALL FLASHING SHALL REMAIN IN PLACE AND SHALL BE REUSED.  
I. CONTRACTOR SHALL DEMOLISH 5% OF THE EXISTING 5/8" CDX ROOF DECK. AREAS TO BE DEMOLISHED WILL BE DETERMINED BY THE ARCHITECT IN THE FIELD.  
J. CONTRACTOR SHALL PREPARE THE DECK FOR NEW WORK.

## LEGEND

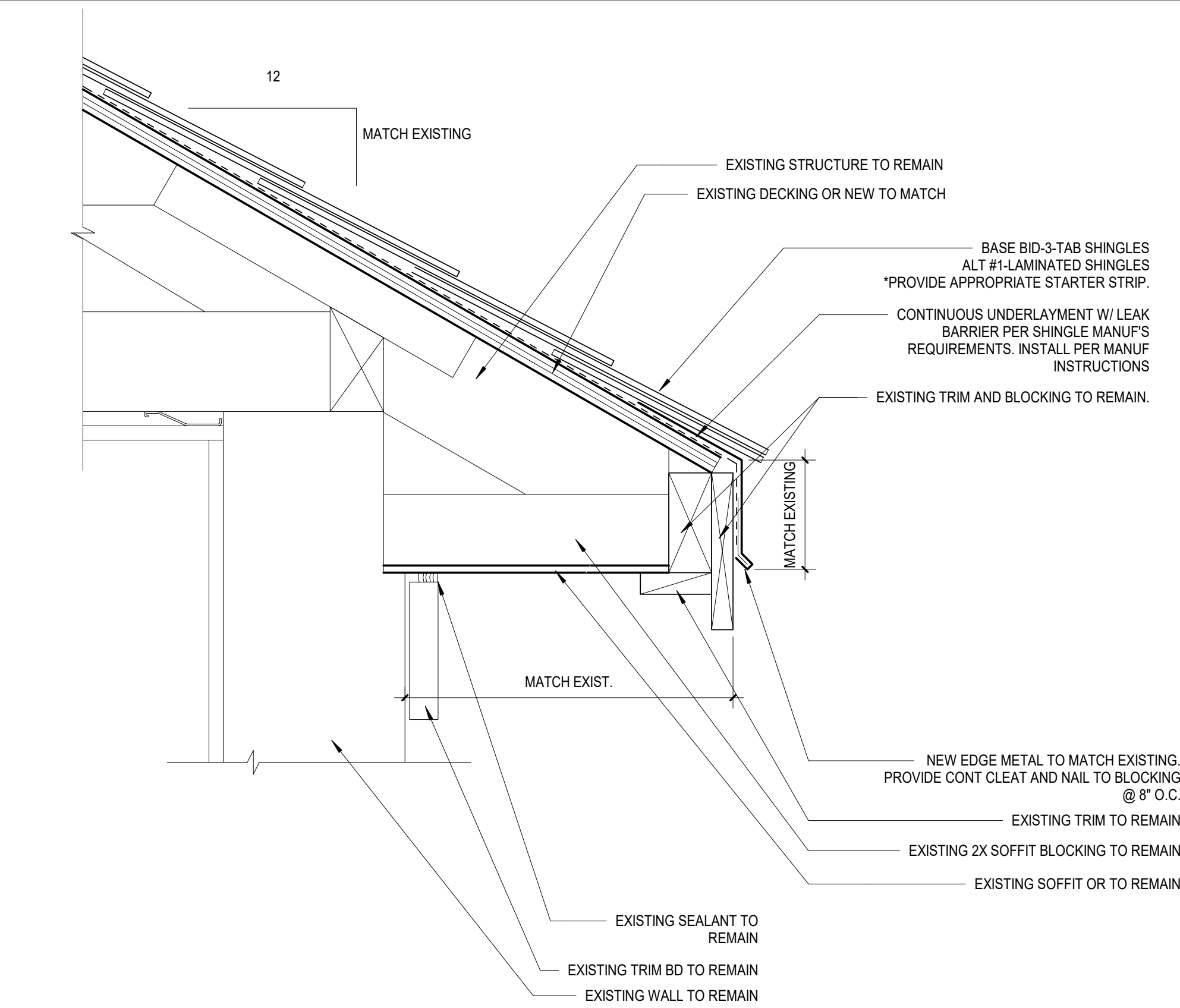
- DEMOLITION MARK
- NEW SHINGLES
- EXISTING STANDING SEAM METAL ROOF TO REMAIN (TYP PORCH ROOF)
- VTR - EXISTING VENT THRU ROOF TO REMAIN. PROVIDE NEW BOOT.
- T.V. - TURTLE VENT - EXISTING VENT TO BE DEMOLISHED. INSTALL NEW SPECIFIED VENT IN EXISTING LOCATION.

## SCOPE OF WORK BUILDING TYPE M6 REROOF NOTES

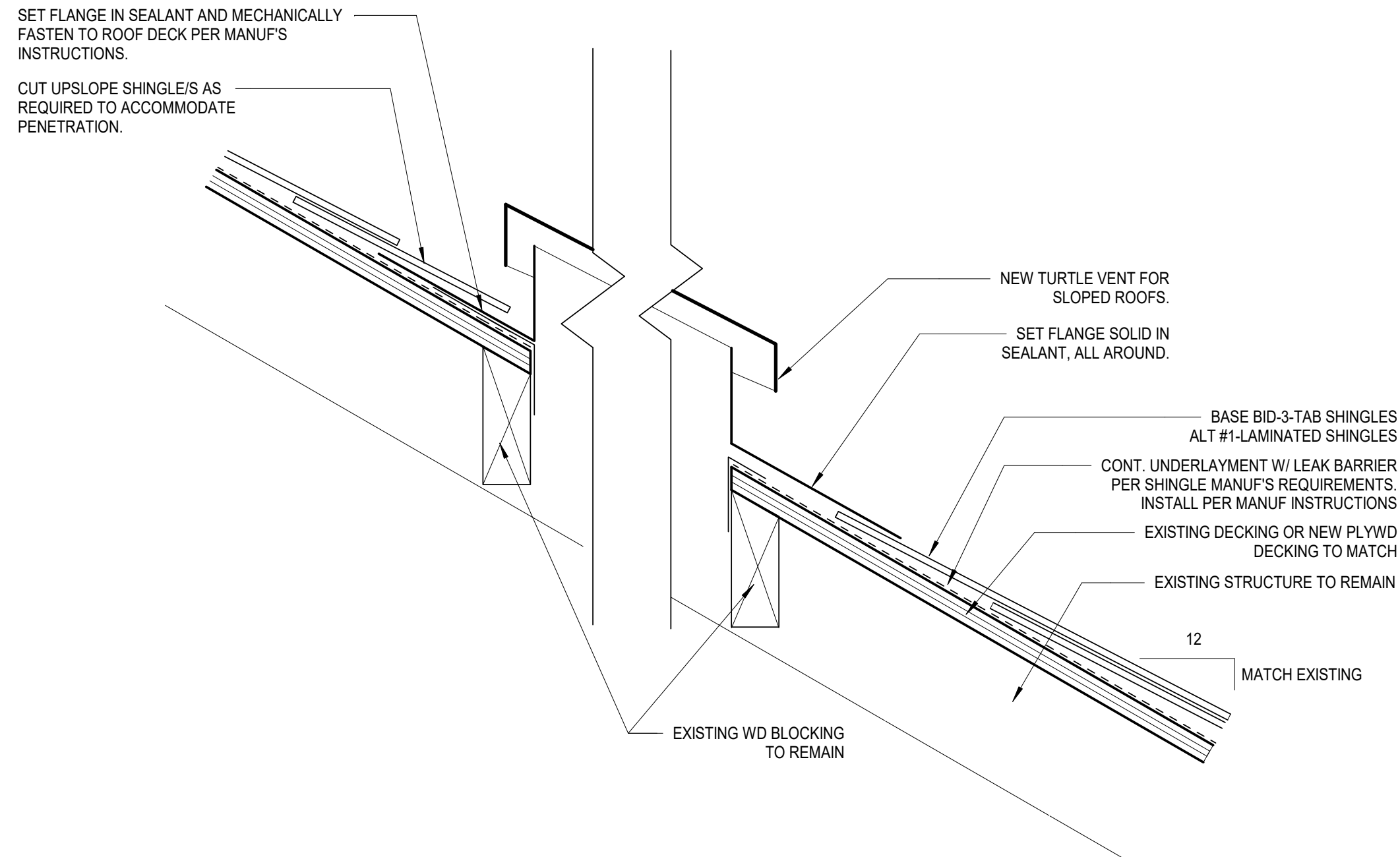
- THE FOLLOWING BUILDINGS ARE TYPE M6:  
A. 416 HOPE STREET \*NOTE THIS BUILDING SHALL HAVE PRIORITY SCHEDULING  
B. 625 SPLENDOR STREET  
C. 606 SPLENDOR STREET
- THE FOLLOWING SCOPE OF WORK APPLIES ONLY TO AREAS WITH SHINGLE ROOFING. THE STANDING SEAM METAL PORCH ROOF, INCLUDING ALL EXISTING TRIM, FLASHING, UNDERLAYMENTS AND ACCESSORIES, IS EXISTING AND SHALL REMAIN.
- REROOF SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:  
A. CONTRACTOR SHALL PROVIDE AND INSTALL NEW 5/8" CDX ROOF DECK OVER 5% OF THE EXISTING DECK AREA, WHERE EXISTING DECK HAS BEEN DEMOLISHED.  
B. CONTRACTOR SHALL PROVIDE AND INSTALL NEW UNDERLAYMENT AS SPECIFIED AND DETAILED.  
C. CONTRACTOR SHALL PROVIDE AND INSTALL NEW BOX VENTS IN LOCATIONS DRAWN.  
D. CONTRACTOR SHALL PROVIDE AND INSTALL NEW FLASHING AT VTR'S.  
E. CONTRACTOR SHALL PROVIDE AND INSTALL NEW ROOF SHINGLES AS SPECIFIED AND DETAILED.  
F. CONTRACTOR SHALL PROVIDE AND INSTALL NEW RAKE AND EAVE TRIM.  
G. CONTRACTOR SHALL PROVIDE AND INSTALL NEW COUNTERFLASHING / THRU-WALL FLASHING.



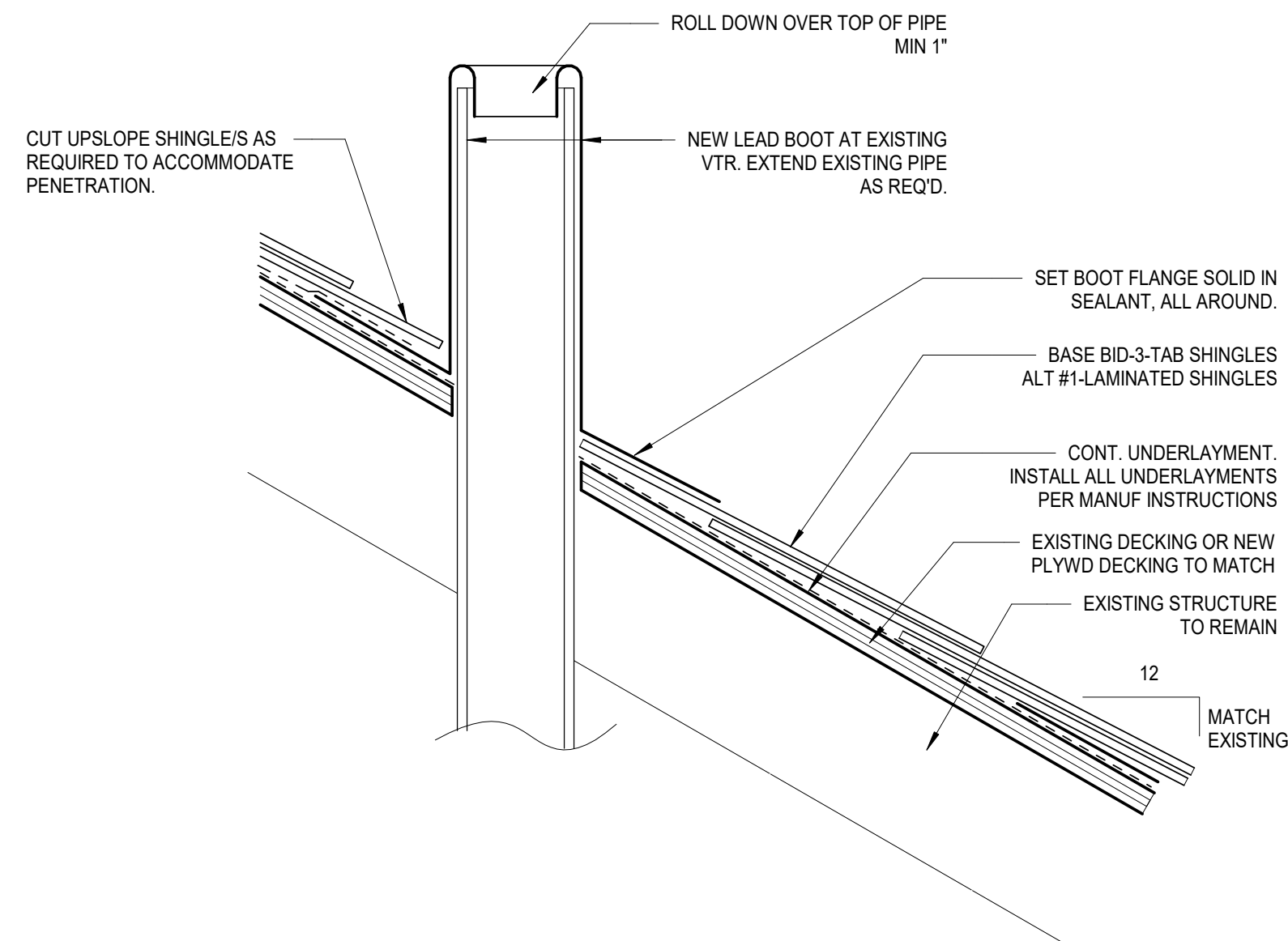




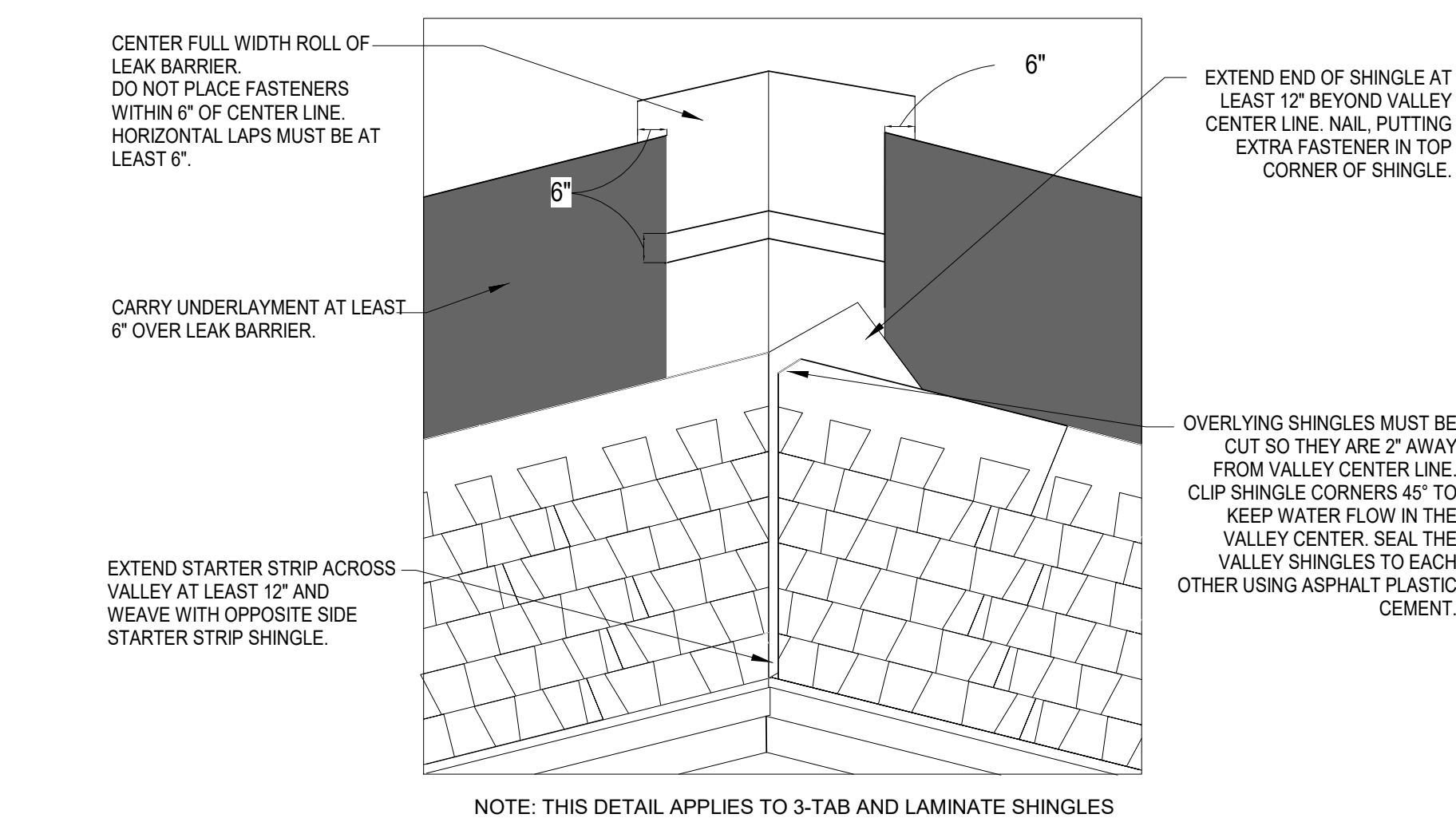
1 EAVE  
3" = 1'-0"



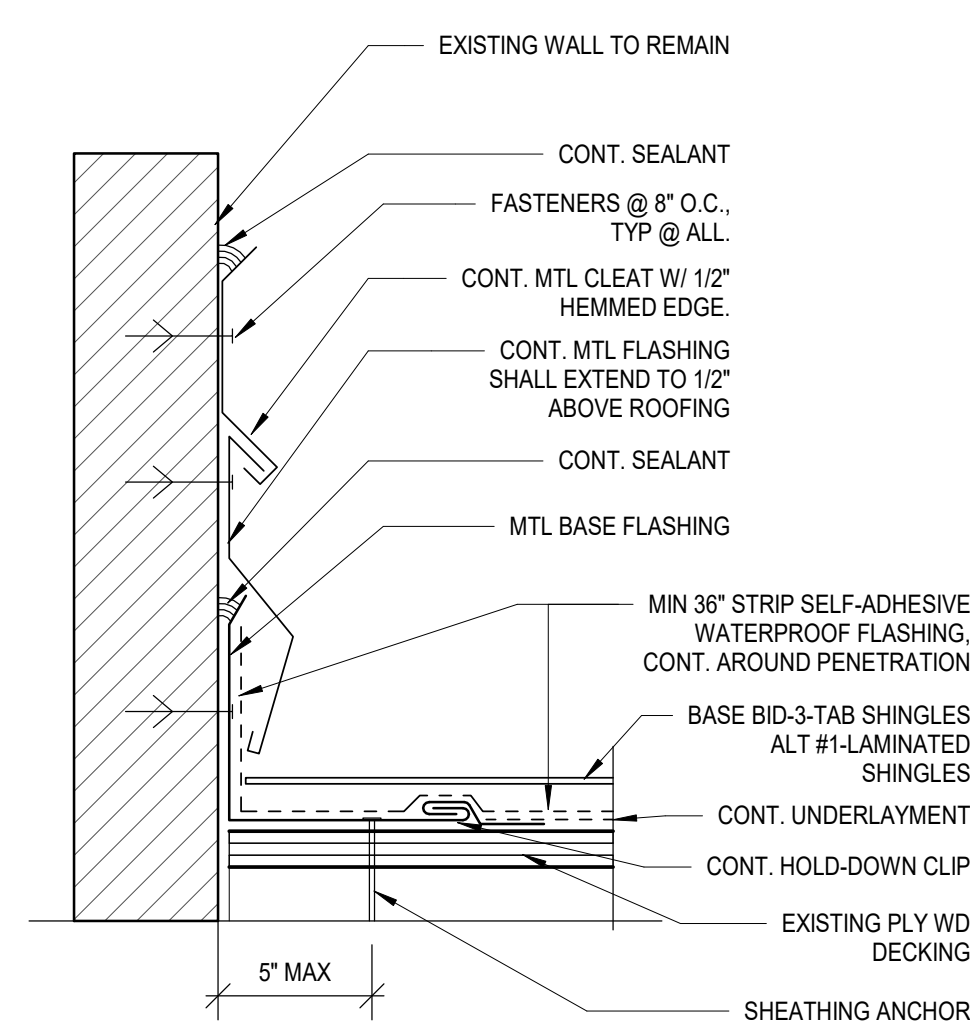
2 THRU-ROOF TURTLE VENT  
3" = 1'-0"



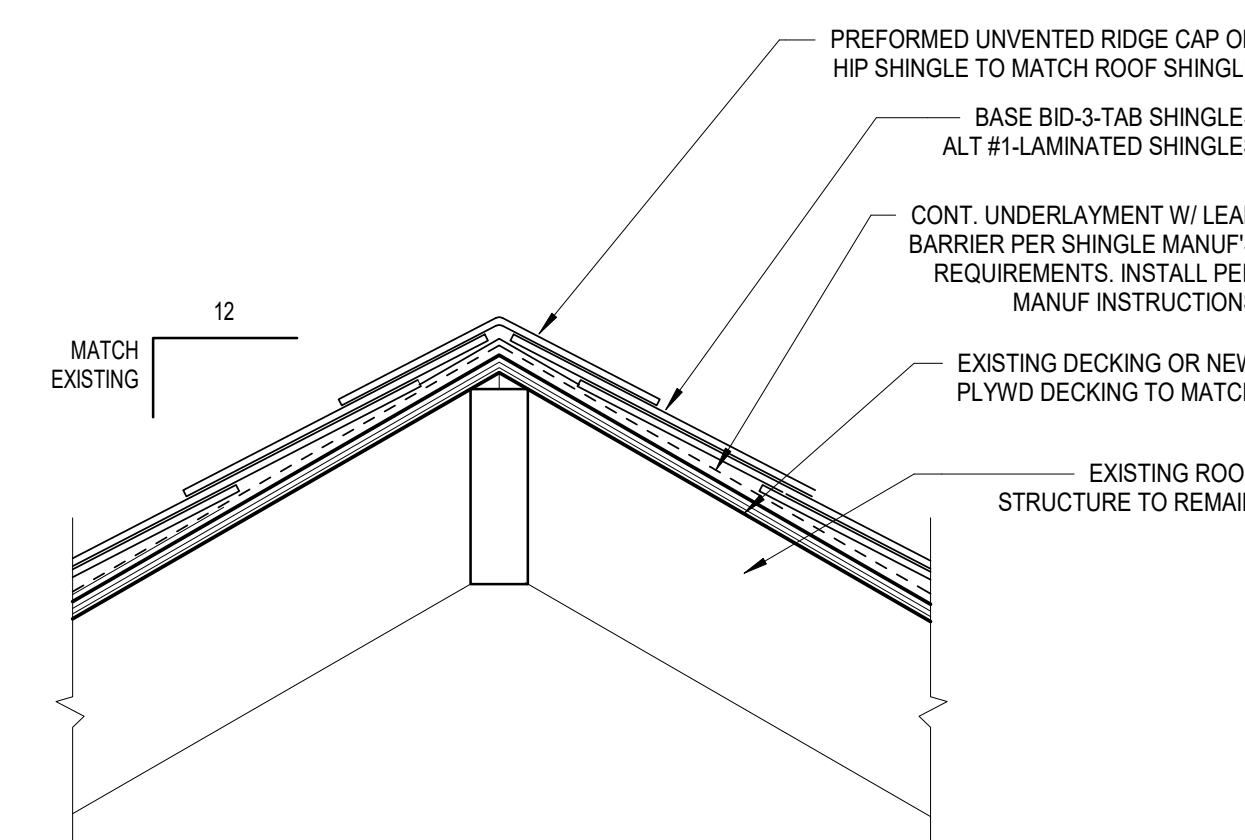
3 VTR  
3" = 1'-0"



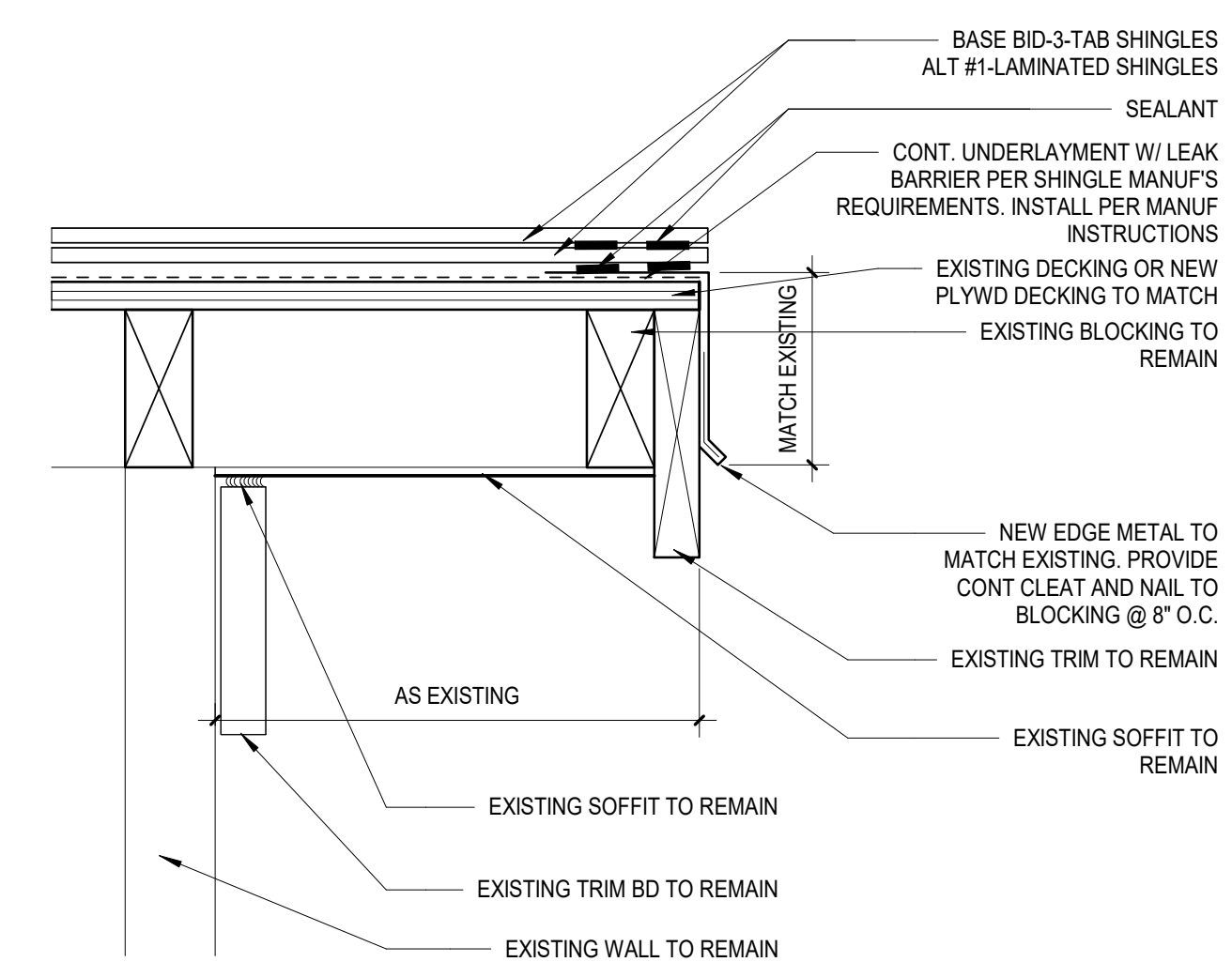
4 VALLEY FLASHING  
N.T.S.



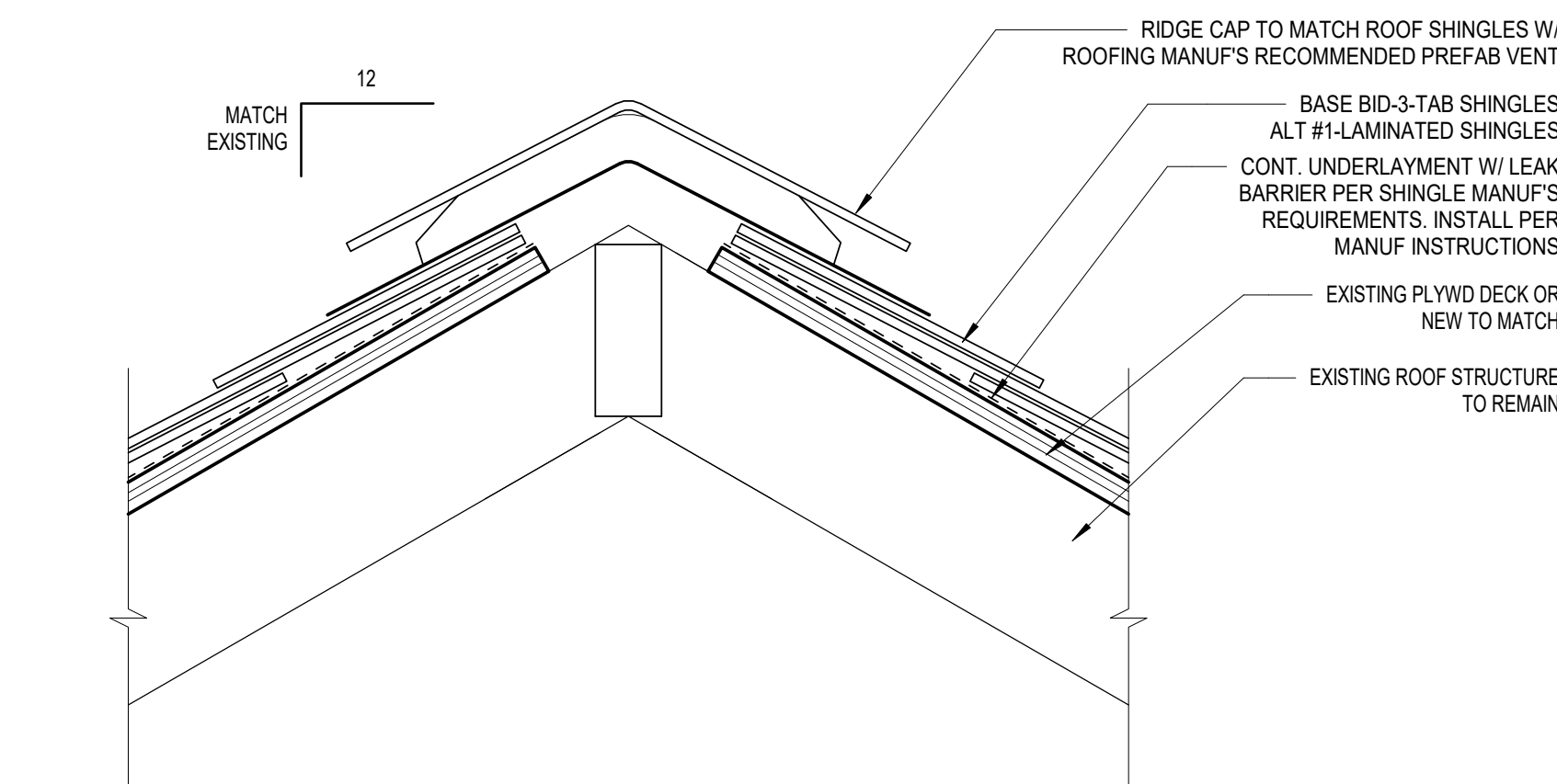
5 SHINGLE-PARAPET WALL FLASHING  
3" = 1'-0"



6 UNVENTED RIDGE OR HIP  
3" = 1'-0"



7 RAKE END  
3" = 1'-0"



8 VENTED RIDGE  
3" = 1'-0"

SHINGLE ROOF DETAILS

IFB#RRP03.21 BHA ROOF REPLACEMENT PROJECT - HURRICANE  
ZETA REPAIRS - VOLUME 8 - BAYVIEW PLACE

BILOXI HOUSING AUTHORITY

330 BENACHI AVENUE BILOXI, MS 39530

JOB NUMBER  
2021-23

DATE  
02/28/2021

REVISION  
SCN

DRAWN BY  
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IFB#RRP03.21 BHA ROOF REPLACEMENT  
PROJECT - HURRICANE ZETA - VOLUME 9 -  
SEASHORE OAKS ASSISTED LIVING FACILITY  
  
BILOXI HOUSING AUTHORITY  
330 BENACHI AVENUE BILOXI, MS 39530

VOLUME 9 - DRAWING INDEX

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A102	ROOF PLAN
A201	MODIFIED BITUMEN DETAILS
A202	SHINGLE DETAILS

PROJ #: 2021-23

IFB#RRP03.21 BHA ROOF REPLACEMENT PROJECT -  
HURRICANE ZETA - VOLUME 9 - SEASHORE OAKS  
ASSISTED LIVING FACILITY  
  
BILOXI HOUSING AUTHORITY  
330 BENACHI AVENUE BILOXI, MS 39530

DATE: 02/28/2021

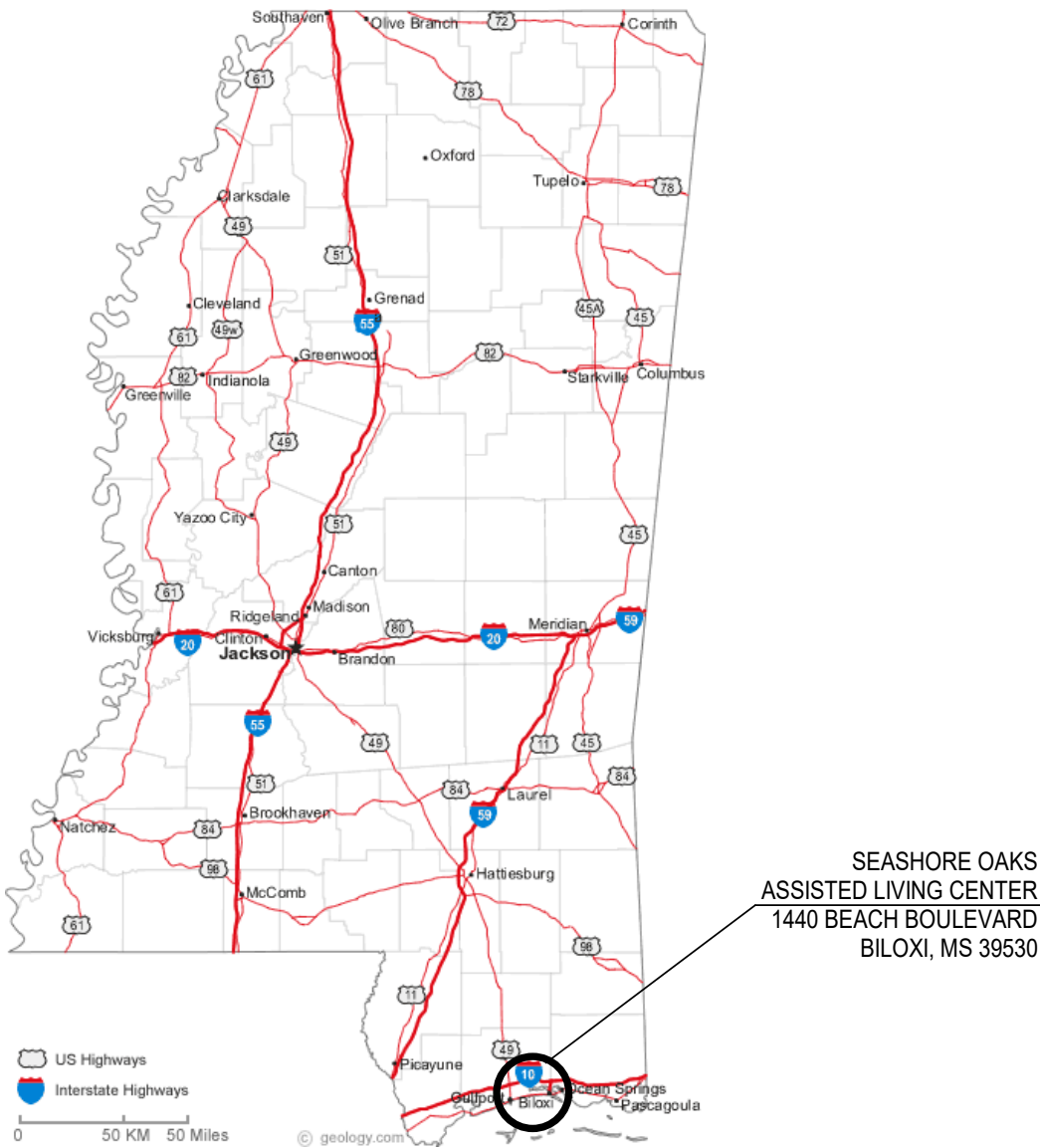
SET TYPE  
BID SET

PROJECT TEAM

ARCHITECT  
ALLRED STOLARSKI  
ARCHITECTS

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HOPPY ALLRED, AIA, PRINCIPAL  
ARCHITECT  
hoppy@allredstolarski.com

LOCATION MAP NTS



VICINITY MAP NTS



ALTERNATES

ALTERNATE #1: AN ADDITIVE ALTERNATE FOR ALL LABOR, MATERIALS, AND EQUIPMENT NECESSARY TO REROOF BUILDINGS AT BAYVIEW OAKS, COMPLETE AS INDICATED ON THE DRAWINGS AND IN ACCORDANCE WITH THE SPECIFICATIONS.

ALTERNATE #2: AN ADDITIVE ALTERNATE FOR ALL LABOR, MATERIALS, AND EQUIPMENT NECESSARY TO INSTALL A LAMINATED SHINGLE ROOF IN LIEU OF THE BASE BID 3-TAB SHINGLE ROOF, COMPLETE AS INDICATED ON THE DRAWINGS AND IN ACCORDANCE WITH THE SPECIFICATIONS.



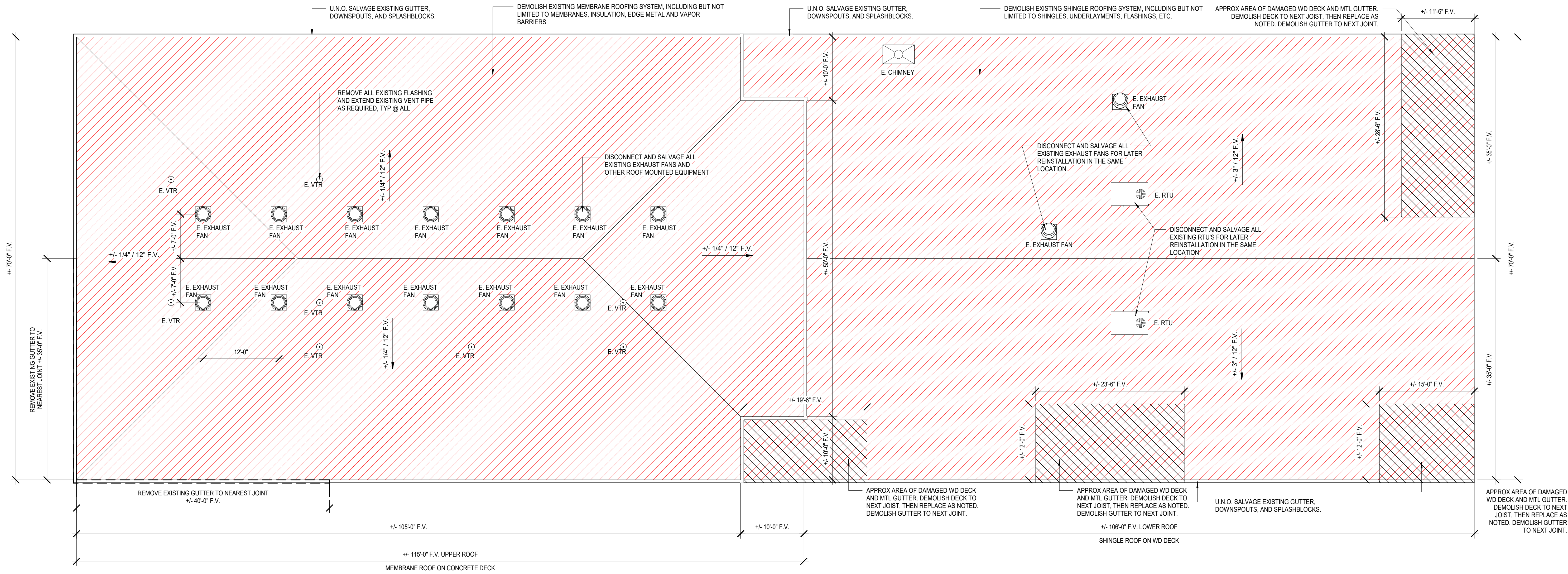
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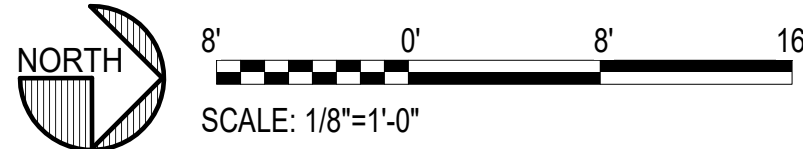
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2 DEMOLITION PLAN  
1/8" = 1'-0"



### GENERAL DEMOLITION NOTES

1. ALL INFORMATION REGARDING EXISTING CONDITIONS IS BASED ON OWNER SUPPLIED DOCUMENTS AND MAY NOT REFLECT ACTUAL FIELD CONDITIONS. UPON DISCOVERY OF ANY DISCREPANCIES BETWEEN FIELD CONDITIONS AND DRAWINGS DEPICTING EXISTING CONDITIONS OR UPON DISCOVERY OF UNKNOWN CONDITIONS DETRIMENTAL TO THE COMPLETION OF THE WORK AS INDICATED ON THE DRAWINGS, CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT IN WRITING.
2. CONTRACTOR IS RESPONSIBLE FIELD VERIFYING ALL DIMENSIONS, CONDITIONS, PENETRATIONS, ETC PRIOR TO COMMENCING WORK.
3. CONTRACTOR IS RESPONSIBLE FOR ALL SHORING AND BRACING NECESSARY TO MAINTAIN STRUCTURAL INTEGRITY. AT NO TIME SHALL THE EXISTING STRUCTURAL MEMBERS BE SUBJECTED TO CUTTING, DRILLING, OR ANY MODIFICATION PROCESS THAT MAY INTERFERE WITH ITS STRUCTURAL INTEGRITY.
4. SALVAGE IS DEFINED AS THE CAREFUL REMOVAL AND RETAINING OF ITEMS AS SHOWN IN DRAWINGS FOR POSSIBLE REUSE OR DELIVERY TO OWNER.
5. CARE SHOULD BE TAKEN AT THE INTERFACE BETWEEN DEMOLITION AND EXISTING CONSTRUCTION TO REMAIN, TO AVOID ANY DAMAGE TO EXISTING CONSTRUCTION. AFTER REMOVAL OF EXISTING ROOFING OR CONSTRUCTION, PATCH AND REPAIR DAMAGE TO ANY WALLS, SIDEWALKS, PAVING, CURBS, LANDSCAPING, ETC. TO A LIKE NEW CONDITION.
6. THE CONTRACTOR SHALL NOTIFY, COORDINATE, SCHEDULE, AND RECEIVE PRIOR PERMISSION FROM THE USING AGENCY PRIOR TO ANY SHUT DOWN OF BUILDING SERVICES AS REQUIRED TO COMPLETE THE WORK. NOTIFICATION SHALL INCLUDE LENGTH OF TIME REQUIRED TO SHUT DOWN, LENGTH OF TIME SERVICE WILL BE DISCONNECTED, AND TIME REQUIRED TO RECONNECT SERVICES. SHUT DOWN SHALL NOT OCCUR DURING BUSINESS HOURS.
7. THE EXISTING BUILDING ENVELOPE SHALL BE MAINTAINED IN A WATERTIGHT CONDITION AT ALL TIMES.
8. THE CONTRACTOR SHALL PROVIDE TEMPORARY PROTECTION AS NECESSARY AND AS REQUIRED TO SEAL OFF THE REST OF THE EXISTING BUILDING AND MAINTAIN BUILDING DURING DEMOLITION.
9. ALL DEMOLITION WORK SHALL BE EXECUTED IN CONFORMANCE WITH ALL CODES AND ORDINANCES AS SET FORTH BY ALL GOVERNING AUTHORITIES.

### ROOF DEMOLITION-SCOPE OF WORK

- A. DEMOLITION OF THE EXISTING UPPER MEMBRANE ROOF SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
  - a. DISCONNECT AND SALVAGE FOR LATER REINSTALLATION ALL ROOF-MOUNTED EXHAUST FANS.
  - b. DEMOLISH ALL EXISTING VAPOR BARRIERS, INSULATION, ROOF MEMBRANES, EDGE METAL, AND FLASHING.
  - c. INSPECT AND PATCH DECK AS REQUIRED TO ACCOMMODATE INSTALLATION OF NEW ROOF.
  - d. DEMOLISH GUTTER IN THE AREAS MARKED TO THE NEXT JOINT. SALVAGE ALL REMAINING UNDAMAGED GUTTER FOR REINSTALLATION.
  - e. CONTRACTOR SHALL INCLUDE A PRICE TO DEMOLISH 100 LF OF DOWNSPOUT.
- B. DEMOLITION OF THE EXISTING LOWER SHINGLE ROOF SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
  - a. DISCONNECT AND SALVAGE FOR LATER REINSTALLATION ALL ROOF-MOUNTED EQUIPMENT.
  - b. DEMOLISH ALL SHINGLES, VAPOR BARRIERS, DAMAGED DECK, FLASHINGS, EDGE METAL, ETC
  - c. INSPECT AND PATCH DECK, IN THE AREAS MARKED AND AS REQUIRED.
  - d. DEMOLISH GUTTER IN THE AREAS MARKED TO THE NEXT JOINT. SALVAGE ALL REMAINING GUTTER FOR REINSTALLATION.
  - e. CONTRACTOR SHALL INCLUDE A PRICE TO DEMOLISH 60 LF OF DOWNSPOUT.

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### DEMOLITION PLAN

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ZETA - VOLUME 9 - SEASHORE OAKS ASSISTED LIVING FACILITY

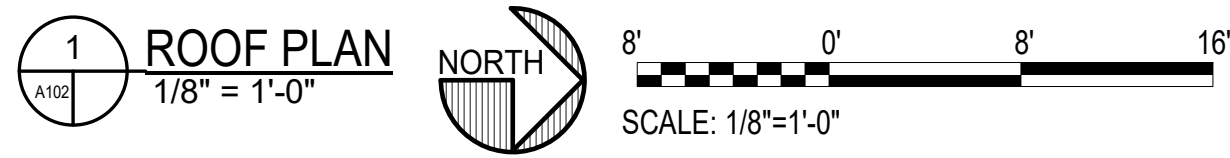
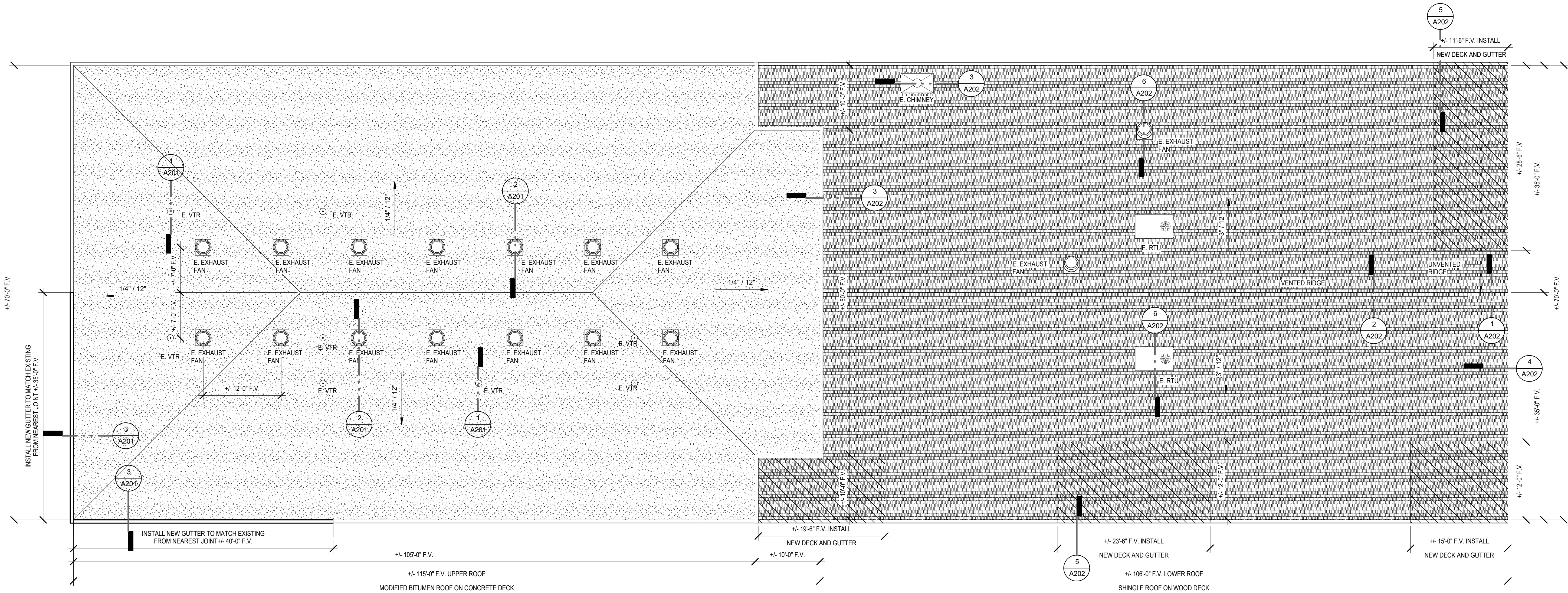
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### GENERAL REROOF NOTES

1. ALL NEW GUTTER SHALL MATCH EXISTING IN MATERIAL, FINISH, SIZE AND PROFILE.
2. ALL NEW DOWNSPOUT SHALL MATCH EXISTING IN MATERIAL, FINISH, SIZE, AND SECTION.
3. ALL NEW BLOCKING AND CURBING SHALL BE OF TRTD LUMBER.
4. NEW MODIFIED BITUMEN (UPPER) ROOF SHALL HAVE MINIMUM SLOPES AS DRAWN.
5. NEW MODIFIED BITUMEN (UPPER) ROOF SHALL HAVE ABOVE DECK INSULATION AS REQUIRED BY CODE (IBC 2018).
6. NEW SHINGLE (LOWER) ROOF SHALL HAVE SLOPE TO MATCH EXISTING.
7. NEW WOOD DECK AREAS SHALL BE PLYWOOD, THICKNESS TO MATCH EXISTING.

### REROOF-SCOPE OF WORK

- A. SCOPE OF WORK FOR THE RENOVATION OF THE MEMBRANE ROOF (UPPER) SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
- a. REBUILD OR EXTEND EXISTING CURBS TO REMAIN.
  - b. EXTEND VTR PIPING AS REQUIRED.
  - c. PATCH ALL AREAS OF ROOF DECK DAMAGE AND PREP IT FOR NEW ROOF SYSTEM.
  - d. INSTALL NEW ROOFING SYSTEM SPECIFIED, INCLUDING VAPOR BARRIERS, INSULATION, COVERBOARD, MEMBRANES, FLASHING AND EDGE METAL.
  - e. REINSTALL AND RECONNECT ALL ROOF MOUNTED EQUIPMENT. TEST ALL EQUIPMENT TO ENSURE FUNCTION.
  - f. INSTALL NEW GUTTER AS REQUIRED.
  - g. CONTRACTOR SHALL INCLUDE A PRICE TO PROVIDE AND INSTALL 100 LF OF DOWNSPOUT.
- B. SCOPE OF WORK FOR THE RENOVATION OF THE LOWER SHINGLE ROOF SHALL BE AS FOLLOWS:
- a. REBUILD OR EXTEND EXISTING CURBS TO REMAIN.
  - b. EXTEND VTR PIPING AS REQUIRED.
  - c. PATCH ALL AREAS OF ROOF DECK DAMAGE AND PREP IT FOR NEW ROOF SYSTEM.
  - d. INSTALL NEW ROOFING SYSTEM SPECIFIED, INCLUDING VAPOR BARRIERS, SHINGLES, FLASHING AND EDGE METAL.
  - e. INSTALL NEW GUTTER AS REQUIRED.
  - f. CONTRACTOR SHALL INCLUDE A PRICE TO PROVIDE AND INSTALL 60 LF OF DOWNSPOUT.

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### ROOF PLAN

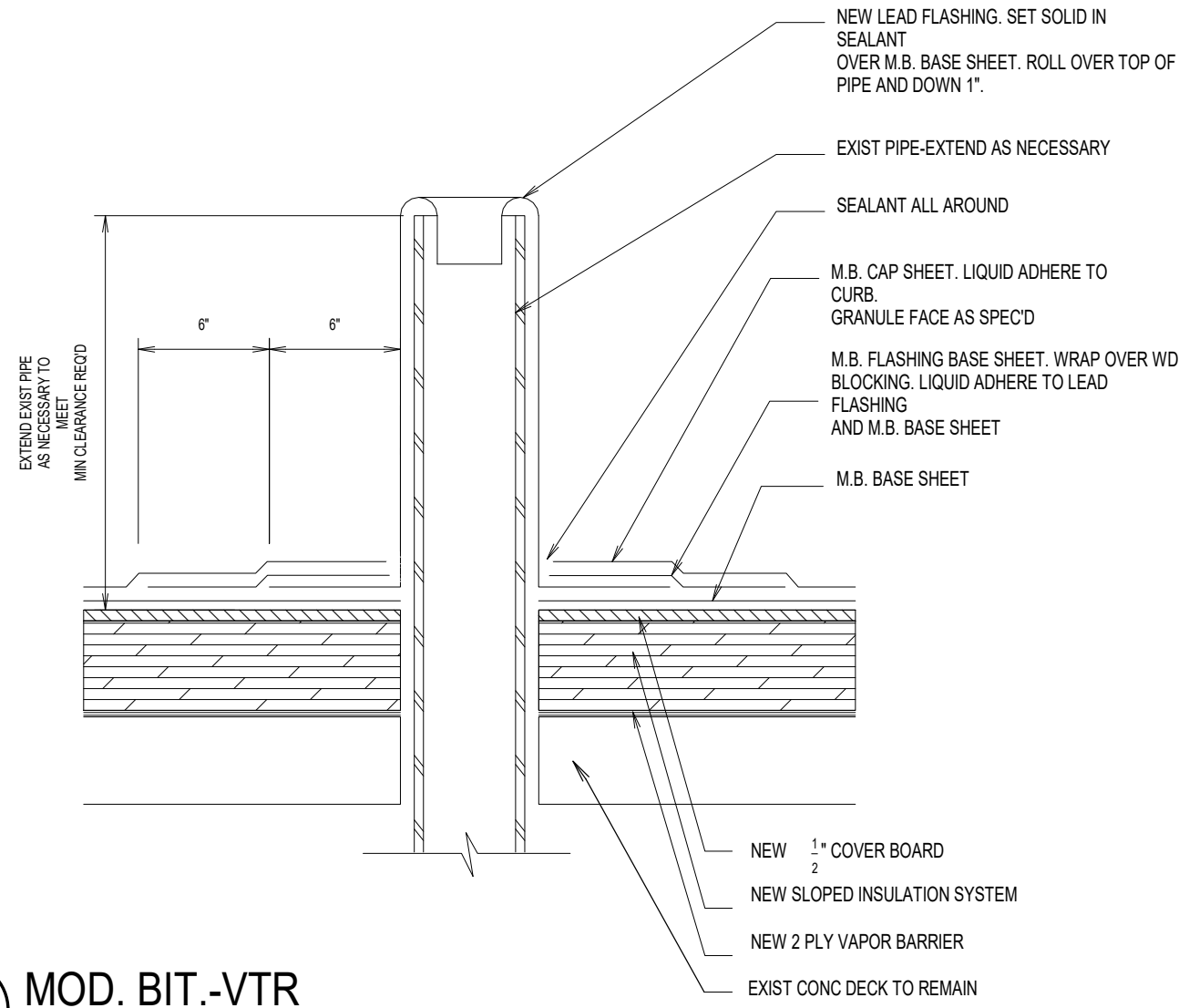
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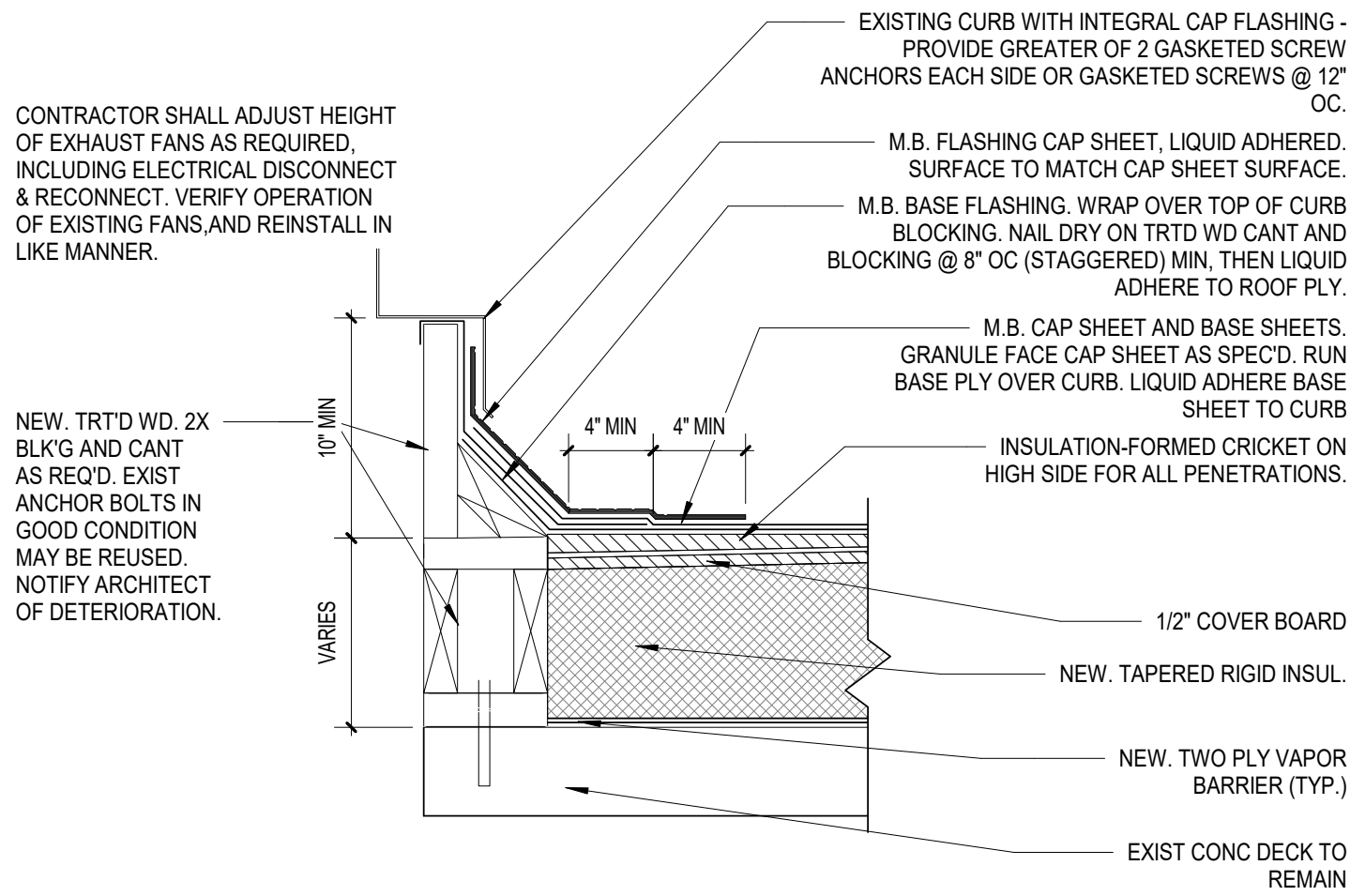
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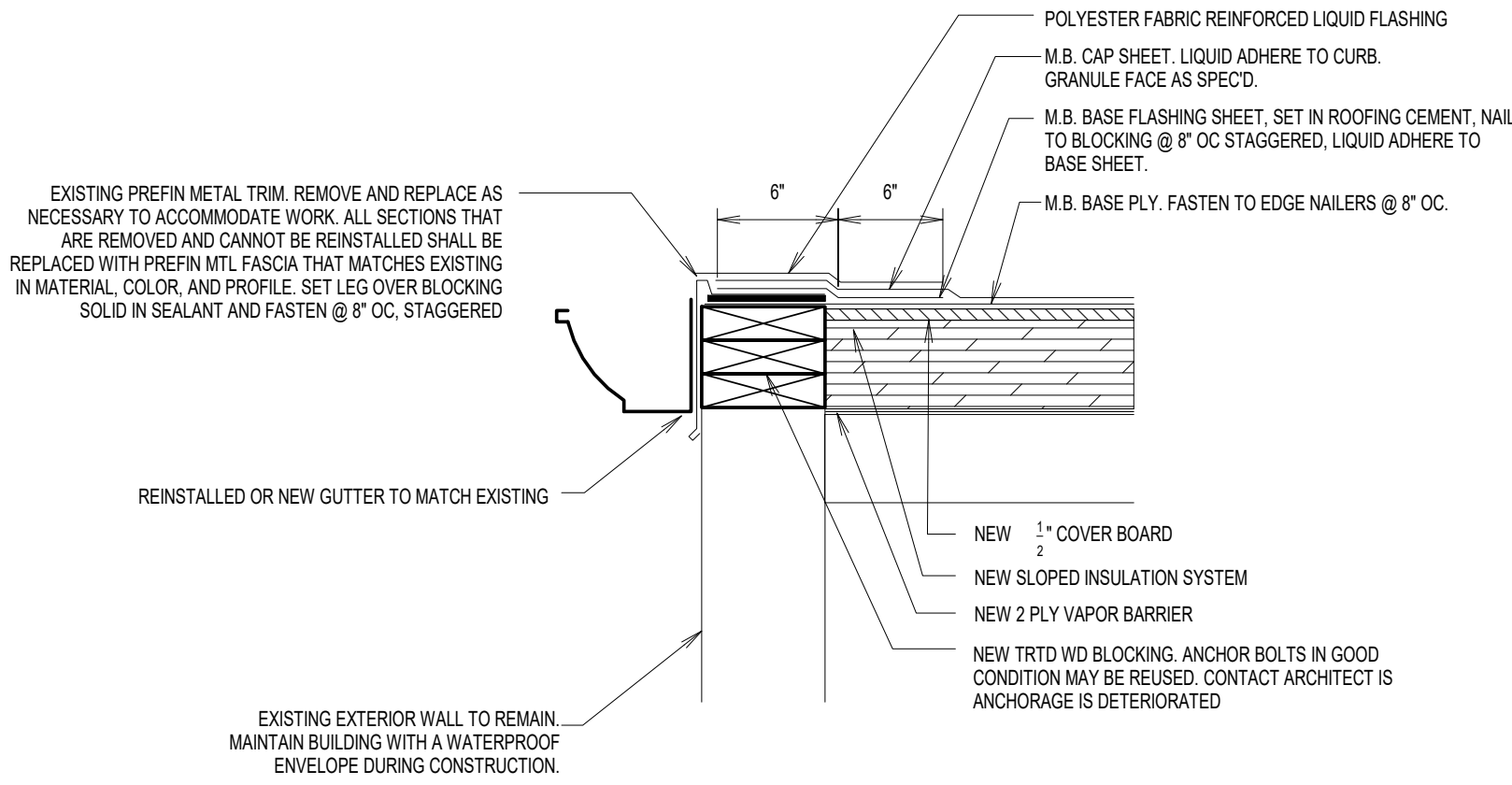




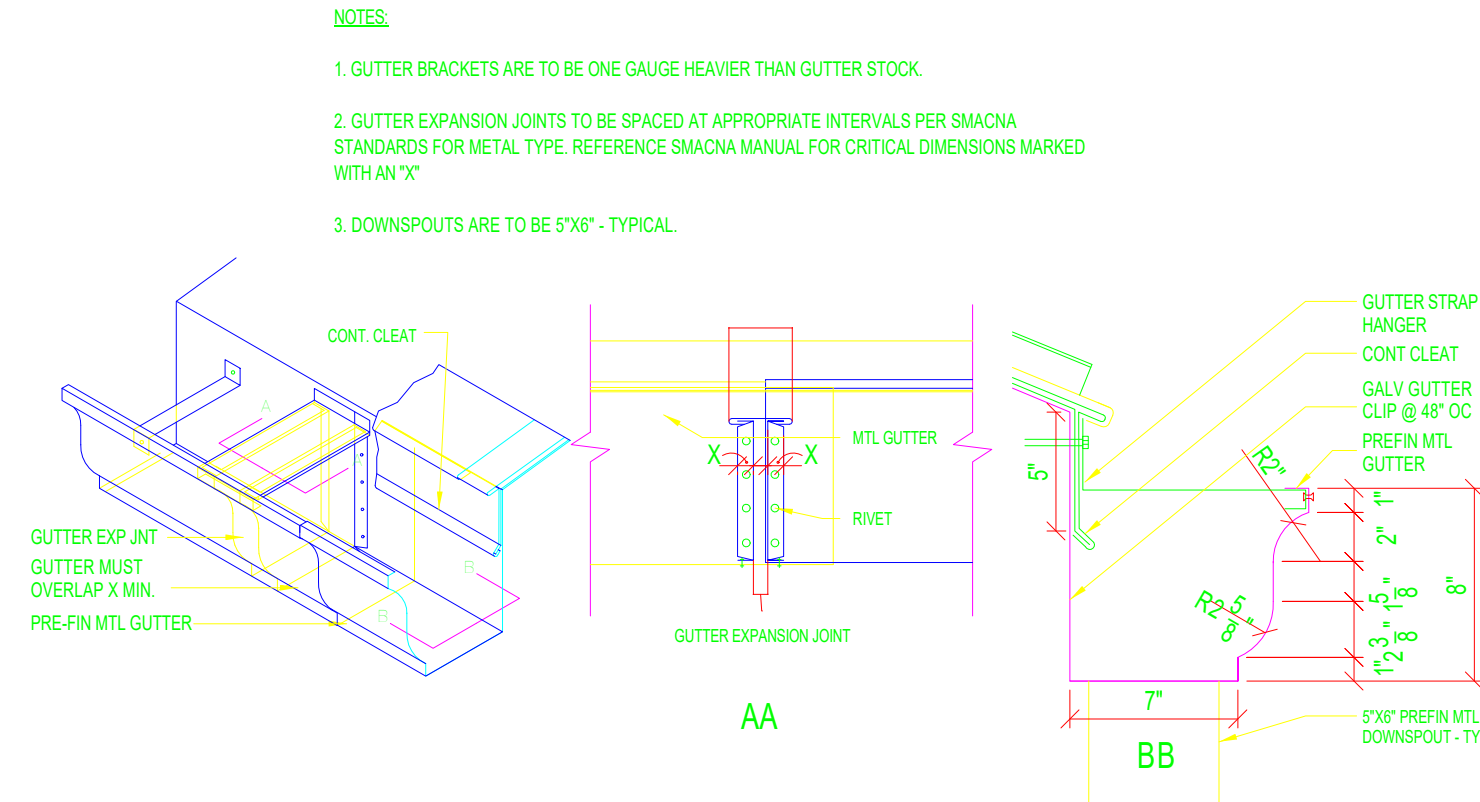
1 MOD. BIT.-VTR  
1 1/2" = 1'-0"



2 MOD. BIT.-THRU-ROOF CURB  
1 1/2" = 1'-0"



3 MOD. BIT-GUTTER  
1 1/2" = 1'-0"



4 TYP. GUTTER DETAILS  
1 1/2" = 1'-0"

NOTES:

1. GUTTER BRACKETS ARE TO BE ONE GAUGE HEAVIER THAN GUTTER STOCK.

2. GUTTER EXPANSION JOINTS TO BE SPACED AT APPROPRIATE INTERVALS PER SMACNA STANDARDS FOR METAL TYPE. REFERENCE SMACNA MANUAL FOR CRITICAL DIMENSIONS MARKED WITH AN 'X'.

3. DOWNSPOUTS ARE TO BE 5"X8" - TYPICAL.

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MODIFIED BITUMEN DETAILS

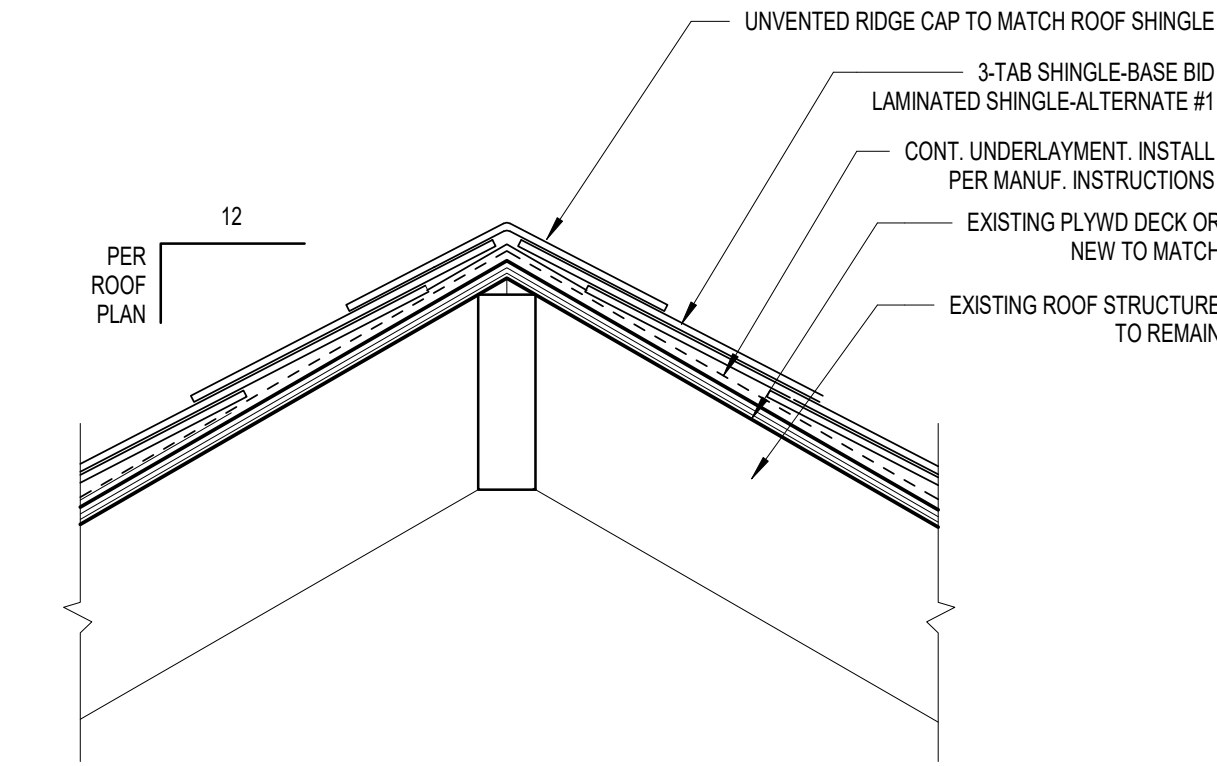
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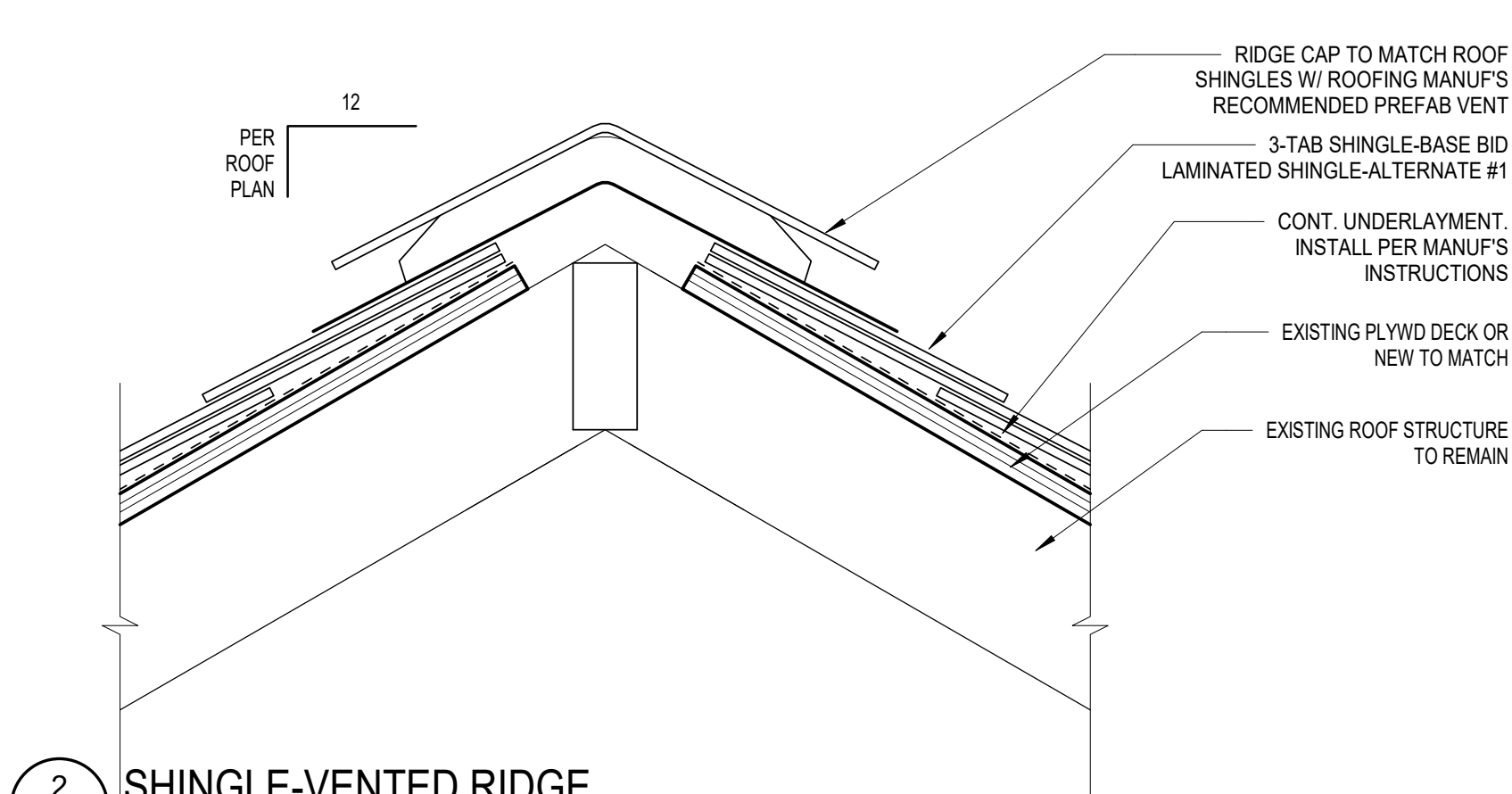
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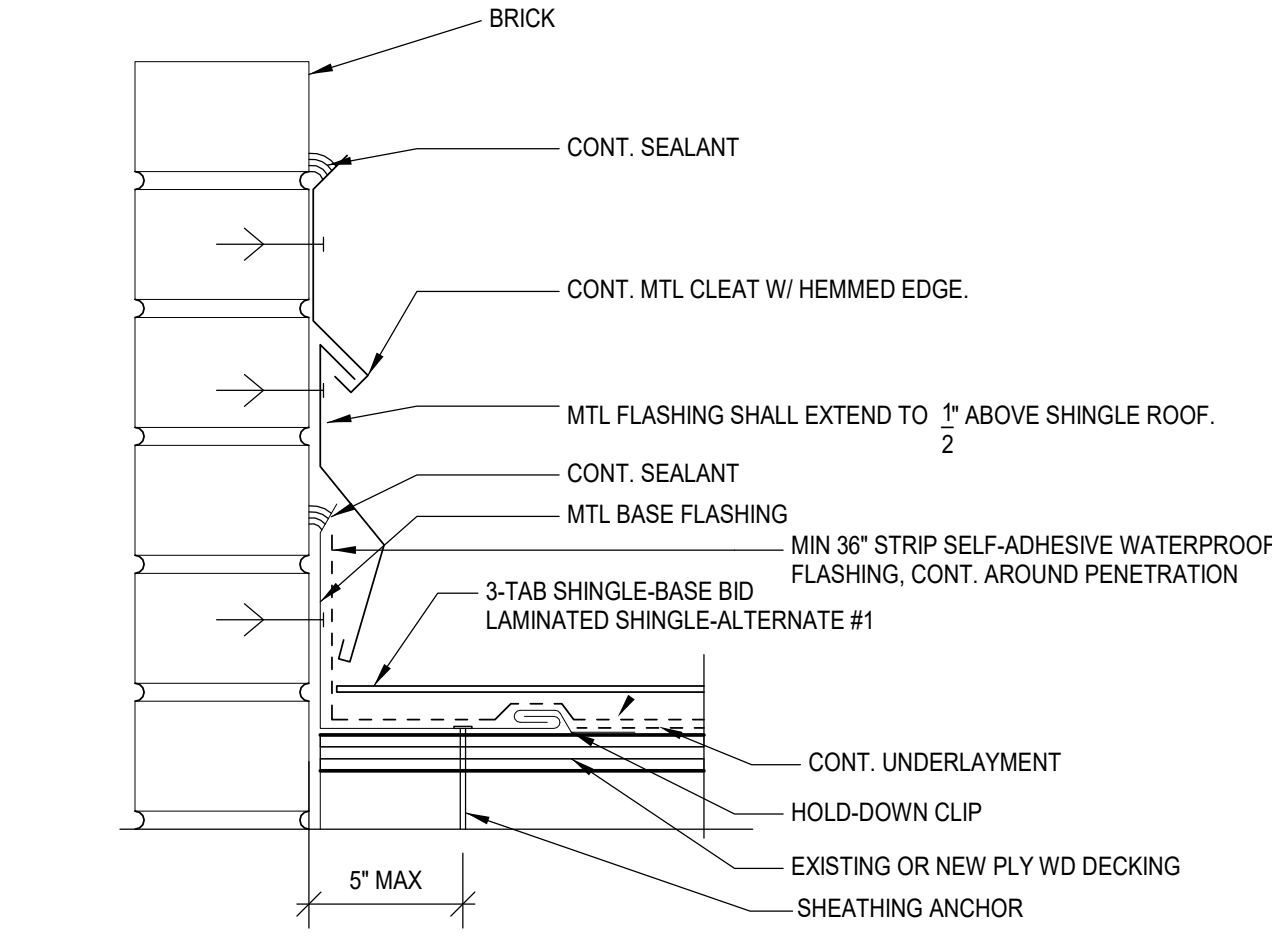




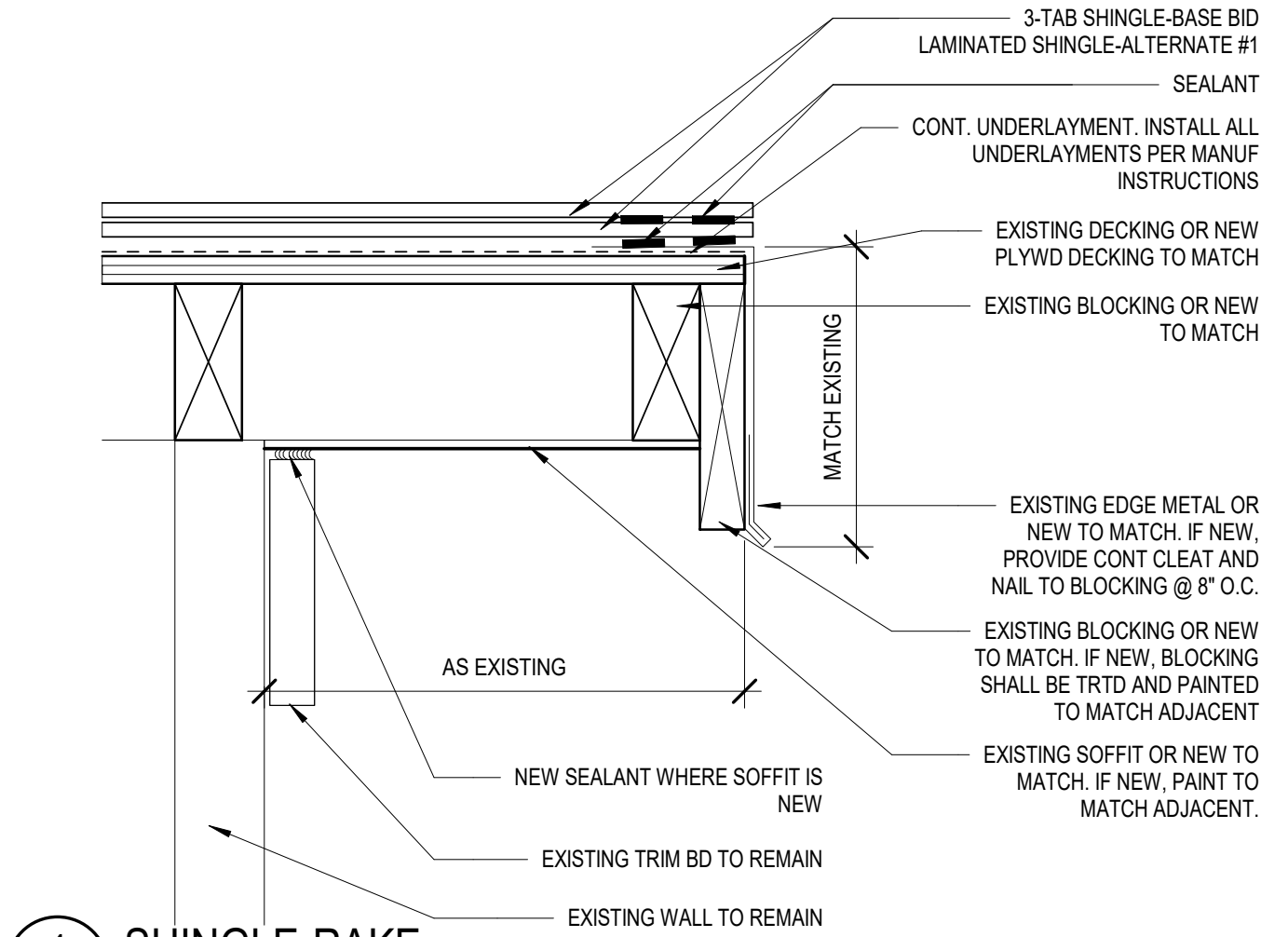
1 SHINGLE-UNVENTED RIDGE  
3" = 1'-0"



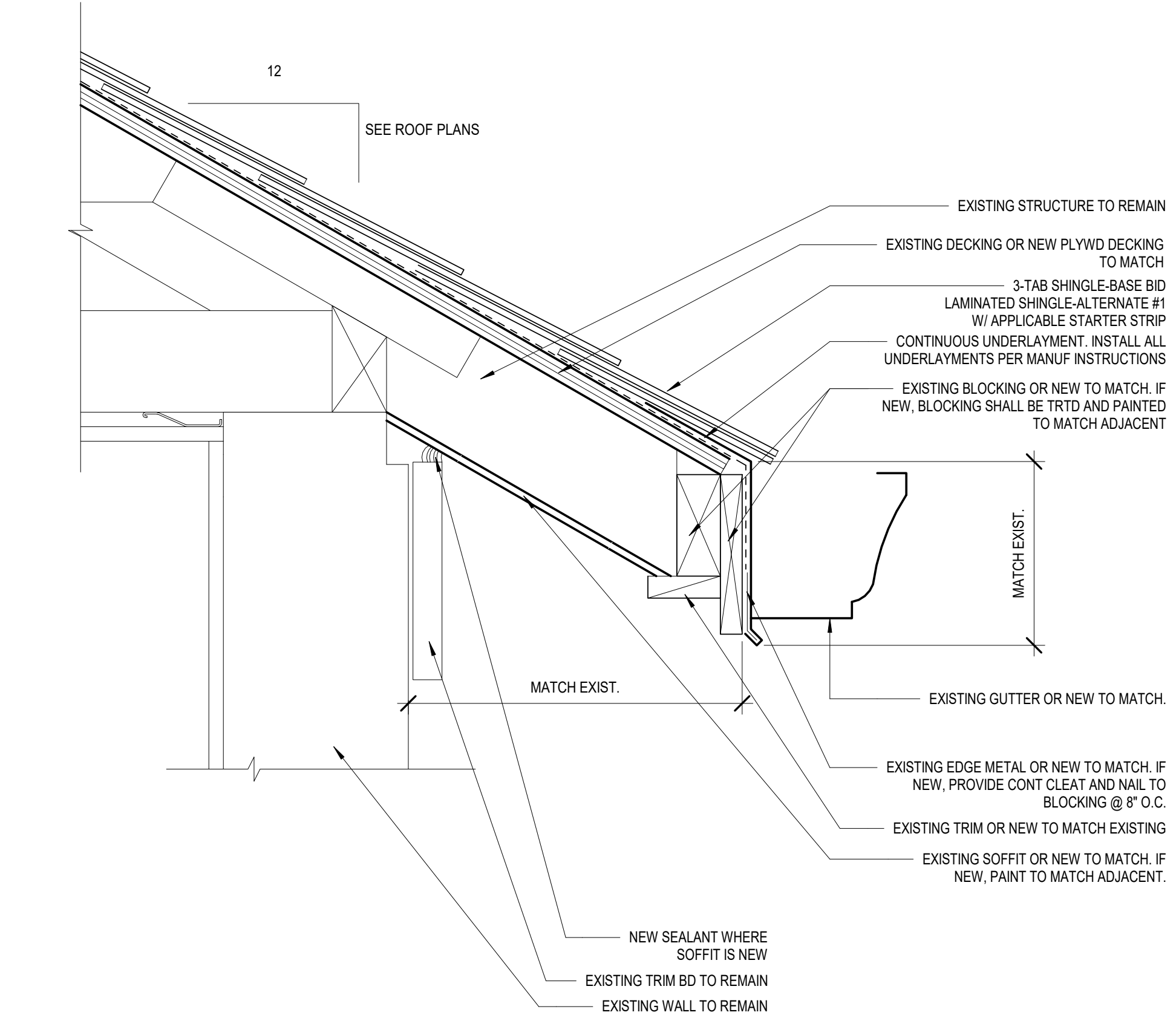
2 SHINGLE-VENTED RIDGE  
3" = 1'-0"



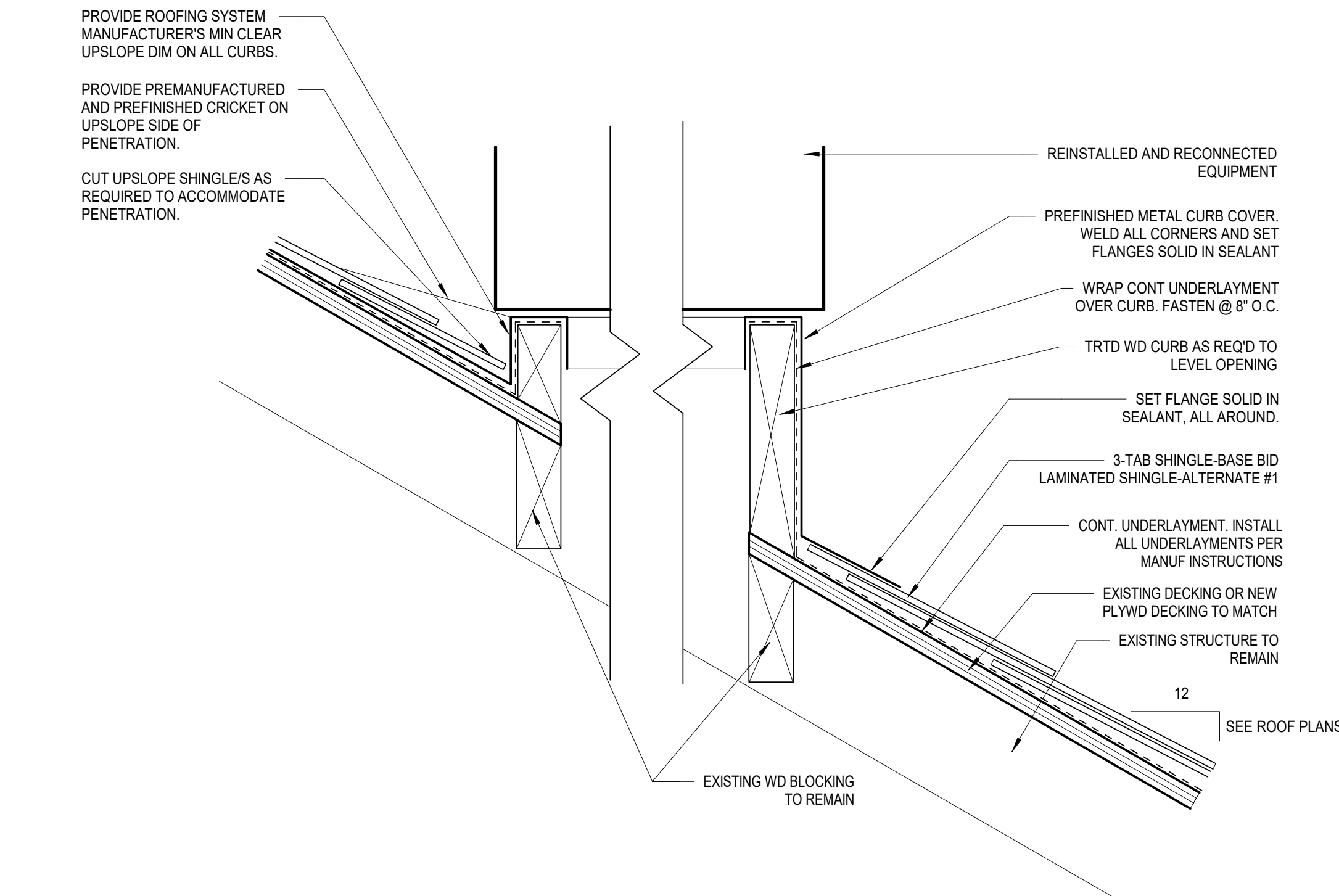
3 SHINGLE-PARAPET WALL FLASHING  
3" = 1'-0"



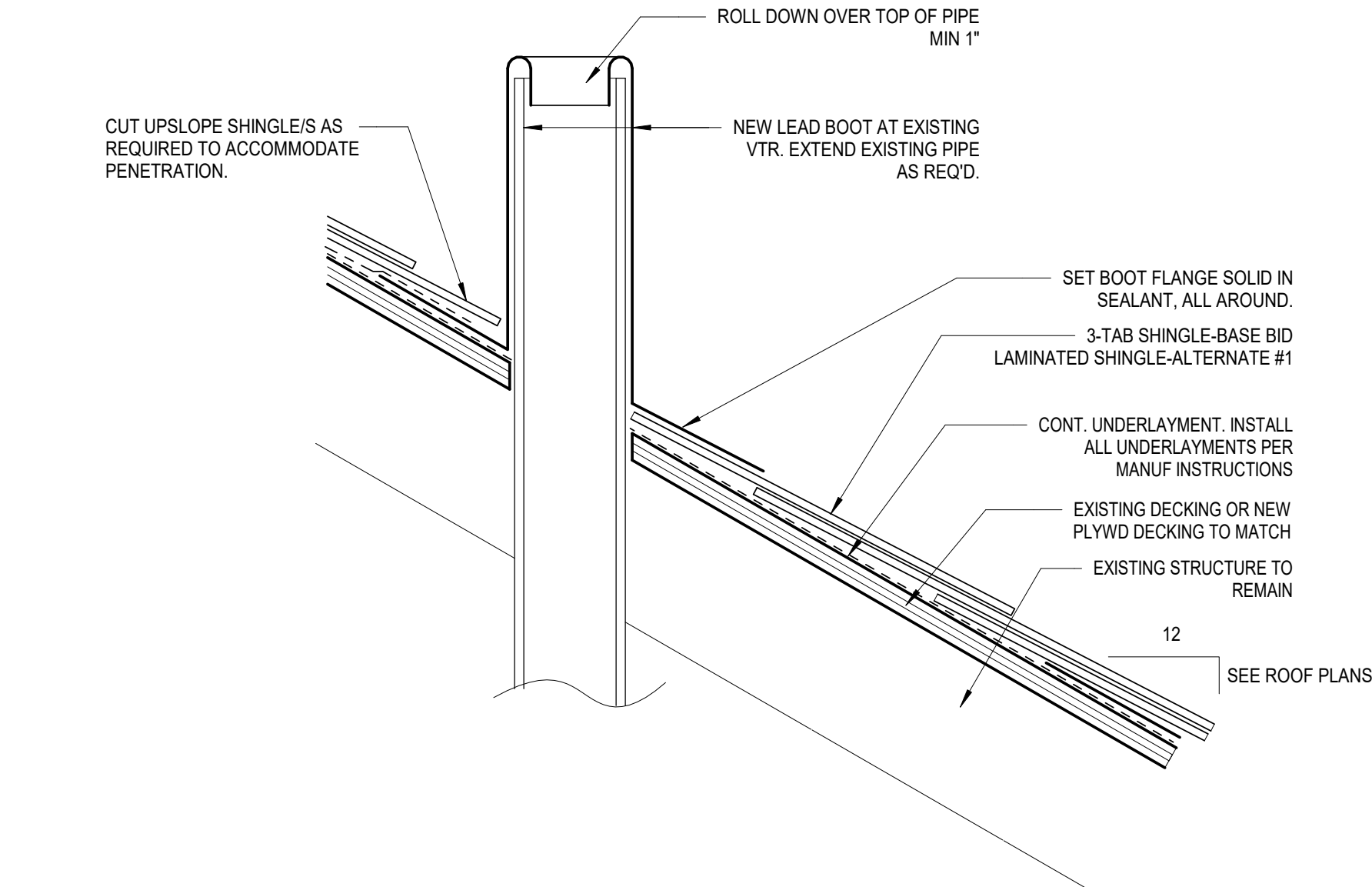
4 SHINGLE-RAKE  
3" = 1'-0"



5 SHINGLE-GUTTER  
3" = 1'-0"



6 SHINGLE-THRU-ROOF CURB  
3" = 1'-0"



7 SHINGLE-VTR  
3" = 1'-0"

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