IFB#RRP03.21 BHA ROOF REPLACEMENT PROJECT-HURRICANE ZETA REPAIRS

BILOXI HOUSING AUTHORITY 330 BENACHI AVENUE BILOXI, MS 39530

ALTERNATES

WITH THE SPECIFICATIONS.

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stolarski

architects

<u>PROJ #:</u> 2021-23

IFB#RRP03.21 BHA ROOF REPLACEMENT **PROJECT-HURRICANE ZETA REPAIRS**

BILOXI HOUSING AUTHORITY 330 BENACHI AVENUE BILOXI, MS 39530

DATE: 02/28/2021

SET TYPE BID SET

PROJECT TEAM ARCHITECT ALLRED STOLARSKI ARCHITECTS

711 CHURCH STREET OCEAN SPRINGS, MS 39564 **T (**228) 762-1975 HOPPY ALLRED, AIA, PRINCIPAL ARCHITECT hoppy@allredstolarski.com

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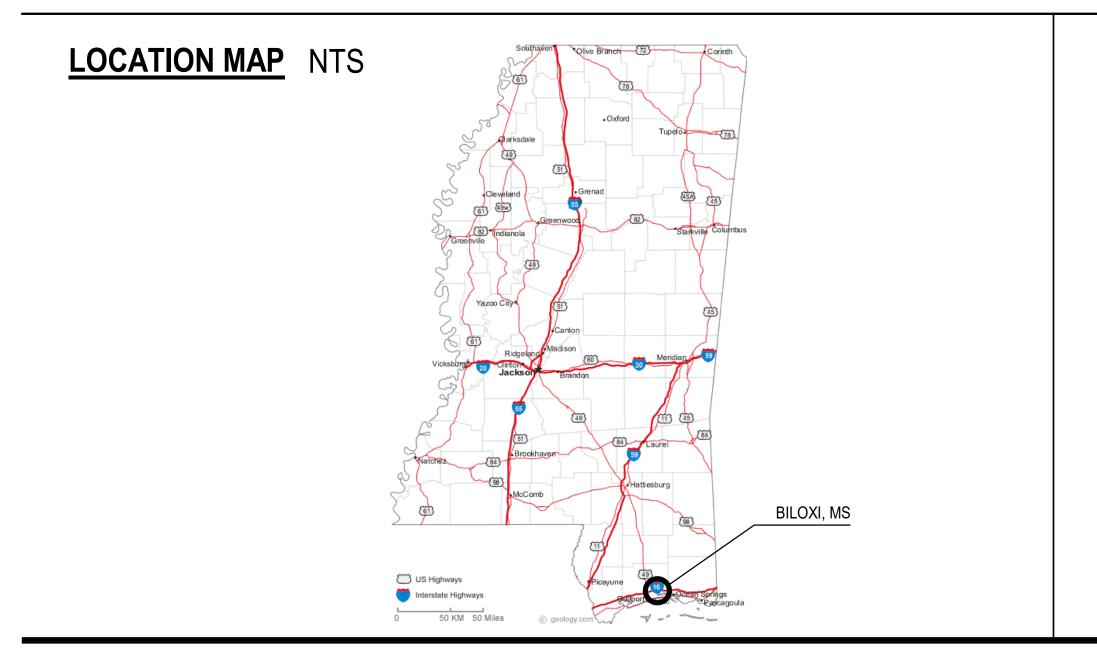
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711 Church Street Ocean Springs, MS 39564

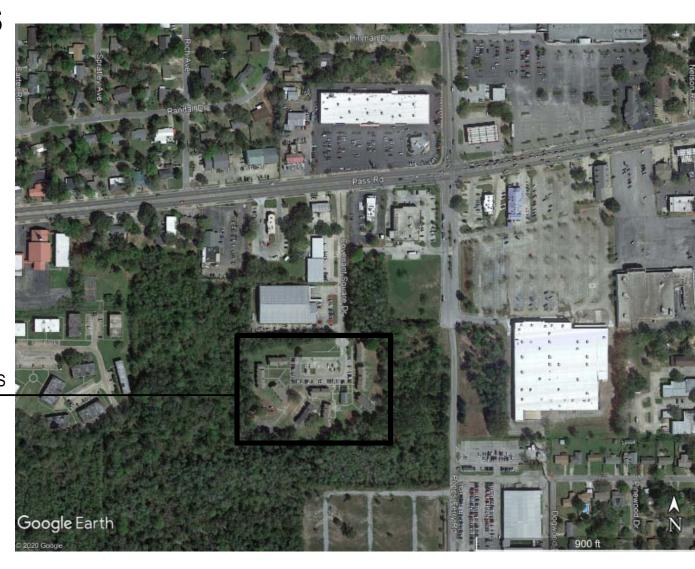
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ALTERNATES WITH THE SPECIFICATIONS.



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PROJ #: 2021-23

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SHINGLE ROOF IN LIEU OF THE BASE BID 3-TAB SHINGLE ROOF, COMPLETE AS INDICATED ON THE DRAWINGS AND IN ACCORDANCE

allred stolarski architects



711 Church Street Ocean Springs, MS 39564

GENERAL WORK NOTES

- SITE ADDRESS: 270 COVENANT SQUARE DRIVE, BILOXI, MS 39531 ALL INFORMATION REGARDING EXISTING CONDITIONS IS BASED ON OWNER SUPPLIED DOCUMENTS AND MAY NOT REFLECT ACTUAL FIELD CONDITIONS. UPON DISCOVERY OF ANY DISCREPANCIES BETWEEN FIELD CONDITIONS AND DRAWINGS DEPICTING EXISTING CONDITIONS OR UPON DISCOVERY OF UNKNOWN CONDITIONS DETRIMENTAL TO THE COMPLETION OF THE WORK AS INDICATED ON THE DRAWINGS, CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT IN WRITING.
- CONTRACTOR IS RESPONSIBLE FOR ALL SHORING AND BRACING NECESSARY TO 3. MAINTAIN STRUCTURAL INTEGRITY. AT NO TIME SHALL THE EXISTING STRUCTURAL MEMBERS BE SUBJECTED TO CUTTING, DRILLING, OR ANY MODIFICATION PROCESS THAT MAY INTERFERE WITH ITS STRUCTURAL INTEGRITY.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL 4. DIMENSIONS AND CONDITIONS IN FIELD PRIOR TO BIDDING.
- SALVAGE IS DEFINED AS THE CAREFUL REMOVAL AND RETAINING OF ITEMS AS SHOWN IN DRAWINGS FOR POSSIBLE REUSE OR DELIVERY TO OWNER
- CARE SHOULD BE TAKEN AT THE INTERFACE BETWEEN DEMOLITION AND EXISTING CONSTRUCTION TO REMAIN, TO AVOID ANY DAMAGE TO EXISTING CONSTRUCTION. AFTER REMOVAL OF EXISTING ROOFING OR CONSTRUCTION, PATCH AND REPAIR DAMAGE TO ANY EXISTING, WALLS, SIDEWALKS, PAVING, CURBS, LANDSCAPING, ETC. TO A LIKE NEW CONDITION.
- 7. THE CONTRACTOR SHALL NOTIFY, COORDINATE, SCHEDULE, AND RECEIVE PRIOR PERMISSION FROM THE USING AGENCY PRIOR TO ANY SHUT DOWN OF BUILDING SERVICES AS REQUIRED TO COMPLETE THE WORK. NOTIFICATION SHALL INCLUDE LENGTH OF TIME REQUIRED TO SHUT DOWN, LENGTH OF TIME SERVICE WILL BE DISCONNECTED, AND TIME REQUIRED TO RECONNECT SERVICES. SHUT DOWN SHALL NOT OCCUR DURING BUSINESS HOURS. 8. THE EXISTING BUILDING ENVELOPE SHALL BE MAINTAINED IN A WATERTIGHT
- CONDITION AT ALL TIMES. THE CONTRACTOR SHALL PROVIDE TEMPORARY PROTECTION AS NECESSARY AND 9. AS REQUIRED TO SEAL OFF THE REST OF THE EXISTING BUILDING AND MAINTAIN
- BUILDING DURING DEMOLITION. 10. ALL DEMOLITION WORK SHALL BE EXECUTED IN CONFORMANCE WITH ALL CODES
- AND ORDINANCES AS SET FORTH BY ALL GOVERNING AUTHORITIES. 11. ALL NEW DOWNSPOUTS AND GUTTERS SHALL MATCH THE SIZE, MATERIAL, AND FINISH OF EXISTING DOWNSPOUTS AND GUTTERS THAT SHALL BE DEMOLISHED. ALL GUTTERS SHALL BE BOX PROFILE. ALL DOWNSPOUTS SHALL BE PLAIN RECTANGULAR SECTION.

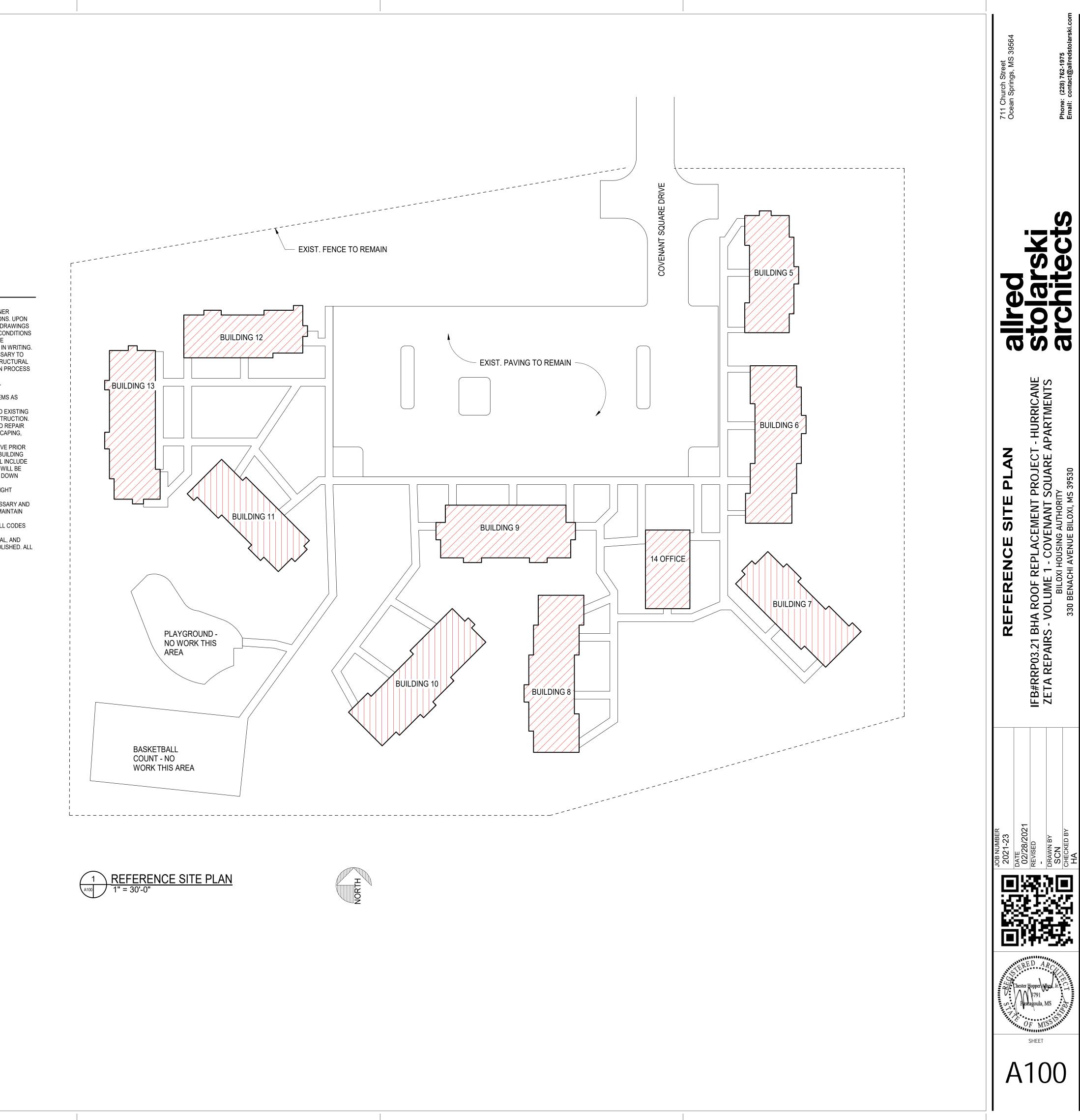
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STREET OR BUILDING NUMBER



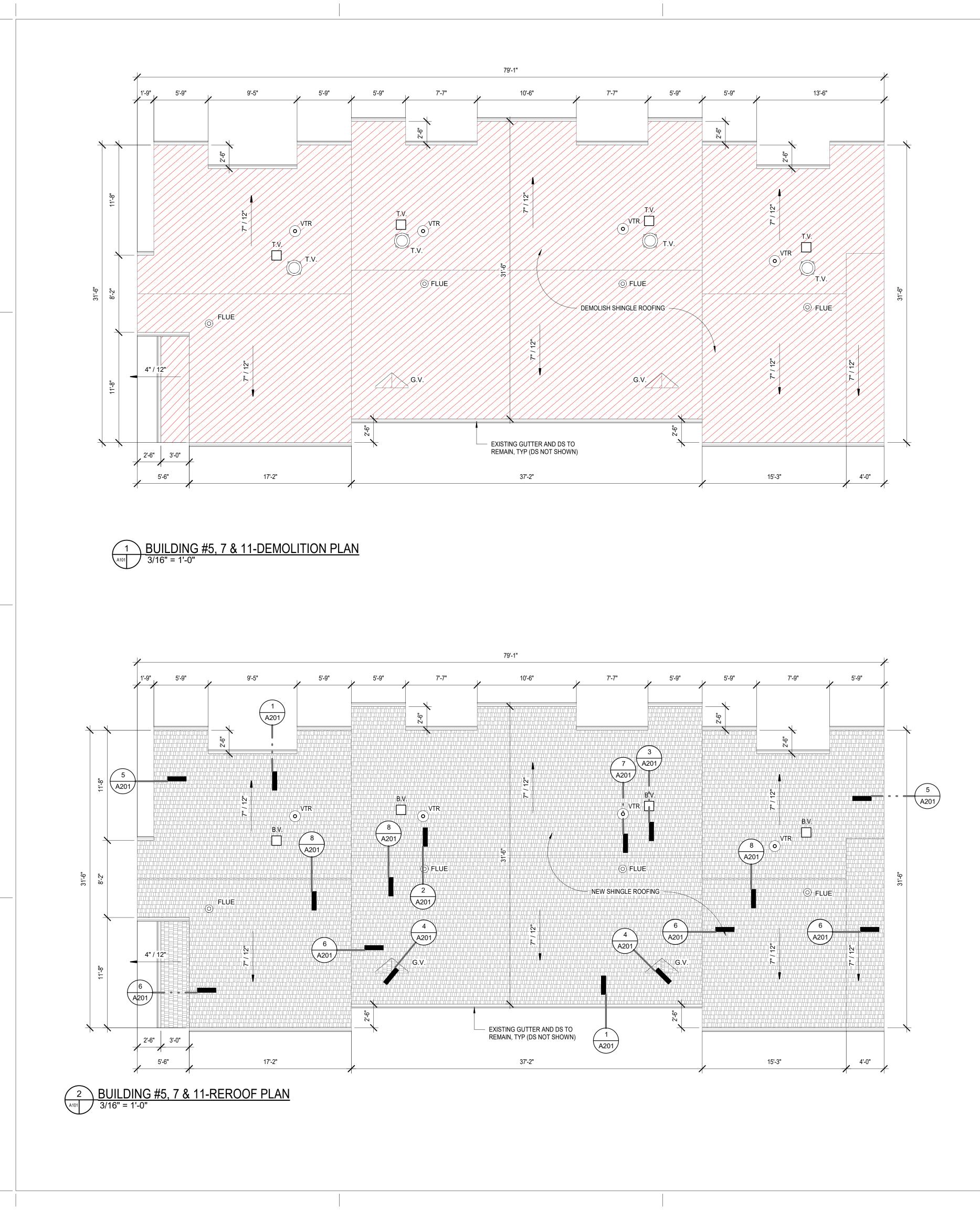
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SCOPE OF WORK BUILDINGS #5, 7, & #11 - DEMOLITION NOTES

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D.	CONTRACTOR SHALL
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E.	CONTRACTOR SHALL
F.	CONTRACTOR SHALL F
G.	CONTRACTOR SHALL F
Н.	CONTRACTOR SHALL F
	INCLUDING STRAPS, M
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	EXISTING STEPPED TH
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L.	CONTRACTOR SHALL F
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T.V.	TURBIN DEMOL ABANDO PENETF
T.V.	TURTLE DEMOLI IN EXIS
G.V.	GABLE PROTEC

SCOPE OF WORK BUILDINGS #5, 7, & 11 - REROOF NOTES

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	DECK AREA, WHERE E
	ABANDONED.
В.	CONTRACTOR SHALL
C.	CONTRACTOR SHALL
D.	CONTRACTOR SHALL
E.	CONTRACTOR SHALL
F.	CONTRACTOR SHALL
G.	CONTRACTOR SHALL
Η.	CONTRACTOR SHALL

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- RK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING: L DEMOLISH ALL EXISTING SHINGLE ROOFING MATERIAL.
- DEMOLISH ALL EXISTING UNDERLAYMENTS. DEMOLISH ALL PIPE BOOTS, CRICKETS AND OTHER PENETRATION FLASHINGS.
- DEMOLISH ALL TURBINE VENTS, ASSOCIATED CRICKETS AND CURBS, THEN ABANDON THE
- ATCH THE DECK.
- L DEMOLISH ALL TURTLE VENTS, THEN PREP THE ROOF OPENING FOR A NEW VENT. L RETAIN IN PLACE ALL EXISTING GAS FLUES AND VTR'S. RETAIN IN PLACE ALL GABLE VENTS.
- L REMOVE AND SALVAGE FOR REINSTALLATION ALL EXISTING GUTTERS AND DOWNSPOUTS, MOUNTINGS, AND OTHER ACCESSORIES. CLEAN THE GUTTERS OF TRASH AND DEBRIS.
- DEMOLISH ALL EAVE AND RAKE TRIM.
- DEMOLISH ALL FLASHINGS AND COUNTER FLASHINGS NOT OTHERWISE NOTED TO REMAIN. HRU-WALL FLASHING SHALL REMAIN IN PLACE AND SHALL BE REUSED. DEMOLISH 5% OF THE EXISTING 5/8" CDX ROOF DECK. AREAS TO BE DEMOLISHED WILL BE ARCHITECT IN THE FIELD. PREPARE THE DECK FOR NEW WORK.
- CONDITION SHALL REMAIN IN PLACE AND SHALL BE REUSED

LITION MARK

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EXISTING FLUE WITH TO REMAIN IN PLACE. IDE NEW BOOT.

- NE VENT-EXISTING LISH & PATCH
- ONED DECK RATION.
- LE VENT EXISTING. DLISH AND PROVIDE NEW ISTING LOCATION.

VENT - EXISTING. ECT AND RETAIN IN PLACE

HALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING: PROVIDE AND INSTALL NEW 5/8" CDX ROOF DECK OVER 5% OF THE EXISTING EXISTING DECK HAS BEEN DEMOLISHED OR WHERE PENETRATIONS ARE

- PROVIDE AND INSTALL NEW UNDERLAYMENT AS SPECIFIED AND DETAILED.
- PROVIDE AND INSTALL NEW TURTLE VENTS IN LOCATIONS DRAWN.
- . PROVIDE AND INSTALL NEW FLASHING AT GAS FLUES AND VTR'S. PROVIDE AND INSTALL NEW ROOF SHINGLES AS SPECIFIED AND DETAILED.
- L PROVIDE AND INSTALL NEW RAKE AND EAVE TRIM. L PROVIDE AND INSTALL NEW COUNTERFLASHING / THRU-WALL FLASHING.
- L REINSTALL SALVAGED GUTTERS AND DOWNSPOUTS.



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ROJECT - HURRICANE MOLITION $\overline{}$ 7 & OOF 5, ™R BUILDINGS #5 REF IFB#RRP03.21 BHA ROOF ZETA REPAIRS - VOLUME ſ

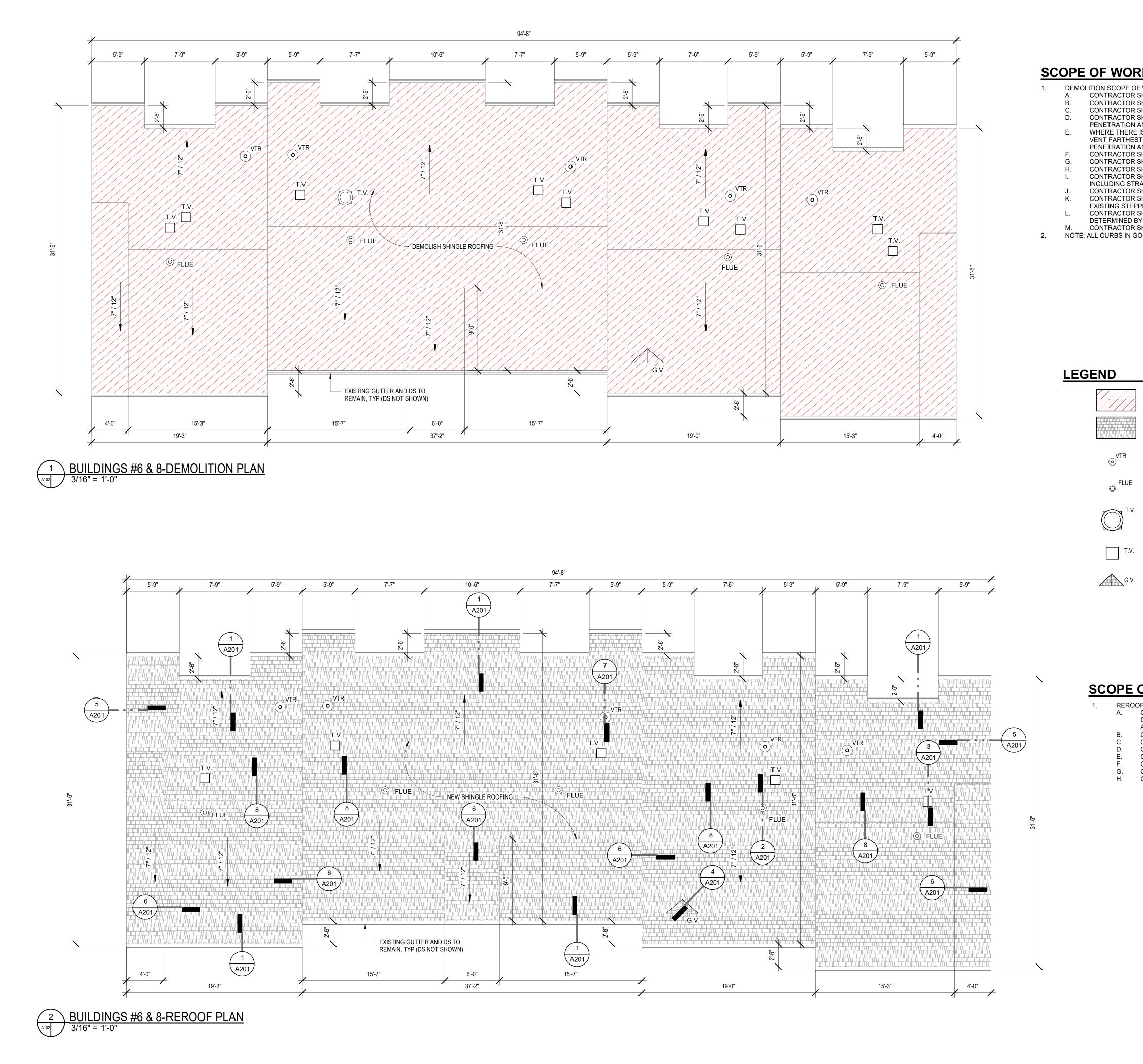
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Π T.V.

SCOPE OF WORK BUILDINGS #6 & #8 - DEMOLITION NOTES

DEMOLITION SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:

CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE ROOFING MATERIAL. CONTRACTOR SHALL DEMOLISH ALL EXISTING UNDERLAYMENTS.

CONTRACTOR SHALL DEMOLISH ALL PIPE BOOTS, CRICKETS AND OTHER PENETRATION FLASHINGS.

CONTRACTOR SHALL DEMOLISH ALL TURBINE VENTS, ASSOCIATED CRICKETS AND CURBS, THEN ABANDON THE PENETRATION AND PATCH THE DECK.

WHERE THERE IS MORE THAN 1 TURTLE VENT PER UNIT ATTIC AREA, CONTRACTOR SHALL DEMOLISH THE TURTLE VENT FARTHEST FROM THE RIDGE, ALONG WITH ALL ASSOCIATED CRICKETS AND CURBS, THEN ABANDON THE

PENETRATION AND PATCH THE DECK. CONTRACTOR SHALL DEMOLISH ALL TURTLE VENTS, THEN PREP THE ROOF OPENING FOR A NEW VENT. CONTRACTOR SHALL RETAIN IN PLACE ALL EXISTING GAS FLUES AND VTR'S.

CONTRACTOR SHALL RETAIN IN PLACE ALL GABLE VENTS.

CONTRACTOR SHALL REMOVE AND SALVAGE FOR REINSTALLATION ALL EXISTING GUTTERS AND DOWNSPOUTS, INCLUDING STRAPS, MOUNTINGS, AND OTHER ACCESSORIES. CLEAN THE GUTTERS OF TRASH AND DEBRIS. CONTRACTOR SHALL DEMOLISH ALL EAVE AND RAKE TRIM.

CONTRACTOR SHALL DEMOLISH ALL FLASHINGS AND COUNTER FLASHINGS NOT OTHERWISE NOTED TO REMAIN. EXISTING STEPPED THRU-WALL FLASHING SHALL REMAIN IN PLACE AND SHALL BE REUSED. CONTRACTOR SHALL DEMOLISH 5% OF THE EXISTING 5/8" CDX ROOF DECK. AREAS TO BE DEMOLISHED WILL BE

DETERMINED BY THE ARCHITECT IN THE FIELD. ABANDONED PENETRATIONS SHALL BE INCLUDED IN THE 5%. CONTRACTOR SHALL PREPARE THE DECK FOR NEW WORK.

2. NOTE: ALL CURBS IN GOOD CONDITION SHALL REMAIN IN PLACE AND SHALL BE REUSED

DEMOLITION MARK

NEW SHINGLES

VTR - EXISTING VENT THRU ROOF TO REMAIN. PROVIDE NEW BOOT.

FLUE - EXISTING FLUE WITH COWL TO REMAIN IN PLACE. PROVIDE NEW BOOT. TURBINE VENT-EXISTING DEMOLISH & PATCH ABANDONED DECK PENETRATION.

TURTLE VENT - EXISTING. DEMOLISH AND PROVIDE NEW IN EXISTING LOCATION.

GABLE VENT - EXISTING. PROTECT AND RETAIN IN PLACE

SCOPE OF WORK BUILDINGS #6 & #8 - REROOF NOTES

REROOF SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING: CONTRACTOR SHALL PROVIDE AND INSTALL NEW 5/8" CDX ROOF DECK OVER 5% OF THE EXISTING DECK AREA, WHERE EXISTING DECK HAS BEEN DEMOLISHED OR WHERE PENETRATIONS ARE ABANDONED.

CONTRACTOR SHALL PROVIDE AND INSTALL NEW UNDERLAYMENT AS SPECIFIED AND DETAILED. CONTRACTOR SHALL PROVIDE AND INSTALL NEW TURTLE VENTS IN LOCATIONS DRAWN. CONTRACTOR SHALL PROVIDE AND INSTALL NEW FLASHING AT GAS FLUES AND VTR'S. CONTRACTOR SHALL PROVIDE AND INSTALL NEW ROOF SHINGLES AS SPECIFIED AND DETAILED. CONTRACTOR SHALL PROVIDE AND INSTALL NEW RAKE AND EAVE TRIM. CONTRACTOR SHALL PROVIDE AND INSTALL NEW COUNTERFLASHING / THRU-WALL FLASHING. CONTRACTOR SHALL REINSTALL SALVAGED GUTTERS AND DOWNSPOUTS.

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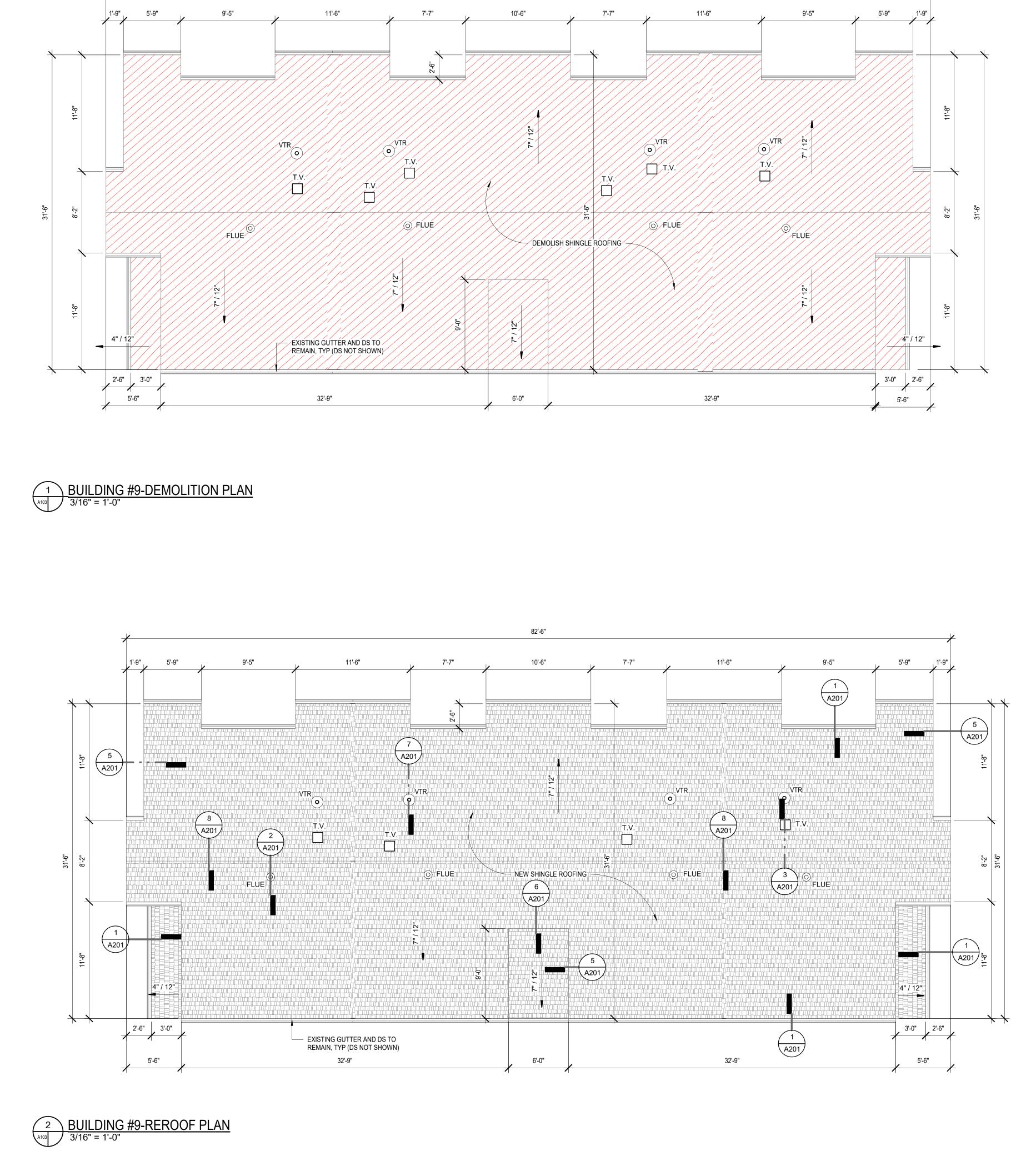
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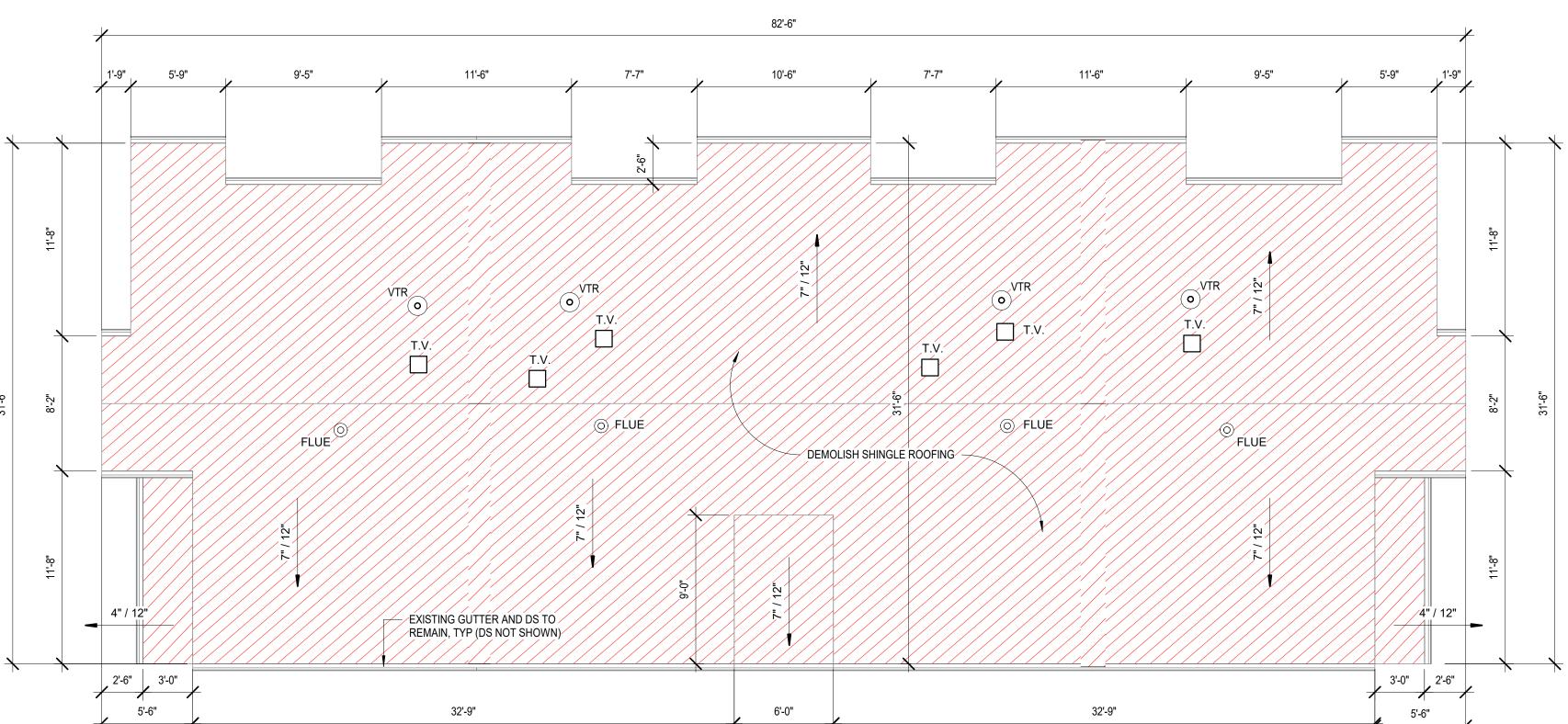
REROOI PROJECT - HURRICANE SQUARE APARTMENTS Š **LITION** Z 0 \simeq $\boldsymbol{\omega}$ õ 9#

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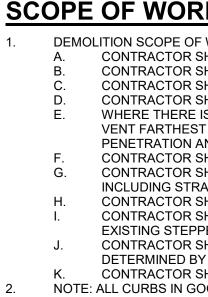












SCOPE OF WORK BUILDING #9 - REROOF NOTES

REROC	OF SCOPE OF WORK SHALL INC
Α.	CONTRACTOR SHALL PROVID
	DECK AREA, WHERE EXISTING
	ABANDONED.
В.	CONTRACTOR SHALL PROVID
C.	CONTRACTOR SHALL PROVID
D.	CONTRACTOR SHALL PROVID
E.	CONTRACTOR SHALL PROVIDI
F.	CONTRACTOR SHALL PROVIDI
G.	CONTRACTOR SHALL PROVIDI
Н.	CONTRACTOR SHALL REINSTA

SCOPE OF WORK BUILDING #9 - DEMOLITION NOTES

DEMOLITION SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING: CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE ROOFING MATERIAL.

- CONTRACTOR SHALL DEMOLISH ALL EXISTING UNDERLAYMENTS.
- CONTRACTOR SHALL DEMOLISH ALL PIPE BOOTS, CRICKETS AND OTHER PENETRATION FLASHINGS. CONTRACTOR SHALL DEMOLISH ALL TURTLE VENTS, THEN PREP THE ROOF OPENING FOR A NEW VENT.
- WHERE THERE IS MORE THAN 1 TURTLE VENT PER UNIT ATTIC AREA, CONTRACTOR SHALL DEMOLISH THE TURTLE VENT FARTHEST FROM THE RIDGE, ALONG WITH ALL ASSOCIATED CRICKETS AND CURBS, THEN ABANDON THE
- PENETRATION AND PATCH THE DECK.
- CONTRACTOR SHALL RETAIN IN PLACE ALL EXISTING GAS FLUES AND VTR'S. CONTRACTOR SHALL REMOVE AND SALVAGE FOR REINSTALLATION ALL EXISTING GUTTERS AND DOWNSPOUTS,
- INCLUDING STRAPS, MOUNTINGS, AND OTHER ACCESSORIES. CLEAN THE GUTTERS OF TRASH AND DEBRIS. CONTRACTOR SHALL DEMOLISH ALL EAVE AND RAKE TRIM.
- CONTRACTOR SHALL DEMOLISH ALL FLASHINGS AND COUNTER FLASHINGS NOT OTHERWISE NOTED TO REMAIN. EXISTING STEPPED THRU-WALL FLASHING SHALL REMAIN IN PLACE AND SHALL BE REUSED. CONTRACTOR SHALL DEMOLISH 5% OF THE EXISTING 5/8" CDX ROOF DECK. AREAS TO BE DEMOLISHED WILL BE DETERMINED BY THE ARCHITECT IN THE FIELD.
- CONTRACTOR SHALL PREPARE THE DECK FOR NEW WORK.
- NOTE: ALL CURBS IN GOOD CONDITION SHALL REMAIN IN PLACE AND SHALL BE REUSED

LEGEND

	DEMOLITION MARK
	NEW SHINGLES
VTR ()	VTR - EXISTING VENT THRU ROOF TO REMAIN. PROVIDE NEW BOOT.
© FLUE	FLUE - EXISTING FLUE WITH COWL TO REMAIN IN PLACE. PROVIDE NEW BOOT.
T.V.	TURBINE VENT-EXISTING DEMOLISH & PATCH ABANDONED DECK PENETRATION.
T.V.	TURTLE VENT - EXISTING. DEMOLISH AND PROVIDE NEW IN EXISTING LOCATION.
G.V.	GABLE VENT - EXISTING. PROTECT AND RETAIN IN PLACE

REROOF SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING: A. CONTRACTOR SHALL PROVIDE AND INSTALL NEW 5/8" CDX ROOF DECK OVER 5% OF THE EXISTING IG DECK HAS BEEN DEMOLISHED OR WHERE PENETRATIONS ARE

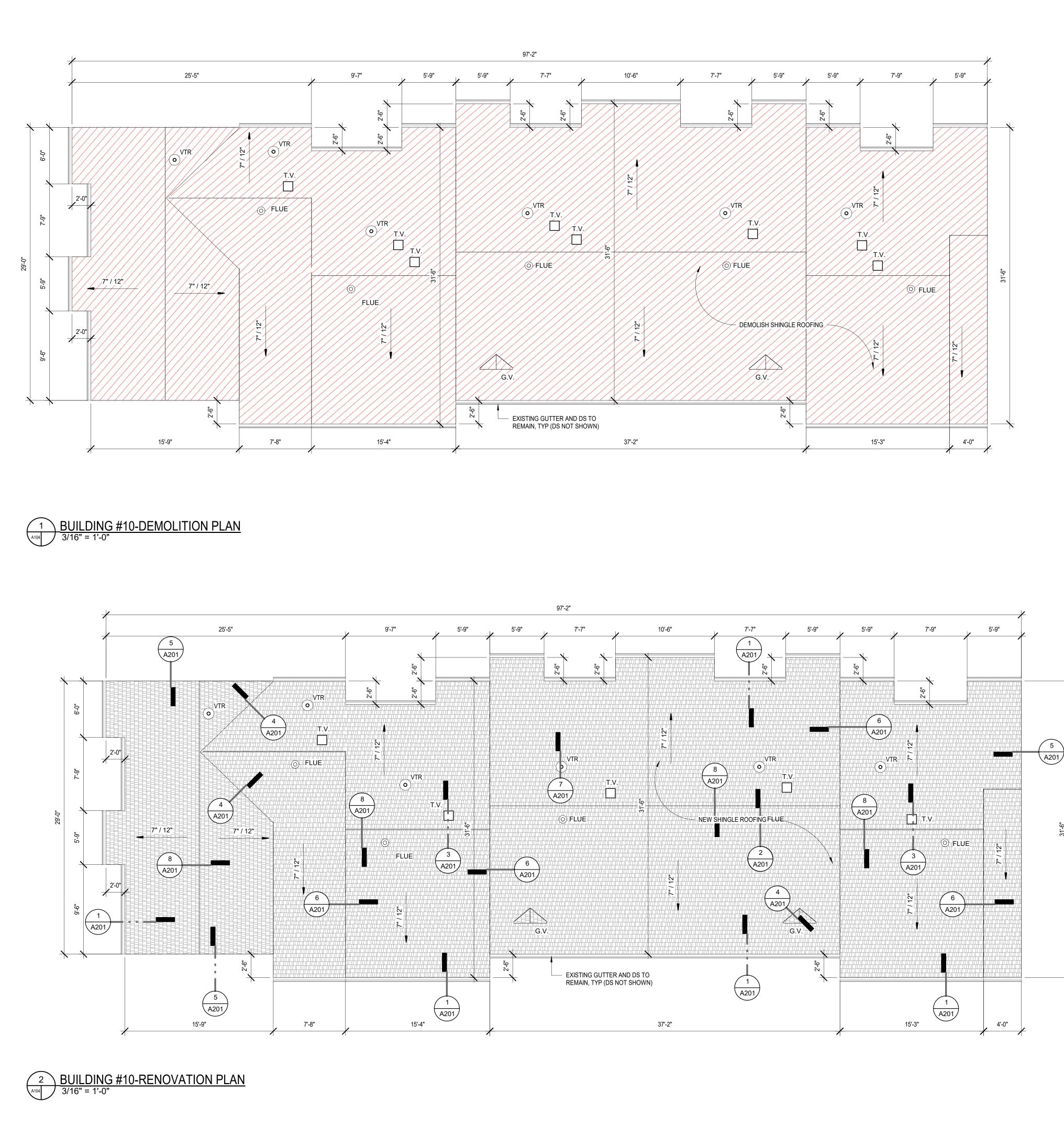
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- DE AND INSTALL NEW FLASHING AT GAS FLUES AND VTR'S. DE AND INSTALL NEW ROOF SHINGLES AS SPECIFIED AND DETAILED.
- IDE AND INSTALL NEW RAKE AND EAVE TRIM. IDE AND INSTALL NEW COUNTERFLASHING / THRU-WALL FLASHING.
- TALL SALVAGED GUTTERS AND DOWNSPOUTS.

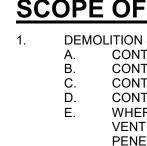
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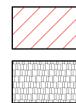
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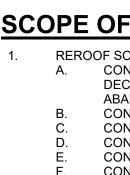


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ΓΤ.V.

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SCOPE OF WORK BUILDING #10 - DEMOLITION NOTES

- DEMOLITION SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING: A. CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE ROOFING MATERIAL.
 - CONTRACTOR SHALL DEMOLISH ALL EXISTING UNDERLAYMENTS.
 - CONTRACTOR SHALL DEMOLISH ALL PIPE BOOTS, CRICKETS AND OTHER PENETRATION FLASHINGS. CONTRACTOR SHALL DEMOLISH ALL TURTLE VENTS, THEN PREP THE ROOF OPENING FOR A NEW VENT.
 - WHERE THERE IS MORE THAN 1 TURTLE VENT PER UNIT ATTIC AREA, CONTRACTOR SHALL DEMOLISH THE TURTLE VENT FARTHEST FROM THE RIDGE, ALONG WITH ALL ASSOCIATED CRICKETS AND CURBS, THEN ABANDON THE PENETRATION AND PATCH THE DECK.
 - CONTRACTOR SHALL RETAIN IN PLACE ALL EXISTING GAS FLUES AND VTR'S.
 - CONTRACTOR SHALL RETAIN IN PLACE ALL GABLE VENTS. CONTRACTOR SHALL REMOVE AND SALVAGE FOR REINSTALLATION ALL EXISTING GUTTERS AND DOWNSPOUTS, INCLUDING STRAPS, MOUNTINGS, AND OTHER ACCESSORIES. CLEAN THE GUTTERS OF TRASH AND DEBRIS.
 - CONTRACTOR SHALL DEMOLISH ALL EAVE AND RAKE TRIM.
 - CONTRACTOR SHALL DEMOLISH ALL FLASHINGS AND COUNTER FLASHINGS NOT OTHERWISE NOTED TO REMAIN. EXISTING STEPPED THRU-WALL FLASHING SHALL REMAIN IN PLACE AND SHALL BE REUSED. CONTRACTOR SHALL DEMOLISH 5% OF THE EXISTING 5/8" CDX ROOF DECK. AREAS TO BE DEMOLISHED WILL BE DETERMINED BY THE ARCHITECT IN THE FIELD.
 - CONTRACTOR SHALL PREPARE THE DECK FOR NEW WORK.

DEMOLITION MARK
NEW SHINGLES
VTR - EXISTING VENT T

VTR - EXISTING VENT THRU ROOF TO REMAIN. PROVIDE NEW BOOT.

- FLUE EXISTING FLUE WITH COWL TO REMAIN IN PLACE. PROVIDE NEW BOOT.
- TURBINE VENT-EXISTING DEMOLISH & PATCH ABANDONED DECK PENETRATION.
- TURTLE VENT EXISTING. DEMOLISH AND PROVIDE NEW IN EXISTING LOCATION.
- GABLE VENT EXISTING. PROTECT AND RETAIN IN PLACE

SCOPE OF WORK BUILDING #10 - REROOF NOTES

REROOF SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING: A. CONTRACTOR SHALL PROVIDE AND INSTALL NEW 5/8" CDX ROOF DECK OVER 5% OF THE EXISTING DECK AREA, WHERE EXISTING DECK HAS BEEN DEMOLISHED OR WHERE PENETRATIONS ARE

ABANDONED. CONTRACTOR SHALL PROVIDE AND INSTALL NEW UNDERLAYMENT AS SPECIFIED AND DETAILED. CONTRACTOR SHALL PROVIDE AND INSTALL NEW TURTLE VENTS IN LOCATIONS DRAWN.

CONTRACTOR SHALL PROVIDE AND INSTALL NEW FLASHING AT GAS FLUES AND VTR'S. CONTRACTOR SHALL PROVIDE AND INSTALL NEW ROOF SHINGLES AS SPECIFIED AND DETAILED. CONTRACTOR SHALL PROVIDE AND INSTALL NEW RAKE AND EAVE TRIM. CONTRACTOR SHALL PROVIDE AND INSTALL NEW COUNTERFLASHING / THRU-WALL FLASHING.

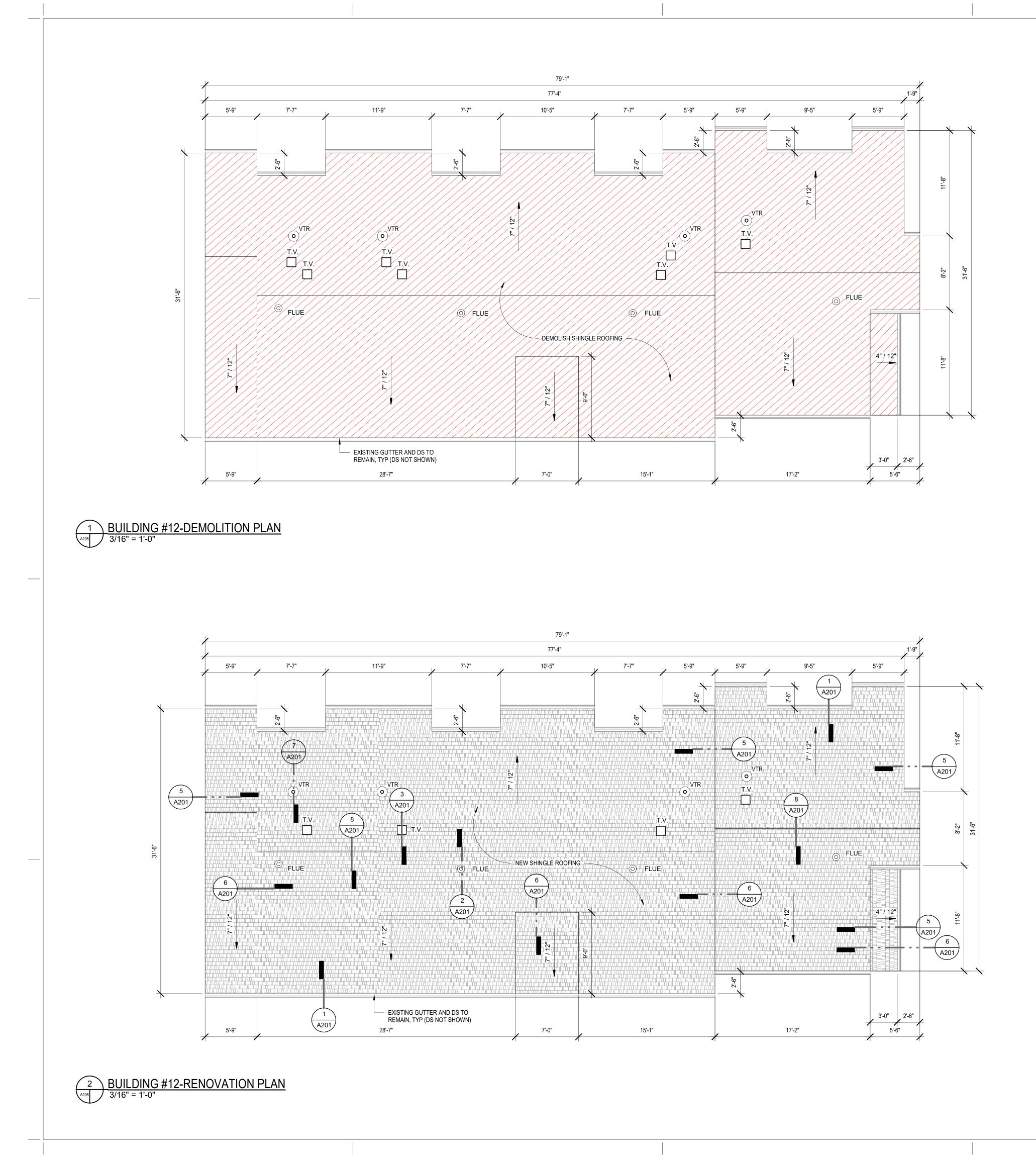
CONTRACTOR SHALL REINSTALL SALVAGED GUTTERS AND DOWNSPOUTS.

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PROJECT - HURRICANE SOUARE APARTMENTS REROOF õ NO N Ē ШСШ 2 #10 IFB#RRP03.21 BHA ROO ZETA REPAIRS - VOLUN BUILDING

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SCOPE OF WORK BUILDING #12 - DEMOLITION NOTES

DEMOL	ITION SCOPE OF WOR
A.	CONTRACTOR SHALL
В.	CONTRACTOR SHALL
C.	CONTRACTOR SHALL
D.	CONTRACTOR SHALL
E.	WHERE THERE IS MOI
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	PENETRATION AND PA
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K.	CONTRACTOR SHALL

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T.V.	TUR DEM ABA PEN
T.V.	TUR DEM IN E
G.V.	GAE PRC

SCOPE OF WORK BUILDING #12 - REROOF NOTES

RERUC	F SCOPE OF W	URK S
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	ABANDONED.	
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C.	CONTRACTOR	SHALL
D.	CONTRACTOR	SHALL
E.	CONTRACTOR	SHALL
F.	CONTRACTOR	SHALL
G.	CONTRACTOR	SHALL
Н.	CONTRACTOR	SHALL

RK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING: L DEMOLISH ALL EXISTING SHINGLE ROOFING MATERIAL.

DEMOLISH ALL EXISTING UNDERLAYMENTS.

DEMOLISH ALL PIPE BOOTS, CRICKETS AND OTHER PENETRATION FLASHINGS. L DEMOLISH ALL TURTLE VENTS, THEN PREP THE ROOF OPENING FOR A NEW VENT.

DRE THAN 1 TURTLE VENT PER UNIT ATTIC AREA, CONTRACTOR SHALL DEMOLISH THE TURTLE OM THE RIDGE, ALONG WITH ALL ASSOCIATED CRICKETS AND CURBS, THEN ABANDON THE PATCH THE DECK.

L RETAIN IN PLACE ALL EXISTING GAS FLUES AND VTR'S. L REMOVE AND SALVAGE FOR REINSTALLATION ALL EXISTING GUTTERS AND DOWNSPOUTS, MOUNTINGS, AND OTHER ACCESSORIES. CLEAN THE GUTTERS OF TRASH AND DEBRIS.

L DEMOLISH ALL EAVE AND RAKE TRIM. L DEMOLISH ALL FLASHINGS AND COUNTER FLASHINGS NOT OTHERWISE NOTED TO REMAIN. THRU-WALL FLASHING SHALL REMAIN IN PLACE AND SHALL BE REUSED.

L DEMOLISH 5% OF THE EXISTING 5/8" CDX ROOF DECK. AREAS TO BE DEMOLISHED WILL BE E ARCHITECT IN THE FIELD. CONTRACTOR SHALL PREPARE THE DECK FOR NEW WORK.

MOLITION MARK

W SHINGLES

R - EXISTING VENT THRU OOF TO REMAIN. PROVIDE W BOOT.

UE - EXISTING FLUE WITH WL TO REMAIN IN PLACE. OVIDE NEW BOOT.

RBINE VENT-EXISTING MOLISH & PATCH ANDONED DECK NETRATION.

JRTLE VENT - EXISTING. EMOLISH AND PROVIDE NEW EXISTING LOCATION.

BLE VENT - EXISTING. ROTECT AND RETAIN IN PLACE

REROOF SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING: L PROVIDE AND INSTALL NEW 5/8" CDX ROOF DECK OVER 5% OF THE EXISTING EXISTING DECK HAS BEEN DEMOLISHED OR WHERE PENETRATIONS ARE

L PROVIDE AND INSTALL NEW UNDERLAYMENT AS SPECIFIED AND DETAILED.

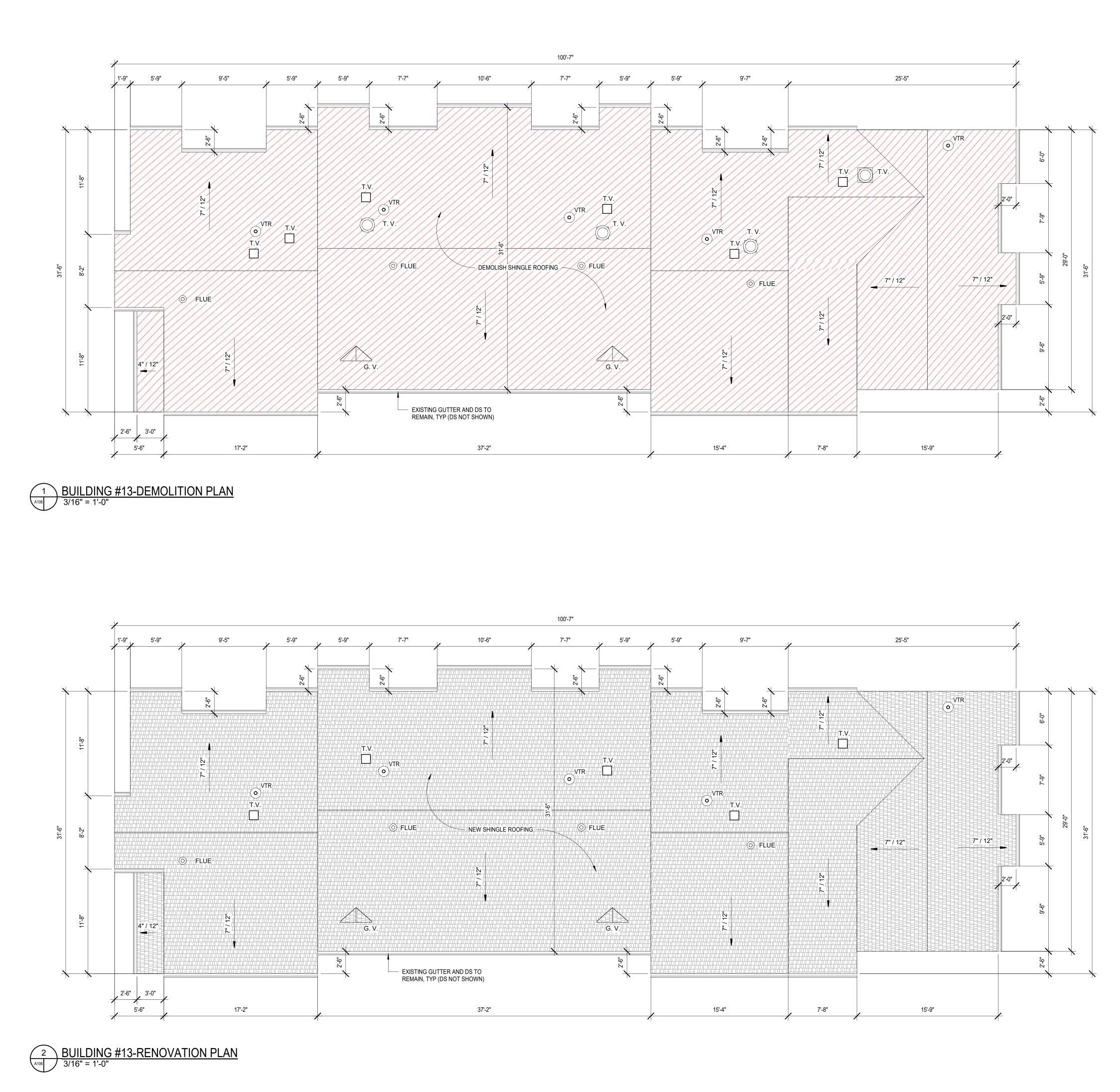
L PROVIDE AND INSTALL NEW TURTLE VENTS IN LOCATIONS DRAWN. . PROVIDE AND INSTALL NEW FLASHING AT GAS FLUES AND VTR'S.

. PROVIDE AND INSTALL NEW ROOF SHINGLES AS SPECIFIED AND DETAILED.

L PROVIDE AND INSTALL NEW RAKE AND EAVE TRIM. L PROVIDE AND INSTALL NEW COUNTERFLASHING / THRU-WALL FLASHING.

L REINSTALL SALVAGED GUTTERS AND DOWNSPOUTS.

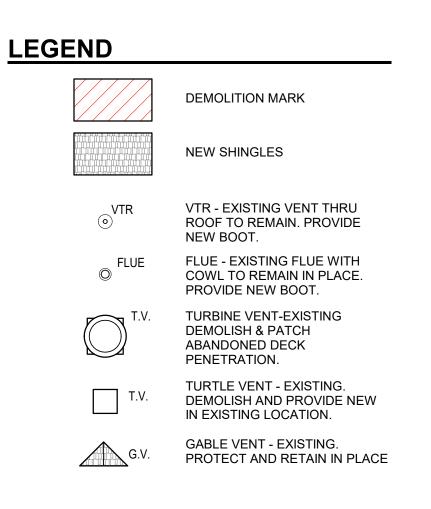




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SCOPE OF WORK BUILDING #13 - DEMOLITION NOTES

- DEMOLITION SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING: CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE ROOFING MATERIAL. Α.
- CONTRACTOR SHALL DEMOLISH ALL EXISTING UNDERLAYMENTS. В. CONTRACTOR SHALL DEMOLISH ALL PIPE BOOTS, CRICKETS AND OTHER PENETRATION C.
- FLASHINGS. CONTRACTOR SHALL DEMOLISH ALL TURBINE VENTS, ASSOCIATED CRICKETS AND CURBS, THEN D. ABANDON THE PENETRATION AND PATCH THE DECK.
- CONTRACTOR SHALL DEMOLISH ALL TURTLE VENTS, THEN PREP THE ROOF OPENING FOR A NEW VENT. WHERE THERE IS MORE THAN 1 TURTLE VENT PER UNIT ATTIC AREA, CONTRACTOR SHALL F.
- DEMOLISH THE TURTLE VENT FARTHEST FROM THE RIDGE, ALONG WITH ALL ASSOCIATED CRICKETS AND CURBS, THEN ABANDON THE PENETRATION AND PATCH THE DECK. CONTRACTOR SHALL RETAIN IN PLACE ALL EXISTING GAS FLUES AND VTR'S. CONTRACTOR SHALL RETAIN IN PLACE ALL GABLE VENTS.
- CONTRACTOR SHALL REMOVE AND SALVAGE FOR REINSTALLATION ALL EXISTING GUTTERS AND DOWNSPOUTS, INCLUDING STRAPS, MOUNTINGS, AND OTHER ACCESSORIES. CLEAN THE GUTTERS OF TRASH AND DEBRIS.
- CONTRACTOR SHALL DEMOLISH ALL EAVE AND RAKE TRIM. CONTRACTOR SHALL DEMOLISH ALL FLASHINGS AND COUNTER FLASHINGS NOT OTHERWISE Κ. NOTED TO REMAIN. EXISTING STEPPED THRU-WALL FLASHING SHALL REMAIN IN PLACE AND SHALL BE REUSED.
- CONTRACTOR SHALL DEMOLISH 5% OF THE EXISTING 5/8" CDX ROOF DECK. AREAS TO BE DEMOLISHED WILL BE DETERMINED BY THE ARCHITECT IN THE FIELD. M CONTRACTOR SHALL PREPARE THE DECK FOR NEW WORK. 2. NOTE: ALL CURBS IN GOOD CONDITION SHALL REMAIN IN PLACE AND SHALL BE REUSED

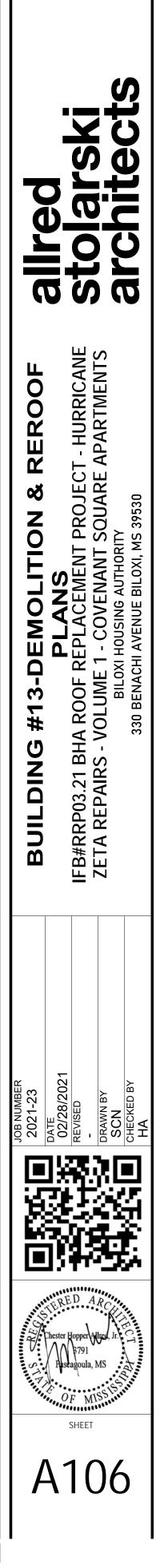


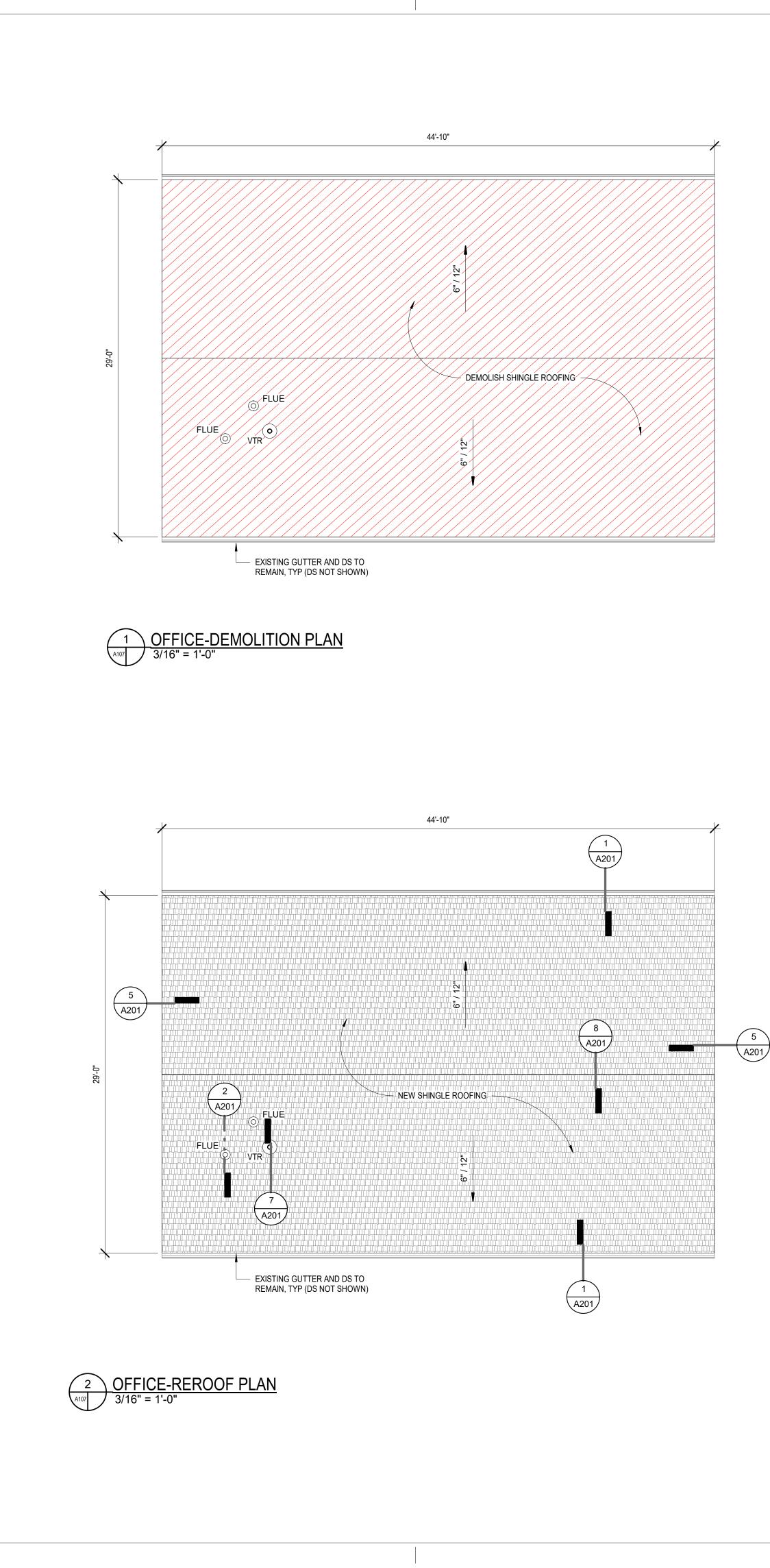
SCOPE OF WORK BUILDINGS #13 - REROOF NOTES

- REROOF SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING: CONTRACTOR SHALL PROVIDE AND INSTALL NEW 5/8" CDX ROOF DECK OVER 5% OF THE EXISTING DECK AREA, WHERE EXISTING DECK HAS BEEN DEMOLISHED OR
- WHERE PENETRATIONS ARE ABANDONED. CONTRACTOR SHALL PROVIDE AND INSTALL NEW UNDERLAYMENT AS SPECIFIED Β.
- AND DETAILED. CONTRACTOR SHALL PROVIDE AND INSTALL NEW TURTLE VENTS IN LOCATIONS C.
- DRAWN. D. CONTRACTOR SHALL PROVIDE AND INSTALL NEW FLASHING AT GAS FLUES AND
- VTR'S.
- CONTRACTOR SHALL PROVIDE AND INSTALL NEW ROOF SHINGLES AS SPECIFIED Ε. AND DETAILED.
- CONTRACTOR SHALL PROVIDE AND INSTALL NEW RAKE AND EAVE TRIM.
- CONTRACTOR SHALL PROVIDE AND INSTALL NEW COUNTERFLASHING / THRU-G WALL FLASHING.
- CONTRACTOR SHALL REINSTALL SALVAGED GUTTERS AND DOWNSPOUTS. Η.

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Phone Email:





SCOPE OF WORK OFFICE BUILDING- DEMOLITION NOTES

- 1. DEMOLITION SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING: A. CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE ROOFING MATERIAL.
 - B. CONTRACTOR SHALL DEMOLISH ALL EXISTING UNDERLAYMENTS.
 C. CONTRACTOR SHALL DEMOLISH ALL PIPE BOOTS, CRICKETS AND OTHER PENETRATION FLASHINGS.
 - D. CONTRACTOR SHALL RETAIN IN PLACE ALL EXISTING GAS FLUES AND VTR'S.
 E. CONTRACTOR SHALL REMOVE AND SALVAGE FOR REINSTALLATION ALL EXISTING GUTTERS AND DOWNSPOUTS, INCLUDING STRAPS, MOUNTINGS, AND OTHER ACCESSORIES. CLEAN THE GUTTERS OF TRASH AND DEBRIS.
 F. CONTRACTOR SHALL DEMOLISH ALL EAVE AND RAKE TRIM.
 - G. CONTRACTOR SHALL DEMOLISH ALL EAVE AND RAKE TRIM.
 G. CONTRACTOR SHALL DEMOLISH ALL FLASHINGS AND COUNTER FLASHINGS NOT OTHERWISE NOTED TO REMAIN. EXISTING STEPPED THRU-WALL FLASHING SHALL REMAIN IN PLACE AND SHALL BE REUSED.
 - H. CONTRACTOR SHALL DEMOLISH 5% OF THE EXISTING 5/8" CDX ROOF DECK. AREAS TO BE DEMOLISHED WILL BE DETERMINED BY THE ARCHITECT IN THE FIELD.
 - I. CONTRACTOR SHALL PREPARE THE DECK FOR NEW WORK.

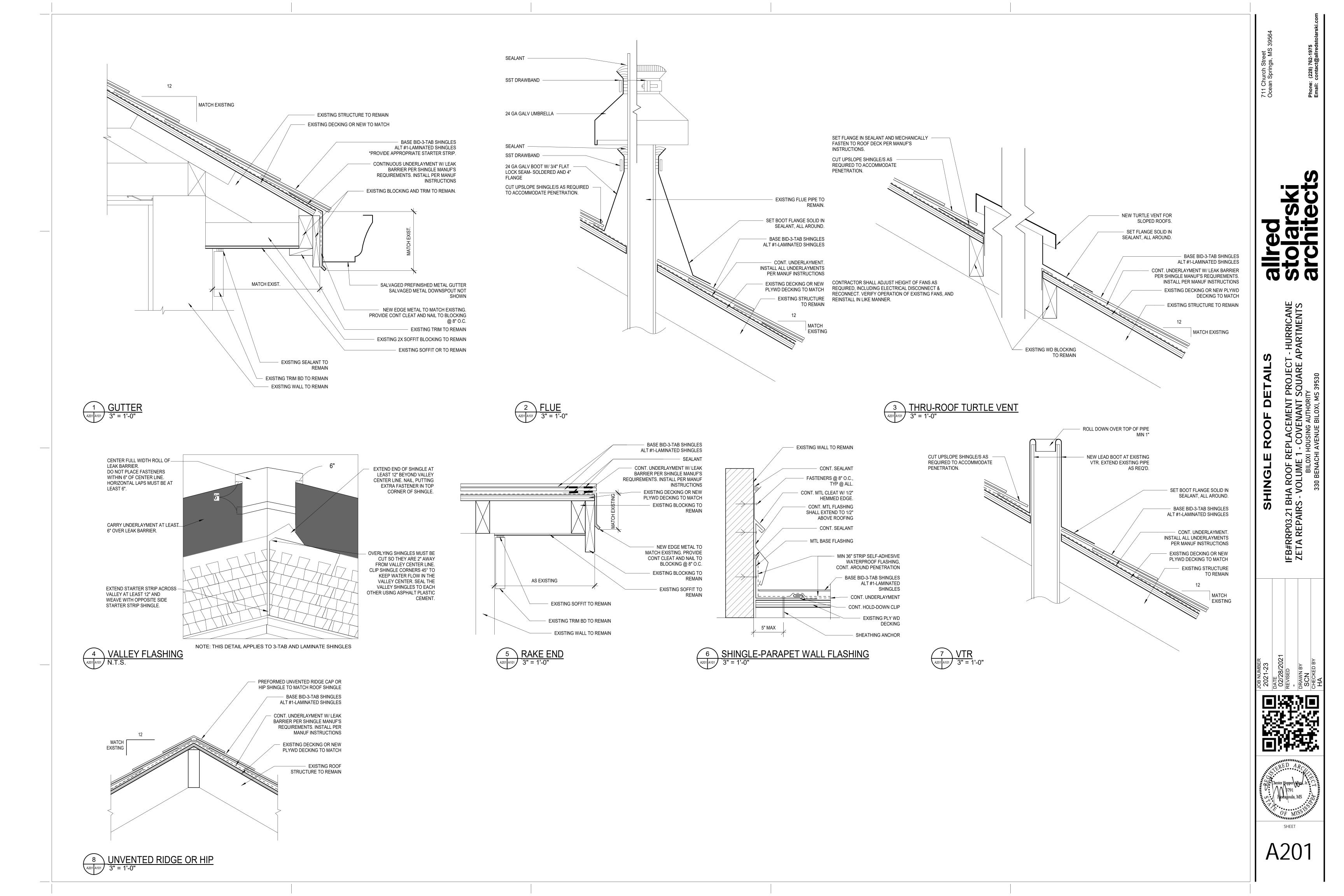
LEGEND

	DEMOLITION MARK
	NEW SHINGLES
VTR ()	VTR - EXISTING VENT THRU ROOF TO REMAIN. PROVIDE NEW BOOT.
© FLUE	FLUE - EXISTING FLUE WITH COWL TO REMAIN IN PLACE. PROVIDE NEW BOOT.
T.V.	TURBINE VENT-EXISTING DEMOLISH & PATCH ABANDONED DECK PENETRATION.
T.V.	TURTLE VENT - EXISTING. DEMOLISH AND PROVIDE NEW IN EXISTING LOCATION.
G.V.	GABLE VENT - EXISTING. PROTECT AND RETAIN IN PLACE

SCOPE OF WORK OFFICE - REROOF NOTES

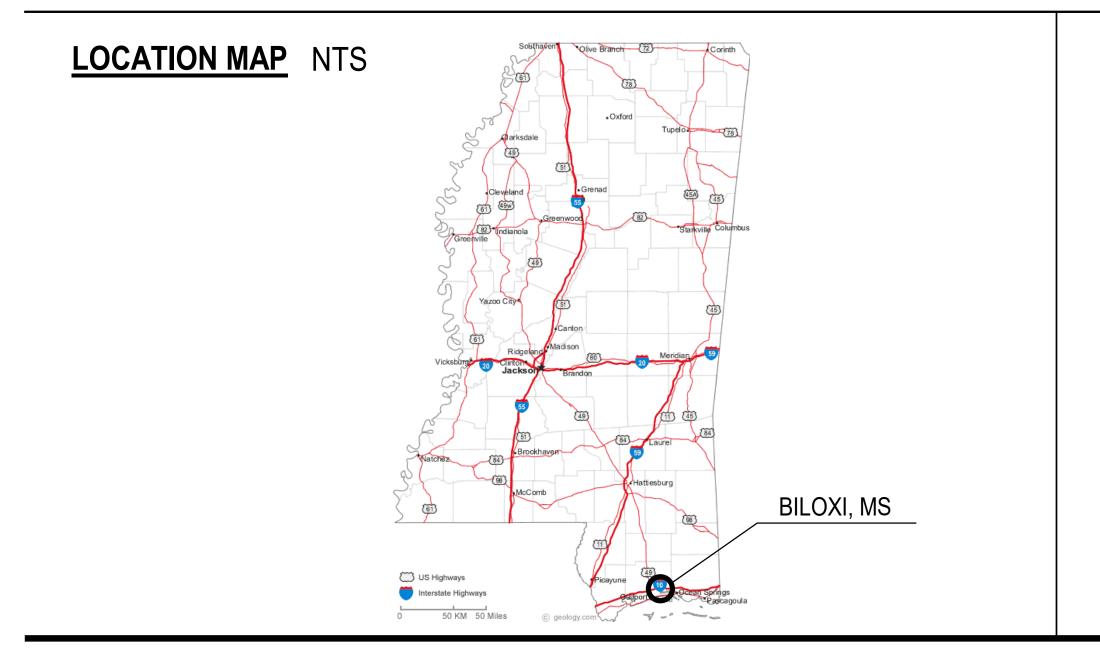
- 1. REROOF SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
 - A. CONTRACTOR SHALL PROVIDE AND INSTALL NEW 5/8" CDX ROOF DECK OVER 5% OF THE EXISTING DECK AREA, WHERE EXISTING DECK HAS BEEN DEMOLISHED OR WHERE PENETRATIONS ARE ABANDONED.
 B. CONTRACTOR SHALL PROVIDE AND INSTALL NEW UNDERLAYMENT AS SPECIFIED
 - B. CONTRACTOR SHALL PROVIDE AND INSTALL NEW UNDERLAYMENT AS SPECIFIED AND DETAILED.
 - C. CONTRACTOR SHALL PROVIDE AND INSTALL NEW FLASHING AT GAS FLUES AND VTR'S.
 - D. CONTRACTOR SHALL PROVIDE AND INSTALL NEW ROOF SHINGLES AS SPECIFIED AND DETAILED.
 - E. CONTRACTOR SHALL PROVIDE AND INSTALL NEW RAKE AND EAVE TRIM.F. CONTRACTOR SHALL REINSTALL SALVAGED GUTTERS AND DOWNSPOUTS.

		JOB NUMBER 2021-23	OFFICE DEMOLITION & REROOF PLANS		711 Church Street Ocean Springs, MS 39564
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lopper 8791 Agoula F N 6HEE		REVISED	IFB#RRP03.21 BHA ROOF REPLACEMENT PROJECT - HURRICANE		
กรรโ	A R C	DRAWN BY	ZETA REPAIRS - VOLUME 1 - COVENANT SQUARE APARTMENTS)	
A A A A A A A A A A A A A A A A A A A		HA	BILOXI HOUSING AUTHORITY		Dhone: (228) 762-1975
ACT HOUSE			330 BENACHI AVENUE BILOXI, MS 39530		Email: contact@allredstolarski.com



IFB#RRP03.21 BHA ROOF REPLACEMENT PROJECT - HURRICANE ZETA REPAIRS -VOLUME 2 - FERNWOOD PLACE APARTMENTS

BILOXI HOUSING AUTHORITY 330 BENACHI AVENUE BILOXI, MS 39530



VICINITY MAP NTS

FERNWOOD PLACE APARTMENTS 2775 FERNWOOD ROAD



VOLUME 2 DRAWING INDEX

INDEX - GENERAL

G000 TITLE SHEET

A100	REFERENCE SITE PLA
A101	BUILDING 1 - DEMOLIT
A102	BUILDINGS 2 & 3- DEM
A103	BUILDING 4 - DEMOLIT
A104	BUILDING 5 - DEMOLIT
A105	BUILDINGS 6 & 7 - DEM
A106	BUILDING 8 - DEMOLIT
A107	BUILDING 9 & 10 - DEN
A201	SHINGLE ROOF DETA

ALTERNATES

WITH THE SPECIFICATIONS.





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<u>PROJ #:</u> 2021-23

IFB#RRP03.21 BHA ROOF REPLACEMENT PROJECT HURRICANE ZETA REPAIRS - VOLUME 2 - FERNWOOD PLACE APARTMENTS

> **BILOXI HOUSING AUTHORITY** 330 BENACHI AVENUE BILOXI, MS 39530

DATE: 02/28/2021

<u>SET TYPE</u> **BID SET**

PROJECT TEAM ARCHITECT ALLRED STOLARSKI

ARCHITECTS 711 CHURCH STREET OCEAN SPRINGS, MS 39564 **T (**228) 762-1975 HÔPPÝ ALLRED, AIA, PRINCIPAL ARCHITECT hoppy@allredstolarski.com

ALTERNATE #1: AN ADDITIVE ALTERNATE FOR ALL LABOR, MATERIALS, AND EQUIPMENT NECESSARY TO REROOF BUILDINGS AT COMPLETE AS INDICATED ON THE DRAWINGS AND IN ACCORDANCE WITH THE SPECIFICATIONS.

LTERNATE #2: AN ADDITIVE ALTERNATE FOR ALL LABOR, MATERIALS, AND EQUIPMENT NECESSARY TO INSTALL A LAMINATED SHINGLE ROOF IN LIEU OF THE BASE BID 3-TAB SHINGLE ROOF, COMPLETE AS INDICATED ON THE DRAWINGS AND IN ACCORDANCE



711 Church Street Ocean Springs, MS 39564

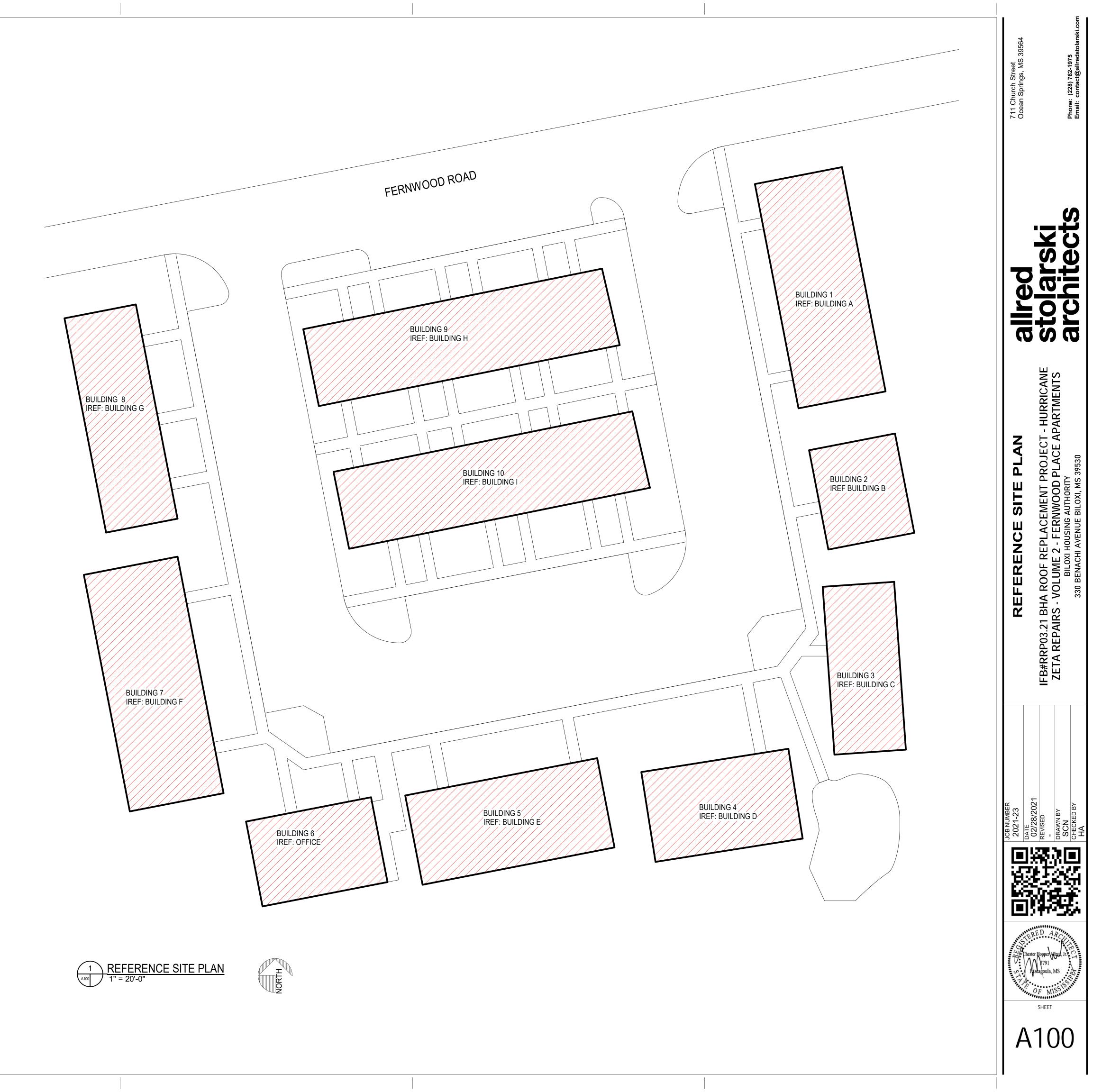
GENERAL WORK NOTES

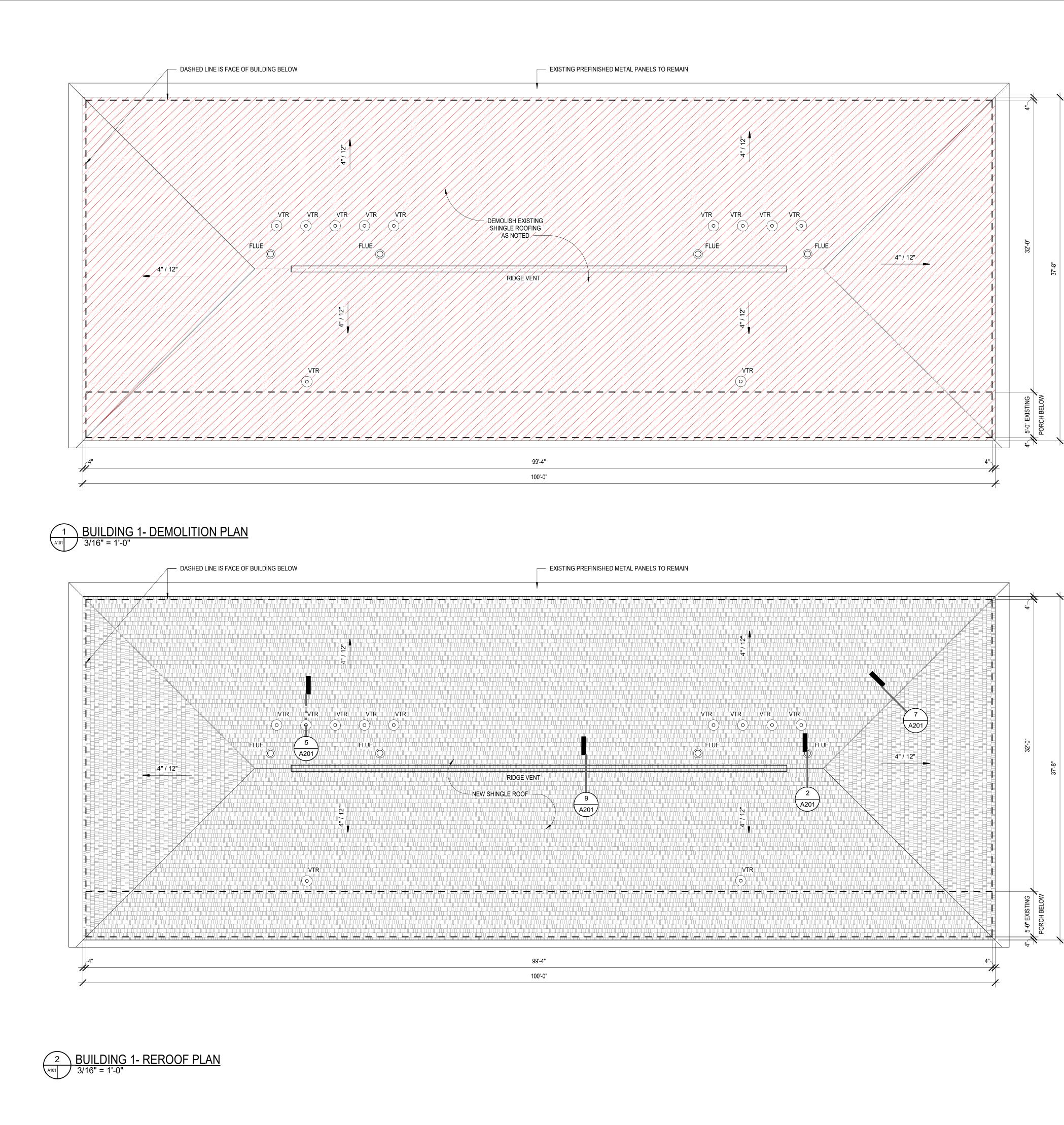
- SITE ADDRESS: 2775 FERNWOOD ROAD, BILOXI, MS 39531
 ALL INFORMATION REGARDING EXISTING CONDITIONS IS BASED ON OWNER SUPPLIED DOCUMENTS AND MAY NOT REFLECT ACTUAL FIELD CONDITIONS. UPON DISCOVERY OF ANY DISCREPANCIES BETWEEN FIELD CONDITIONS AND DRAWINGS DEPICTING EXISTING CONDITIONS OR UPON DISCOVERY OF UNKNOWN CONDITIONS DETRIMENTAL TO THE COMPLETION OF THE WORK AS INDICATED ON THE DRAWINGS, CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT IN WRITING.
 CONTRACTOR IS RESPONSIBLE FOR ALL SHORING AND BRACING NECESSARY TO MAINTAIN STRUCTURAL INTEGRITY. AT NO TIME SHALL THE EXISTING STRUCTURAL
- MEMBERS BE SUBJECTED TO CUTTING, DRILLING, OR ANY MODIFICATION PROCESS THAT MAY INTERFERE WITH ITS STRUCTURAL INTEGRITY. 4. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL
- DIMENSIONS AND CONDITIONS IN FIELD PRIOR TO BIDDING. 5. SALVAGE IS DEFINED AS THE CAREFUL REMOVAL AND RETAINING OF ITEMS AS
- SHOWN IN DRAWINGS FOR POSSIBLE REUSE OR DELIVERY TO OWNER
 CARE SHOULD BE TAKEN AT THE INTERFACE BETWEEN DEMOLITION AND EXISTING CONSTRUCTION TO REMAIN, TO AVOID ANY DAMAGE TO EXISTING CONSTRUCTION. AFTER REMOVAL OF EXISTING ROOFING OR CONSTRUCTION, PATCH AND REPAIR DAMAGE TO ANY EXISTING, WALLS, SIDEWALKS, PAVING, CURBS, LANDSCAPING, ETC. TO A LIKE NEW CONDITION.
- 7. THE CONTRACTOR SHALL NOTIFY, COORDINATE, SCHEDULE, AND RECEIVE PRIOR PERMISSION FROM THE USING AGENCY PRIOR TO ANY SHUT DOWN OF BUILDING SERVICES AS REQUIRED TO COMPLETE THE WORK. NOTIFICATION SHALL INCLUDE LENGTH OF TIME REQUIRED TO SHUT DOWN, LENGTH OF TIME SERVICE WILL BE DISCONNECTED, AND TIME REQUIRED TO RECONNECT SERVICES. SHUT DOWN SHALL NOT OCCUR DURING BUSINESS HOURS.
- THE EXISTING BUILDING ENVELOPE SHALL BE MAINTAINED IN A WATERTIGHT CONDITION AT ALL TIMES.
 THE CONTRACTOR SHALL PROVIDE TEMPORARY PROTECTION AS NECESSARY AND
- AS REQUIRED TO SEAL OFF THE REST OF THE EXISTING BUILDING AND MAINTAIN BUILDING DURING DEMOLITION. 10. ALL DEMOLITION WORK SHALL BE EXECUTED IN CONFORMANCE WITH ALL CODES
- AND ORDINANCES AS SET FORTH BY ALL GOVERNING AUTHORITIES.

LEGEND

IREF STREET OR BUILDING NUMBER IREF: INSURANCE REFERENCE

NO WORK THIS LOCATION.





SCOPE OF WORK BUILDING 1 - DEMOLITION NOTES

DEMOLITION SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING: Α

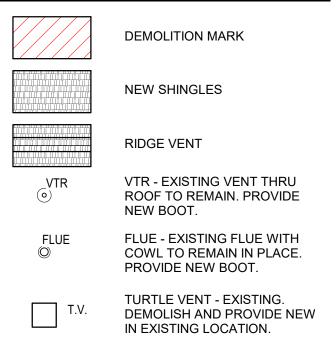
CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE ROOFING MATERIAL. CONTRACTOR SHALL DEMOLISH ALL EXISTING UNDERLAYMENTS.

- CONTRACTOR SHALL DEMOLISH ALL PIPE BOOTS, CRICKETS AND OTHER PENETRATION С. FLASHINGS.
- CONTRACTOR SHALL RETAIN IN PLACE ALL EXISTING GAS FLUES AND VTR'S. CONTRACTOR SHALL RETAIN IN PLACE ALL GABLE VENTS.
- CONTRACTOR SHALL DEMOLISH ALL METAL EAVE AND RAKE TRIM.
- CONTRACTOR SHALL DEMOLISH ALL FLASHINGS AND COUNTER FLASHINGS NOT OTHERWISE NOTED TO REMAIN. EXISTING STEPPED THRU-WALL FLASHING SHALL REMAIN IN PLACE AND SHALL BE REUSED. CONTRACTOR SHALL DEMOLISH 5% OF THE EXISTING 5/8" CDX ROOF DECK. AREAS TO BE Η.
- DEMOLISHED WILL BE DETERMINED BY THE ARCHITECT IN THE FIELD. CONTRACTOR SHALL PREPARE THE DECK FOR NEW WORK.
- 2. NOTE: CONTRACTOR SHALL PROTECT EXISTING METAL PANELS TO REMAIN.

LEGEND

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<u>SCOPE OF WORK</u> BUILDING 1 - REROOF NOTES

REROOF SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING: A. CONTRACTOR SHALL PROVIDE AND INSTALL NEW 5/8" CDX ROOF DECK OVER 5% OF THE EXISTING DECK AREA, WHERE EXISTING DECK HAS BEEN DEMOLISHED OR WHERE PENETRATIONS ARE ABANDONED.

CONTRACTOR SHALL PROVIDE AND INSTALL NEW UNDERLAYMENT AS SPECIFIED AND В. DETAILED.

CONTRACTOR SHALL PROVIDE AND INSTALL NEW FLASHING AT GAS FLUES AND VTR'S. CONTRACTOR SHALL PROVIDE AND INSTALL NEW ROOF SHINGLES AS SPECIFIED AND C. D.

DETAILED. CONTRACTOR SHALL PROVIDE AND INSTALL NEW METAL RAKE AND EAVE TRIM. CONTRACTOR SHALL PROVIDE AND INSTALL NEW COUNTERFLASHING / THRU-WALL E. FLASHING.

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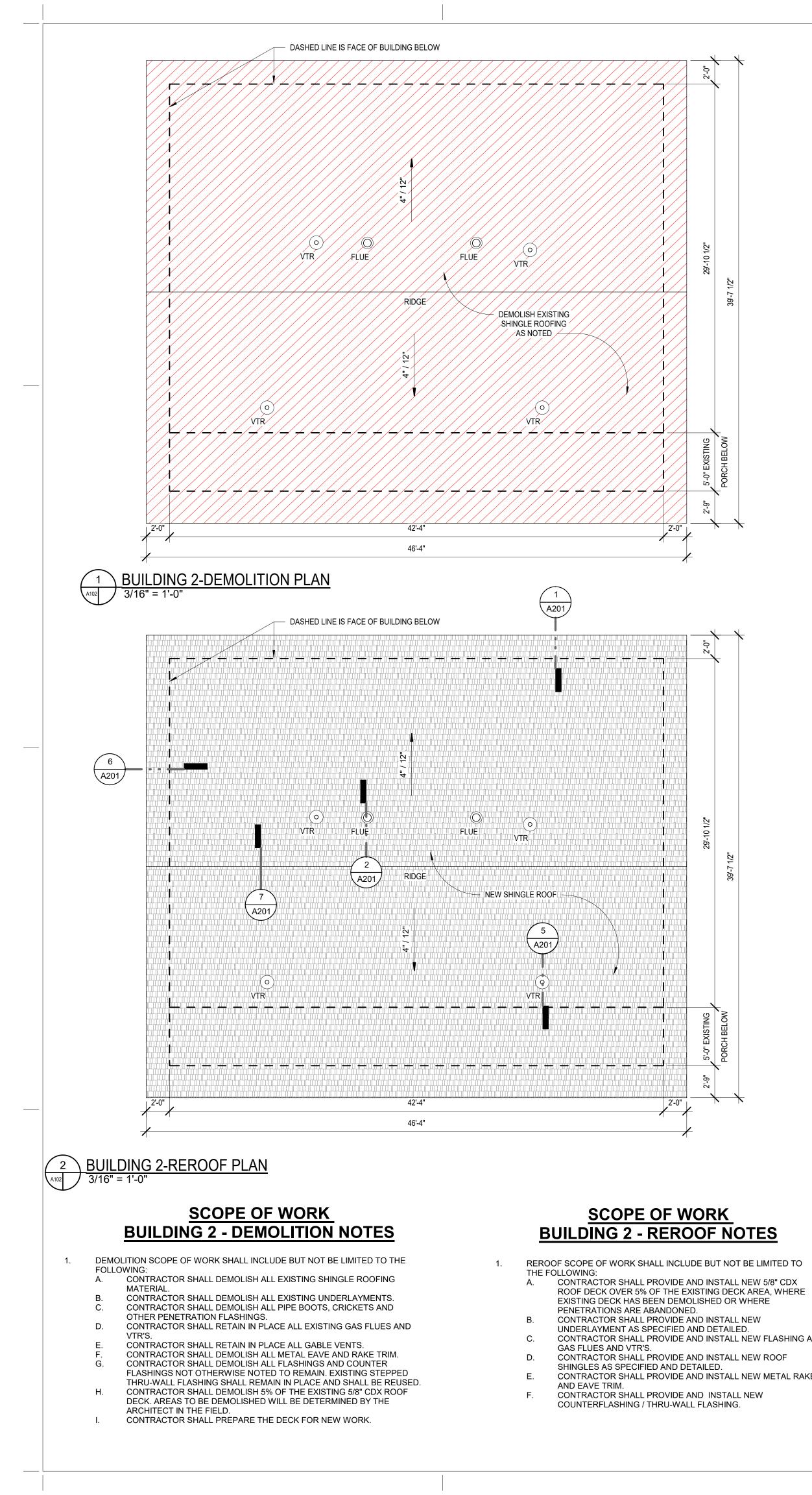
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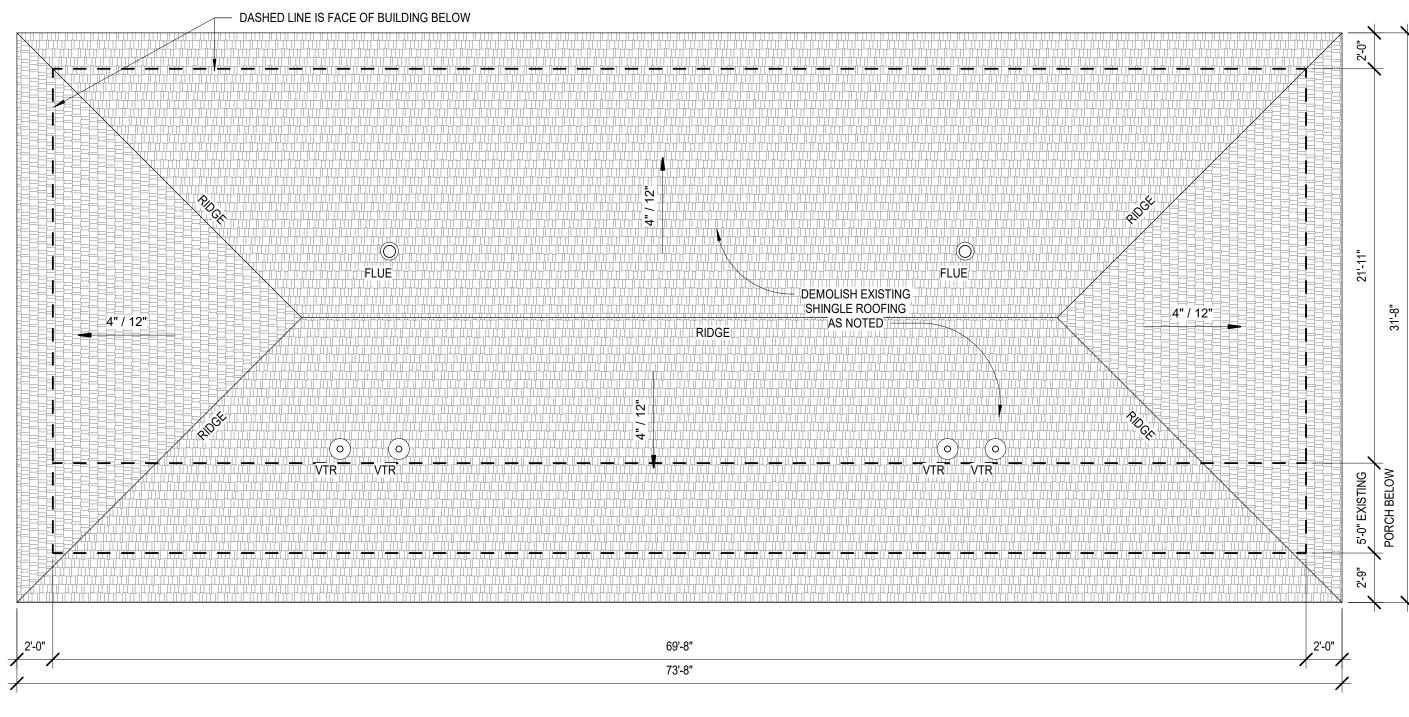
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		2'-0)"					
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		NEW SHINGLES				C. CONTRACTOR OTHER PENET D. CONTRACTOR	SHALL DEMOLISH A SHALL DEMOLISH A RATION FLASHINGS SHALL RETAIN IN P	ALL PIPE 3.
ΛT		RIDGE VENT				VTR'S. E. CONTRACTOR F. CONTRACTOR G. CONTRACTOR	SHALL RETAIN IN P SHALL DEMOLISH A SHALL DEMOLISH A DT OTHERWISE NOT	PLACE ALL ALL META ALL FLASI
E	VTR ③ FLUE	VTR - EXISTING VENT THRU ROOF TO REMAIN. PROVIDE NEW BOOT. FLUE - EXISTING FLUE WITH	<u>.</u>			THRU-WALL FI H. CONTRACTOR DECK. AREAS ARCHITECT IN	ASHING SHALL REM SHALL DEMOLISH 5 TO BE DEMOLISHED	Main in P 5% of th 9 Will Be
	©	COWL TO REMAIN IN PLACE PROVIDE NEW BOOT.				i. CONTRACTOR		

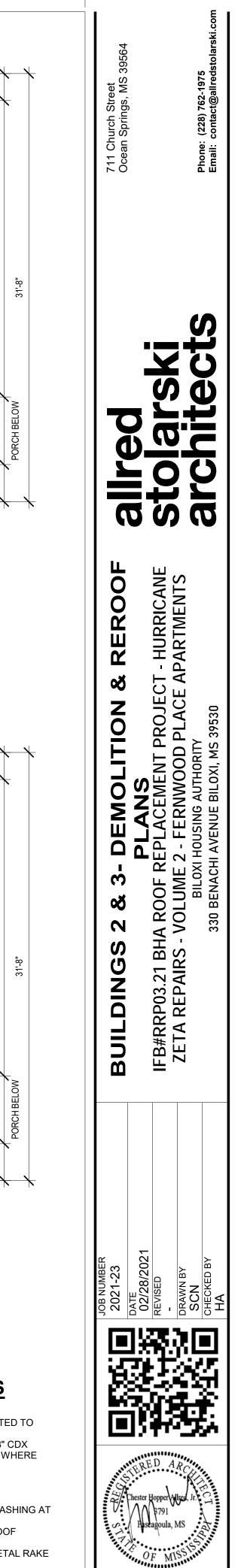
TURTLE VENT - EXISTING.

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DEMOLISH AND PROVIDE NEW

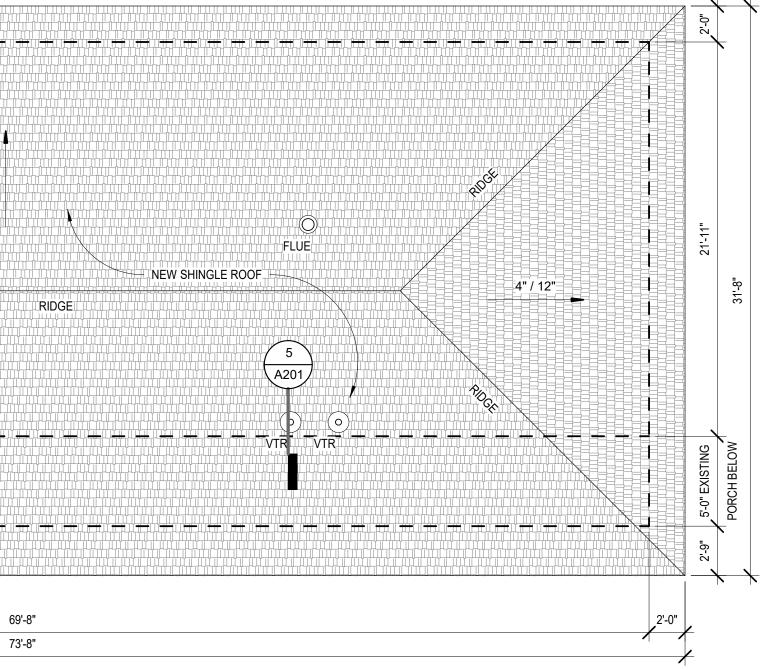
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ALL GABLE VENTS. ETAL EAVE AND RAKE TRIM. ASHINGS AND COUNTER D REMAIN. EXISTING STEPPED N PLACE AND SHALL BE REUSED. THE EXISTING 5/8" CDX ROOF BE DETERMINED BY THE	

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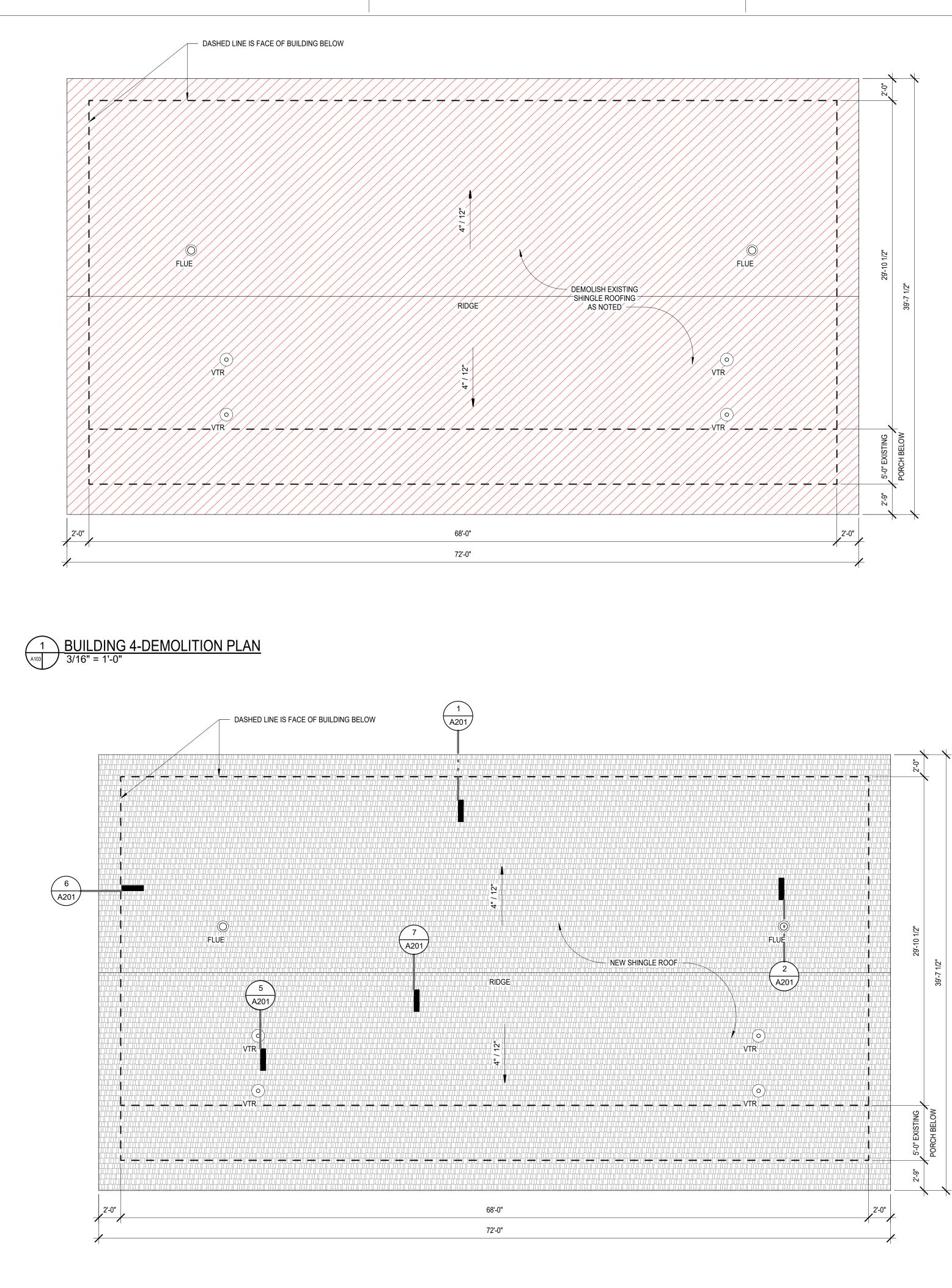
CK FOR NEW WORK.

SCOPE OF WORK BUILDING 3 - REROOF NOTES

REROOF SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING: A. CONTRACTOR SHALL PROVIDE AND INSTALL NEW 5/8" CDX ROOF DECK OVER 5% OF THE EXISTING DECK AREA, WHERE

- EXISTING DECK HAS BEEN DEMOLISHED OR WHERE PENETRATIONS ARE ABANDONED. CONTRACTOR SHALL PROVIDE AND INSTALL NEW
- B. CONTRACTOR SHALL PROVIDE AND INSTALL NEW UNDERLAYMENT AS SPECIFIED AND DETAILED.
- C. CONTRACTOR SHALL PROVIDE AND INSTALL NEW FLASHING AT GAS FLUES AND VTR'S.D. CONTRACTOR SHALL PROVIDE AND INSTALL NEW ROOF
- . CONTRACTOR SHALL PROVIDE AND INSTALL NEW ROOF SHINGLES AS SPECIFIED AND DETAILED. . CONTRACTOR SHALL PROVIDE AND INSTALL NEW METAL RAKE
- AND EAVE TRIM. CONTRACTOR SHALL PROVIDE AND INSTALL NEW
- COUNTRACTOR SHALL PROVIDE AND INSTALL NEW COUNTERFLASHING / THRU-WALL FLASHING.







SCOPE OF WORK **BUILDING 4 - DEMOLITION NOTES**

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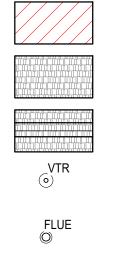
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DEMOLITION SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING: CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE ROOFING Α.

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- MATERIAL. CONTRACTOR SHALL DEMOLISH ALL EXISTING UNDERLAYMENTS. CONTRACTOR SHALL DEMOLISH ALL PIPE BOOTS, CRICKETS AND OTHER PENETRATION FLASHINGS. CONTRACTOR SHALL RETAIN IN PLACE ALL EXISTING GAS FLUES AND
- VTR'S.
- CONTRACTOR SHALL RETAIN IN PLACE ALL GABLE VENTS. CONTRACTOR SHALL DEMOLISH ALL METAL EAVE AND RAKE TRIM.
- CONTRACTOR SHALL DEMOLISH ALL FLASHINGS AND COUNTER G. FLASHINGS NOT OTHERWISE NOTED TO REMAIN. EXISTING STEPPED
- THRU-WALL FLASHING SHALL REMAIN IN PLACE AND SHALL BE REUSED. CONTRACTOR SHALL DEMOLISH 5% OF THE EXISTING 5/8" CDX ROOF DECK. AREAS TO BE DEMOLISHED WILL BE DETERMINED BY THE ARCHITECT IN THE FIELD.
- CONTRACTOR SHALL PREPARE THE DECK FOR NEW WORK. Ι.

LEGEND



T.V.

	DEMOLITION MARK
	NEW SHINGLES
	RIDGE VENT
-	VTR - EXISTING VENT THRU ROOF TO REMAIN. PROVIDE NEW BOOT.
	FLUE - EXISTING FLUE WITH COWL TO REMAIN IN PLACE. PROVIDE NEW BOOT.

TURTLE VENT - EXISTING. DEMOLISH AND PROVIDE NEW IN EXISTING LOCATION.

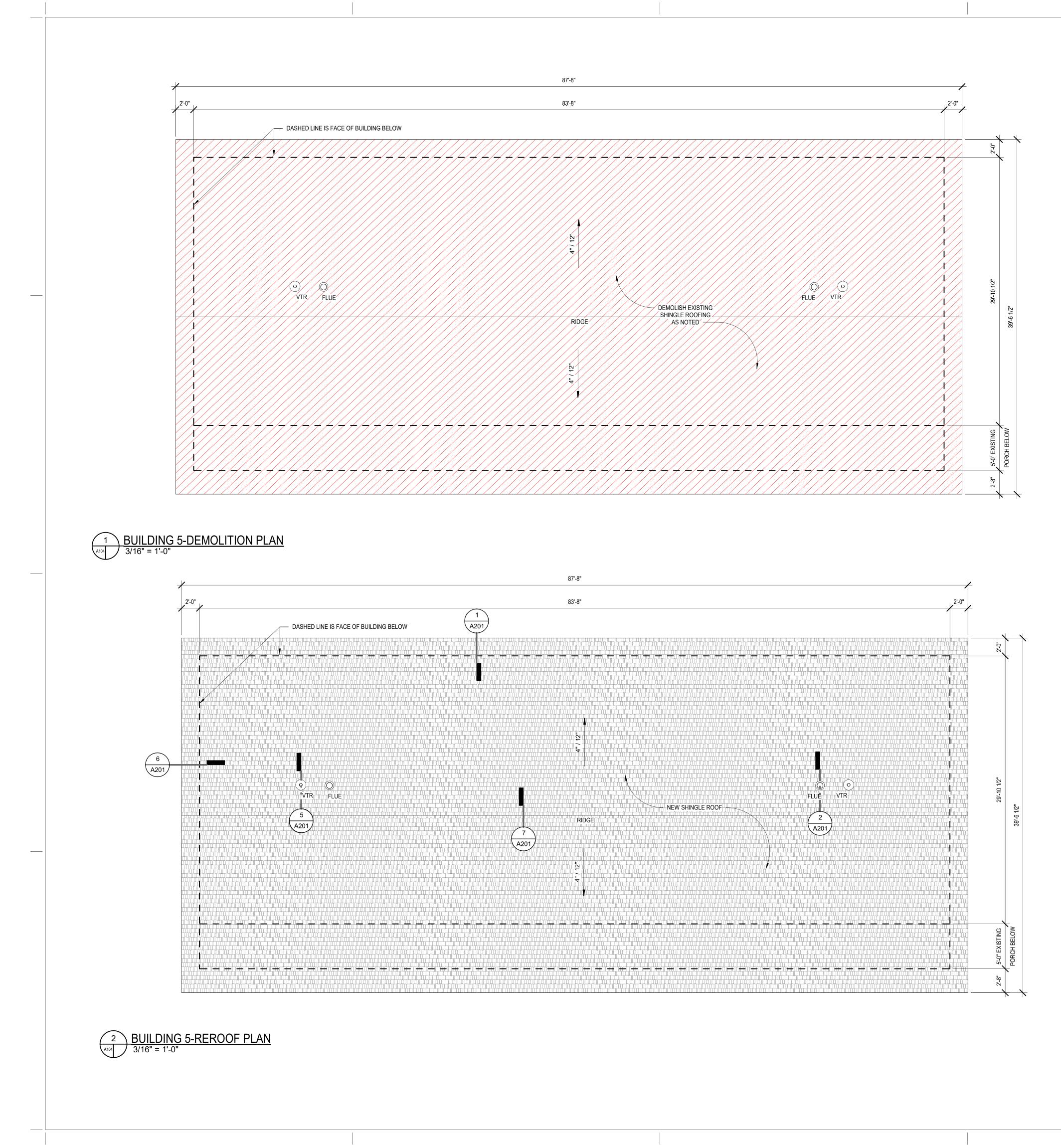
<u>SCOPE OF WORK</u> BUILDING 4 - REROOF NOTES

REROOF SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING: CONTRACTOR SHALL PROVIDE AND INSTALL NEW 5/8" CDX Α.

- ROOF DECK OVER 5% OF THE EXISTING DECK AREA, WHERE EXISTING DECK HAS BEEN DEMOLISHED OR WHERE
- PENETRATIONS ARE ABANDONED.

1.

- CONTRACTOR SHALL PROVIDE AND INSTALL NEW UNDERLAYMENT AS SPECIFIED AND DETAILED.
- CONTRACTOR SHALL PROVIDE AND INSTALL NEW FLASHING AT C.
- GAS FLUES AND VTR'S. CONTRACTOR SHALL PROVIDE AND INSTALL NEW ROOF D.
- SHINGLES AS SPECIFIED AND DETAILED.
- CONTRACTOR SHALL PROVIDE AND INSTALL NEW METAL RAKE AND EAVE TRIM.
- CONTRACTOR SHALL PROVIDE AND INSTALL NEW F. COUNTERFLASHING / THRU-WALL FLASHING.



SCOPE OF WORK **BUILDING 5 - DEMOLITION NOTES**

- 1. DEMOLITION SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
 - CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE ROOFING Α. MATERIAL.
 - CONTRACTOR SHALL DEMOLISH ALL EXISTING UNDERLAYMENTS. CONTRACTOR SHALL DEMOLISH ALL PIPE BOOTS, CRICKETS AND
 - OTHER PENETRATION FLASHINGS. CONTRACTOR SHALL DEMOLISH ALL TURTLE VENTS, THEN PREP THE
 - D. ROOF OPENING FOR A NEW VENT.
 - CONTRACTOR SHALL RETAIN IN PLACE ALL EXISTING GAS FLUES AND VTR'S.
 - CONTRACTOR SHALL RETAIN IN PLACE ALL GABLE VENTS. CONTRACTOR SHALL DEMOLISH ALL METAL EAVE AND RAKE TRIM. CONTRACTOR SHALL DEMOLISH ALL FLASHINGS AND COUNTER
 - FLASHINGS NOT OTHERWISE NOTED TO REMAIN. EXISTING STEPPED THRU-WALL FLASHING SHALL REMAIN IN PLACE AND SHALL BE REUSED. CONTRACTOR SHALL DEMOLISH 5% OF THE EXISTING 5/8" CDX ROOF
 - DECK. AREAS TO BE DEMOLISHED WILL BE DETERMINED BY THE ARCHITECT IN THE FIELD.
 - CONTRACTOR SHALL PREPARE THE DECK FOR NEW WORK. J.

LEGEND



DEMOLITION MARK

NEW SHINGLES

RIDGE VENT



T.V.

ROOF TO REMAIN. PROVIDE NEW BOOT.

VTR - EXISTING VENT THRU

FLUE - EXISTING FLUE WITH COWL TO REMAIN IN PLACE. PROVIDE NEW BOOT. TURTLE VENT - EXISTING.

DEMOLISH AND PROVIDE NEW IN EXISTING LOCATION.

<u>SCOPE OF WORK</u> BUILDING 5 - REROOF NOTES

- REROOF SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING: 1. A. CONTRACTOR SHALL PROVIDE AND INSTALL NEW 5/8" CDX ROOF DECK OVER 5% OF THE EXISTING DECK AREA, WHERE
 - EXISTING DECK HAS BEEN DEMOLISHED OR WHERE PENETRATIONS ARE ABANDONED.
 - CONTRACTOR SHALL PROVIDE AND INSTALL NEW UNDERLAYMENT AS SPECIFIED AND DETAILED.
 - CONTRACTOR SHALL PROVIDE AND INSTALL NEW TURTLE C.
 - VENTS IN LOCATIONS DRAWN. CONTRACTOR SHALL PROVIDE AND INSTALL NEW FLASHING AT D.
 - GAS FLUES AND VTR'S. CONTRACTOR SHALL PROVIDE AND INSTALL NEW ROOF Ε.

Β.

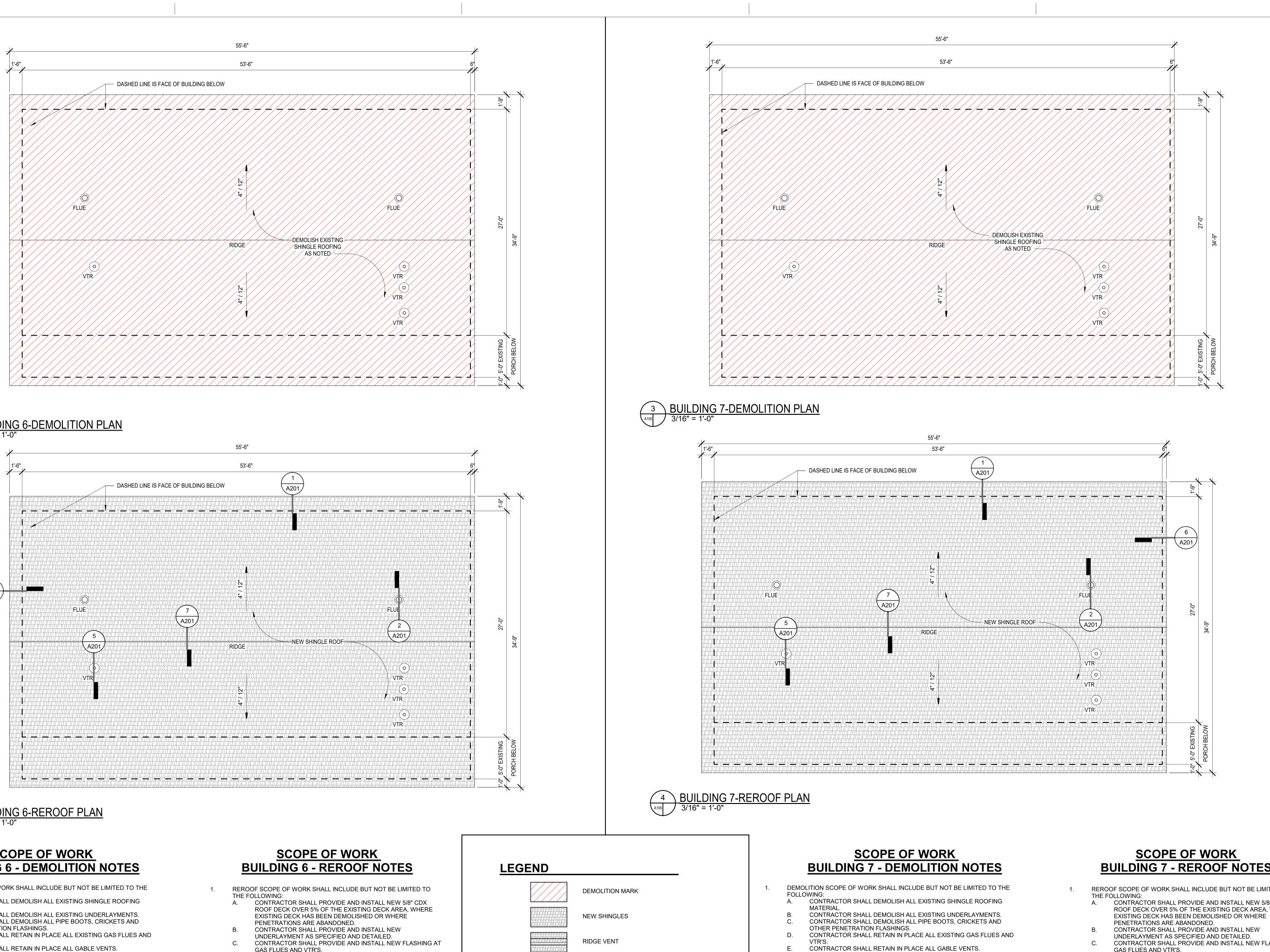
- SHINGLES AS SPECIFIED AND DETAILED. CONTRACTOR SHALL PROVIDE AND INSTALL NEW METAL RAKE F.
- AND EAVE TRIM.
- CONTRACTOR SHALL PROVIDE AND INSTALL NEW COUNTERFLASHING / THRU-WALL FLASHING. G.

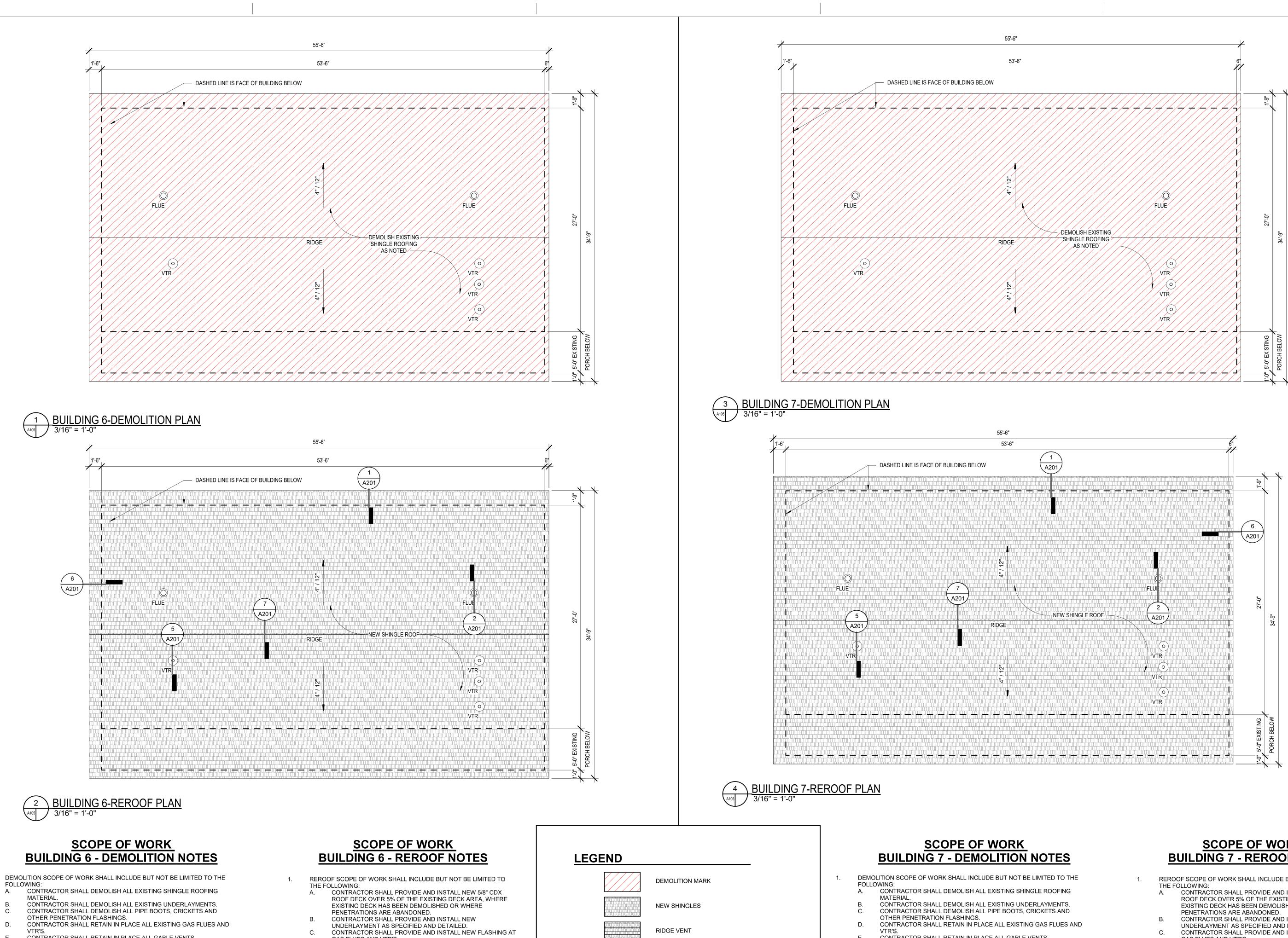
711 Oce <u>a vi a</u> AN PROJECT - HURRICANE PLACE APARTMENTS Г REROOF õ Z DE REPLACEMEN ME 2 - FERNWO ILOXI HOUSING AUTHI VACHI AVENUE BILOX DEMOLITION IFB#RRP03.21 BHA ROO ZETA REPAIRS - VOLUN മ 0 S UILDING Μ 34 hseagoula, M

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FOLLOWING: Α.

1.

- CONTRACTOR SHALL RETAIN IN PLACE ALL GABLE VENTS.
- CONTRACTOR SHALL DEMOLISH ALL METAL EAVE AND RAKE TRIM. CONTRACTOR SHALL DEMOLISH ALL FLASHINGS AND COUNTER G.
- FLASHINGS NOT OTHERWISE NOTED TO REMAIN. EXISTING STEPPED THRU-WALL FLASHING SHALL REMAIN IN PLACE AND SHALL BE REUSED.
- CONTRACTOR SHALL DEMOLISH 5% OF THE EXISTING 5/8" CDX ROOF Н. DECK. AREAS TO BE DEMOLISHED WILL BE DETERMINED BY THE
- ARCHITECT IN THE FIELD. CONTRACTOR SHALL PREPARE THE DECK FOR NEW WORK. Ι.

- GAS FLUES AND VTR'S. D. CONTRACTOR SHALL PROVIDE AND INSTALL NEW ROOF
- SHINGLES AS SPECIFIED AND DETAILED. CONTRACTOR SHALL PROVIDE AND INSTALL NEW METAL RAKE
- AND EAVE TRIM. CONTRACTOR SHALL PROVIDE AND INSTALL NEW COUNTERFLASHING / THRU-WALL FLASHING.

VTR - EXISTING VENT THRU ROOF TO REMAIN. PROVIDE NEW BOOT.

VTR

FLUE

T.V.

(0)

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FLUE - EXISTING FLUE WITH COWL TO REMAIN IN PLACE. PROVIDE NEW BOOT.

TURTLE VENT - EXISTING. DEMOLISH AND PROVIDE NEW IN EXISTING LOCATION.

- CONTRACTOR SHALL DEMOLISH ALL METAL EAVE AND RAKE TRIM. CONTRACTOR SHALL DEMOLISH ALL FLASHINGS AND COUNTER G. FLASHINGS NOT OTHERWISE NOTED TO REMAIN. EXISTING STEPPED THRU-WALL FLASHING SHALL REMAIN IN PLACE AND SHALL BE REUSED.
- Η. CONTRACTOR SHALL DEMOLISH 5% OF THE EXISTING 5/8" CDX ROOF DECK. AREAS TO BE DEMOLISHED WILL BE DETERMINED BY THE ARCHITECT IN THE FIELD.

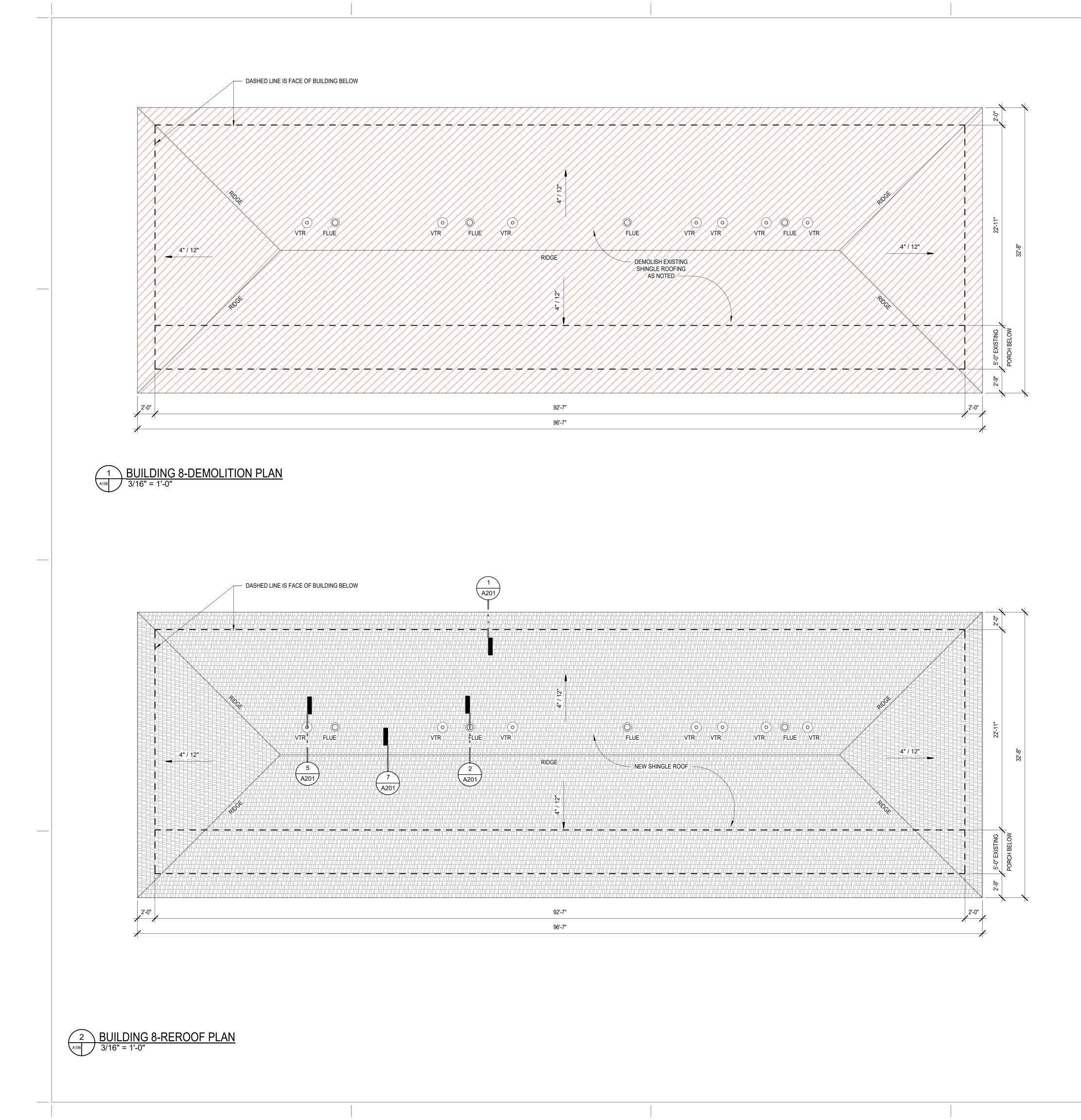
CONTRACTOR SHALL PREPARE THE DECK FOR NEW WORK.

<u>SCOPE OF WORK</u> BUILDING 7 - REROOF NOTES

REROOF SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO CONTRACTOR SHALL PROVIDE AND INSTALL NEW 5/8" CDX ROOF DECK OVER 5% OF THE EXISTING DECK AREA, WHERE

- CONTRACTOR SHALL PROVIDE AND INSTALL NEW
- UNDERLAYMENT AS SPECIFIED AND DETAILED. CONTRACTOR SHALL PROVIDE AND INSTALL NEW FLASHING AT
- GAS FLUES AND VTR'S. CONTRACTOR SHALL PROVIDE AND INSTALL NEW ROOF D.
- SHINGLES AS SPECIFIED AND DETAILED. CONTRACTOR SHALL PROVIDE AND INSTALL NEW METAL RAKE
- AND EAVE TRIM. CONTRACTOR SHALL PROVIDE AND INSTALL NEW
- COUNTERFLASHING / THRU-WALL FLASHING.

,		JOB NUMBER			711 Church Street
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E		SCN	BILOXI HOUSING AUTHORITY		Dhana: 72387562-1076
)	ECT to	CHECKED BY	330 BENACHI AVENUE BILOXI MS 39530		Email: contact@allredstolarski.com
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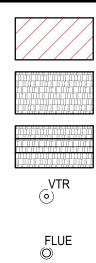


SCOPE OF WORK BUILDING 8 - DEMOLITION NOTES

 DEMOLITION SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
 A. CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE ROOFING

- MATERIAL. B. CONTRACTOR SHALL DEMOLISH ALL EXISTING UNDERLAYMENTS. C. CONTRACTOR SHALL DEMOLISH ALL PIPE BOOTS, CRICKETS AND
- OTHER PENETRATION FLASHINGS. D. CONTRACTOR SHALL RETAIN IN PLACE ALL EXISTING GAS FLUES AND
- VTR'S. E. CONTRACTOR SHALL RETAIN IN PLACE ALL GABLE VENTS. F. CONTRACTOR SHALL DEMOLISH ALL METAL EAVE AND RAKE TRIM. G. CONTRACTOR SHALL DEMOLISH ALL FLASHINGS AND COUNTER
- FLASHINGS NOT OTHERWISE NOTED TO REMAIN. EXISTING STEPPED THRU-WALL FLASHING SHALL REMAIN IN PLACE AND SHALL BE REUSED.
 H. CONTRACTOR SHALL DEMOLISH 5% OF THE EXISTING 5/8" CDX ROOF DECK. AREAS TO BE DEMOLISHED WILL BE DETERMINED BY THE
- ARCHITECT IN THE FIELD. . CONTRACTOR SHALL PREPARE THE DECK FOR NEW WORK.

LEGEND



NEW SHINGLES

DEMOLITION MARK

RIDGE VENT

VTR - EXISTING VENT THRU ROOF TO REMAIN. PROVIDE NEW BOOT.

FLUE - EXISTING FLUE WITH COWL TO REMAIN IN PLACE. PROVIDE NEW BOOT.

T.V. TURTLE VENT - EXISTING. DEMOLISH AND PROVIDE NEW IN EXISTING LOCATION.

<u>SCOPE OF WORK</u> BUILDING 8 - REROOF NOTES

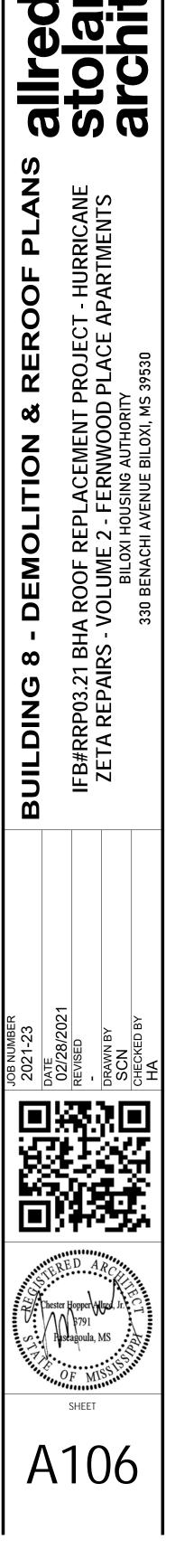
 REROOF SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
 A. CONTRACTOR SHALL PROVIDE AND INSTALL NEW 5/8" CDX

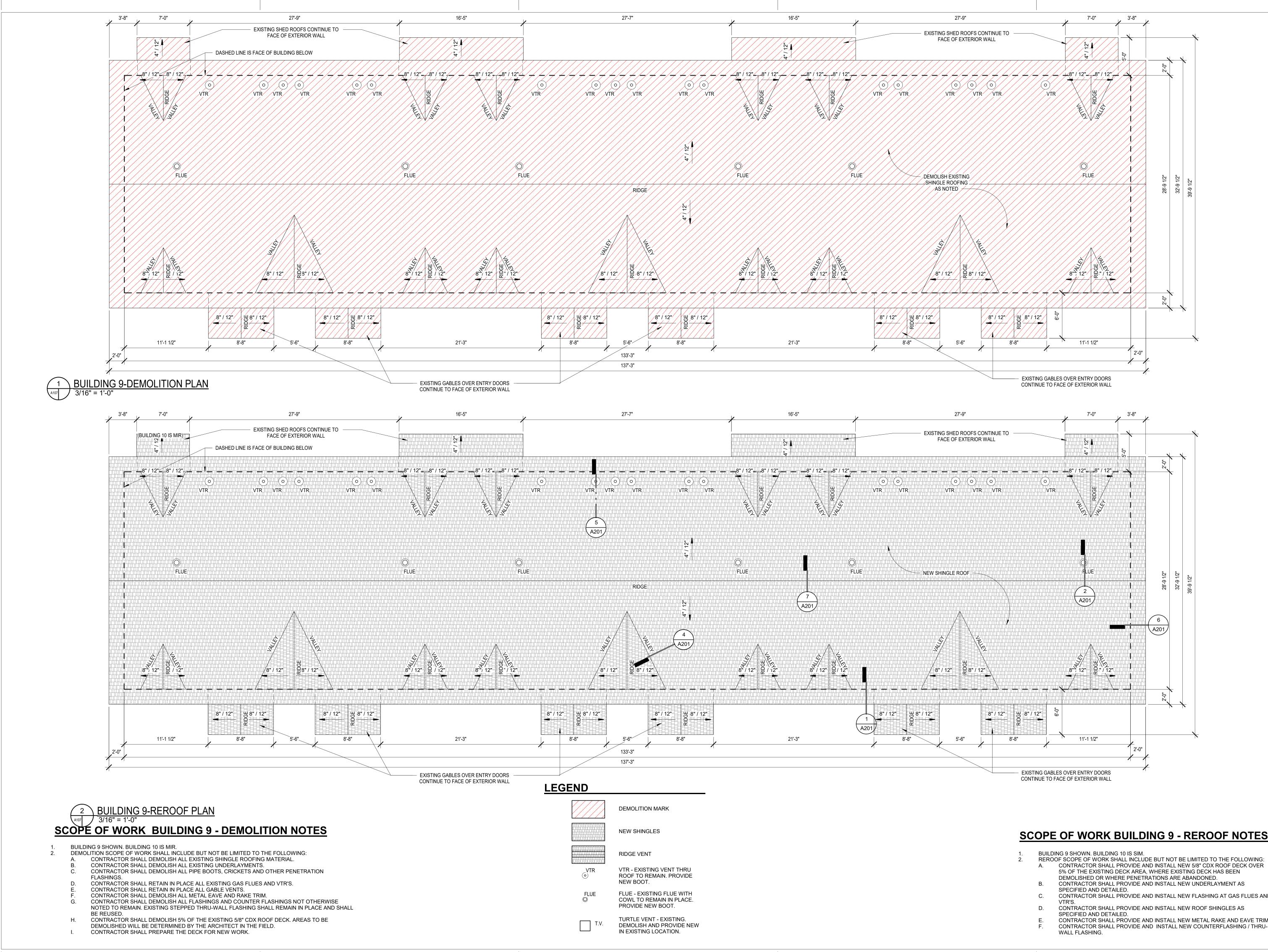
- A. CONTRACTOR SHALL PROVIDE AND INSTALL NEW 5/8" CDX ROOF DECK OVER 5% OF THE EXISTING DECK AREA, WHERE EXISTING DECK HAS BEEN DEMOLISHED OR WHERE PENETRATIONS ARE ABANDONED.
- B. CONTRACTOR SHALL PROVIDE AND INSTALL NEW
- UNDERLAYMENT AS SPECIFIED AND DETAILED. C. CONTRACTOR SHALL PROVIDE AND INSTALL NEW FLASHING AT
- GAS FLUES AND VTR'S.
- D. CONTRACTOR SHALL PROVIDE AND INSTALL NEW ROOF SHINGLES AS SPECIFIED AND DETAILED.
- E. CONTRACTOR SHALL PROVIDE AND INSTALL NEW METAL RAKE AND EAVE TRIM.F. CONTRACTOR SHALL PROVIDE AND INSTALL NEW
- COUNTERFLASHING / THRU-WALL FLASHING.

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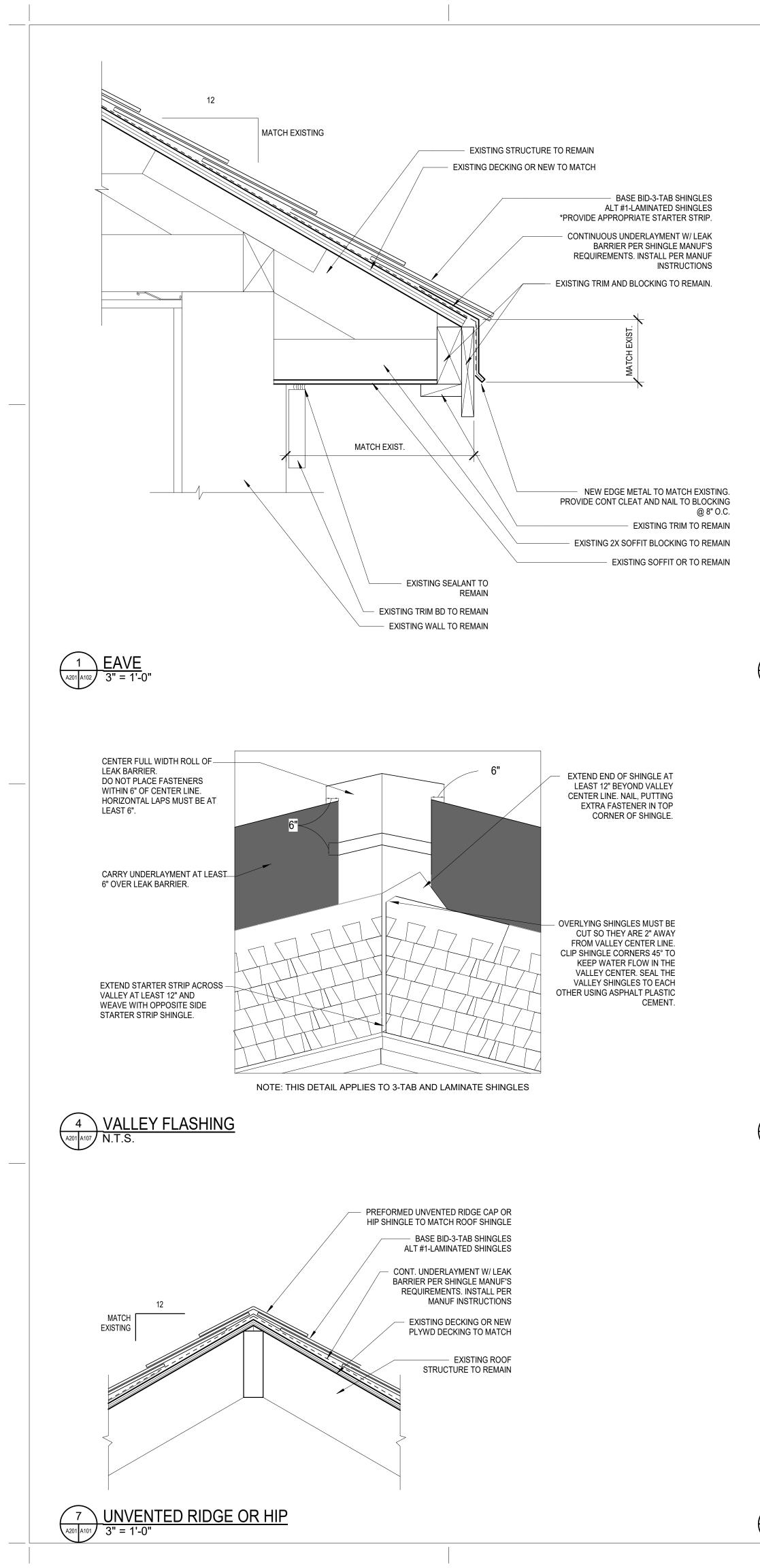
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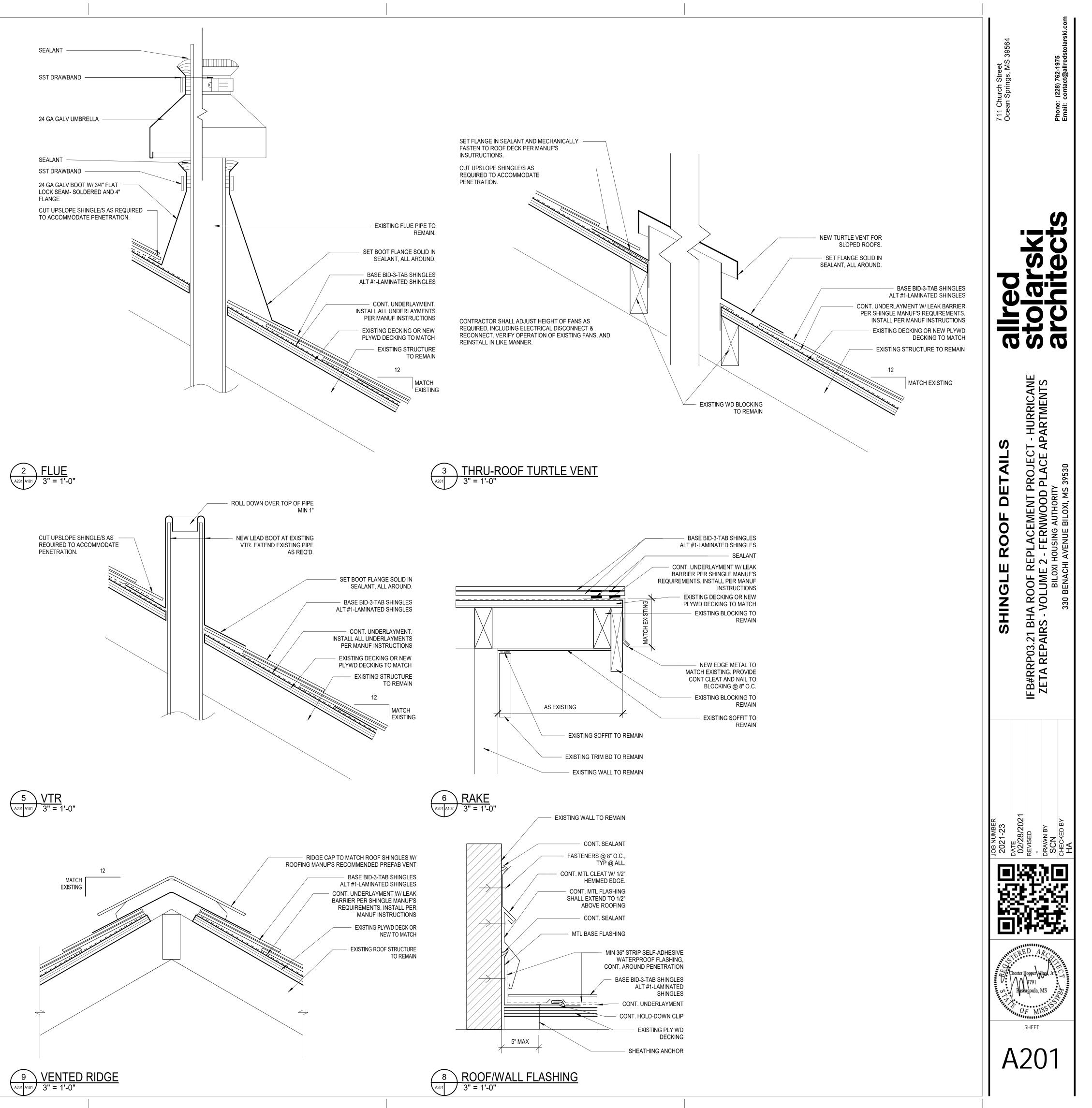




SCOPE OF WORK BUILDING 9 - REROOF NOTES

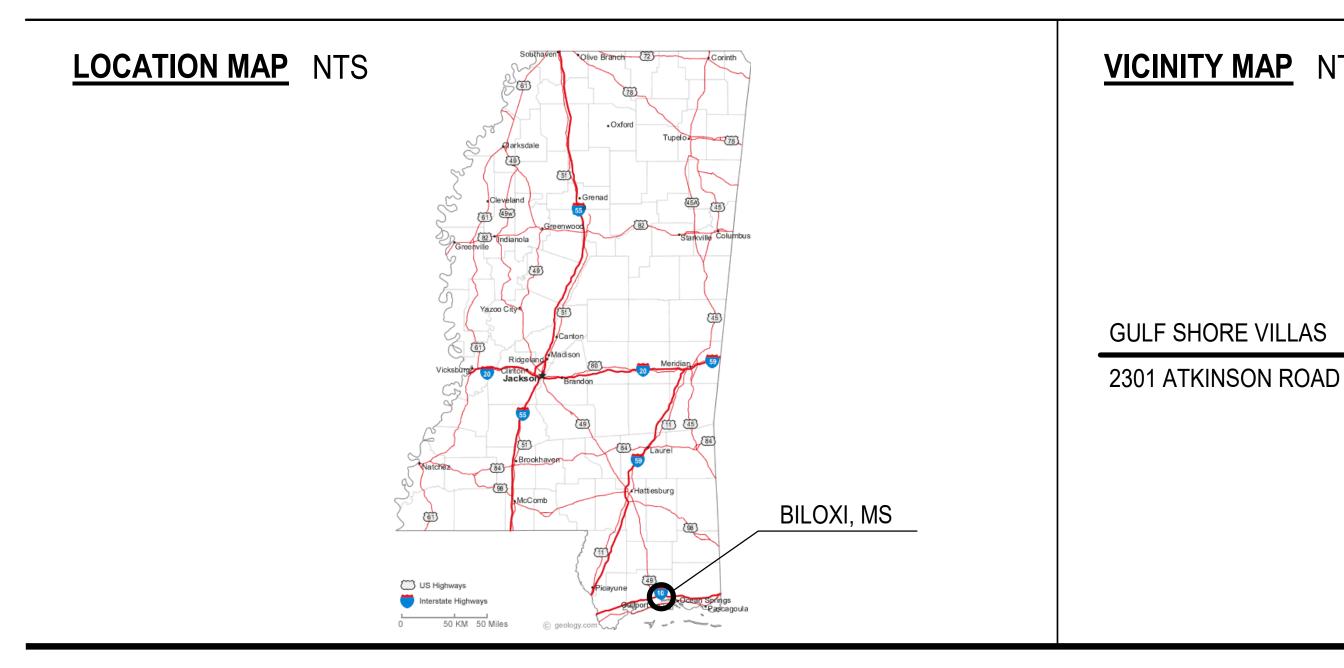
- 5% OF THE EXISTING DECK AREA, WHERE EXISTING DECK HAS BEEN
- CONTRACTOR SHALL PROVIDE AND INSTALL NEW FLASHING AT GAS FLUES AND
- CONTRACTOR SHALL PROVIDE AND INSTALL NEW ROOF SHINGLES AS
- CONTRACTOR SHALL PROVIDE AND INSTALL NEW METAL RAKE AND EAVE TRIM. CONTRACTOR SHALL PROVIDE AND INSTALL NEW COUNTERFLASHING / THRU-
- (228) 762-197 contact@allre Phone: Email: ъŏ ava CT - HURRICANE CAPARTMENTS REROOF LITION & PROJECT 0 0 IFB#RRP03.21 BHA ROOI ZETA REPAIRS - VOLUN Γ ഥ Š 0 6 BUILDING /202 察》回 135 Paseagoula, MS OF M SHEET A107





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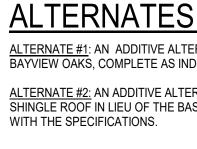
BILOXI HOUSING AUTHORITY 330 BENACHI AVENUE BILOXI, MS 39530



VICINITY MAP NTS



G000	TITLE SHEET
	IND
A100	REFERENCE SITE PLAN
A101	BUILDINGS #1, 2, & 24 -
A102	BUILDINGS # 3, 12, 18, 2
A103	BUILDINGS #4, 9, 11, &
A104	BUILDINGS #5, 6, 7, 8, 1
A105	BUILDING 10 - DEMOLIT
A106	BUILDING #15 - DEMOL
A107	BUILDING #16 - DEMOL
A108	BUILDING #19 - DEMOL
A109	BUILDING #20 - DEMOL
A110	



PRIORITY WORK THE FOLLOWING LOCATIONS SHALL HAVE PRIORITY IN SCHEDULING: 1. BUILDING 1

allred stolarski architects



VOLUME 3 DRAWING INDEX

INDEX - GENERAL

DEX - ARCHITECTURAL

- DEMOLITION & REROOF PLANS , 21, 22, & 23 - DEMOLITION & REROOF PLANS & 17 - DEMOLITION & REROOF PLANS 13, & 14 - DEMOLITION & REROOF PLANS ITION & REROOF PLANS LTION & REROOF PLANS LITION & REROOF PLANS LITION & REROOF PLANS LITION & REROOF PLANS
- A110 LAUNDRY BUILDING DEMOLITION & REROOF PLANS A201 SHINGLE ROOF DETAILS

PROJ #: 2021-23

IFB#RRP03.21 BHA ROOF REPLACEMENT PROJECT HURRICANE ZETA REPAIRS - VOLUME 3 - GULF SHORE VILLAS

> **BILOXI HOUSING AUTHORITY** 330 BENACHI AVENUE BILOXI, MS 39530

DATE: 02/28/2021

<u>SET TYPE</u> **BID SET**

PROJECT TEAM ARCHITECT ALLRED STOLARSKI ARCHITECTS

711 CHURCH STREET OCEAN SPRINGS, MS 39564 **T** (228) 762-1975 HÔPPÝ ALLRED, AIA, PRINCIPAL ARCHITECT hoppy@allredstolarski.com

E #1: AN ADDITIVE ALTERNATE FOR ALL LABOR, MATERIALS, AND EQUIPMENT NECESSARY TO REROOF BUILDINGS AT AKS. COMPLETE AS INDICATED ON THE DRAWINGS AND IN ACCORDANCE WITH THE SPECIFICATIONS

ALTERNATE #2: AN ADDITIVE ALTERNATE FOR ALL LABOR, MATERIALS, AND EQUIPMENT NECESSARY TO INSTALL A LAMINATED SHINGLE ROOF IN LIEU OF THE BASE BID 3-TAB SHINGLE ROOF, COMPLETE AS INDICATED ON THE DRAWINGS AND IN ACCORDANCE



711 Church Street Ocean Springs, MS 39564

GENERAL WORK NOTES

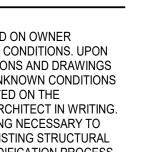
- SITE ADDRESS: 2301 ATKINSON ROAD, BILOXI, MS 39531 ALL INFORMATION REGARDING EXISTING CONDITIONS IS BASED ON OWNER SUPPLIED DOCUMENTS AND MAY NOT REFLECT ACTUAL FIELD CONDITIONS. UPON DISCOVERY OF ANY DISCREPANCIES BETWEEN FIELD CONDITIONS AND DRAWINGS DEPICTING EXISTING CONDITIONS OR UPON DISCOVERY OF UNKNOWN CONDITIONS DETRIMENTAL TO THE COMPLETION OF THE WORK AS INDICATED ON THE DRAWINGS, CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT IN WRITING. 3. CONTRACTOR IS RESPONSIBLE FOR ALL SHORING AND BRACING NECESSARY TO
- MAINTAIN STRUCTURAL INTEGRITY. AT NO TIME SHALL THE EXISTING STRUCTURAL MEMBERS BE SUBJECTED TO CUTTING, DRILLING, OR ANY MODIFICATION PROCESS THAT MAY INTERFERE WITH ITS STRUCTURAL INTEGRITY. 4. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL
- DIMENSIONS AND CONDITIONS IN FIELD PRIOR TO BIDDING. SALVAGE IS DEFINED AS THE CAREFUL REMOVAL AND RETAINING OF ITEMS AS 5.
- SHOWN IN DRAWINGS FOR POSSIBLE REUSE OR DELIVERY TO OWNER CARE SHOULD BE TAKEN AT THE INTERFACE BETWEEN DEMOLITION AND EXISTING 6. CONSTRUCTION TO REMAIN, TO AVOID ANY DAMAGE TO EXISTING CONSTRUCTION. AFTER REMOVAL OF EXISTING ROOFING OR CONSTRUCTION, PATCH AND REPAIR DAMAGE TO ANY EXISTING, WALLS, SIDEWALKS, PAVING, CURBS, LANDSCAPING, ETC. TO A LIKE NEW CONDITION.
- 7. THE CONTRACTOR SHALL NOTIFY, COORDINATE, SCHEDULE, AND RECEIVE PRIOR PERMISSION FROM THE USING AGENCY PRIOR TO ANY SHUT DOWN OF BUILDING SERVICES AS REQUIRED TO COMPLETE THE WORK. NOTIFICATION SHALL INCLUDE LENGTH OF TIME REQUIRED TO SHUT DOWN, LENGTH OF TIME SERVICE WILL BE DISCONNECTED, AND TIME REQUIRED TO RECONNECT SERVICES. SHUT DOWN
- SHALL NOT OCCUR DURING BUSINESS HOURS. THE EXISTING BUILDING ENVELOPE SHALL BE MAINTAINED IN A WATERTIGHT 8. CONDITION AT ALL TIMES.
- THE CONTRACTOR SHALL PROVIDE TEMPORARY PROTECTION AS NECESSARY AND 9. AS REQUIRED TO SEAL OFF THE REST OF THE EXISTING BUILDING AND MAINTAIN BUILDING DURING DEMOLITION.
- 10. ALL DEMOLITION WORK SHALL BE EXECUTED IN CONFORMANCE WITH ALL CODES AND ORDINANCES AS SET FORTH BY ALL GOVERNING AUTHORITIES.

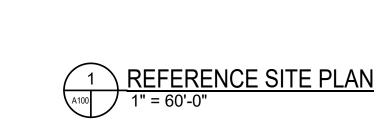
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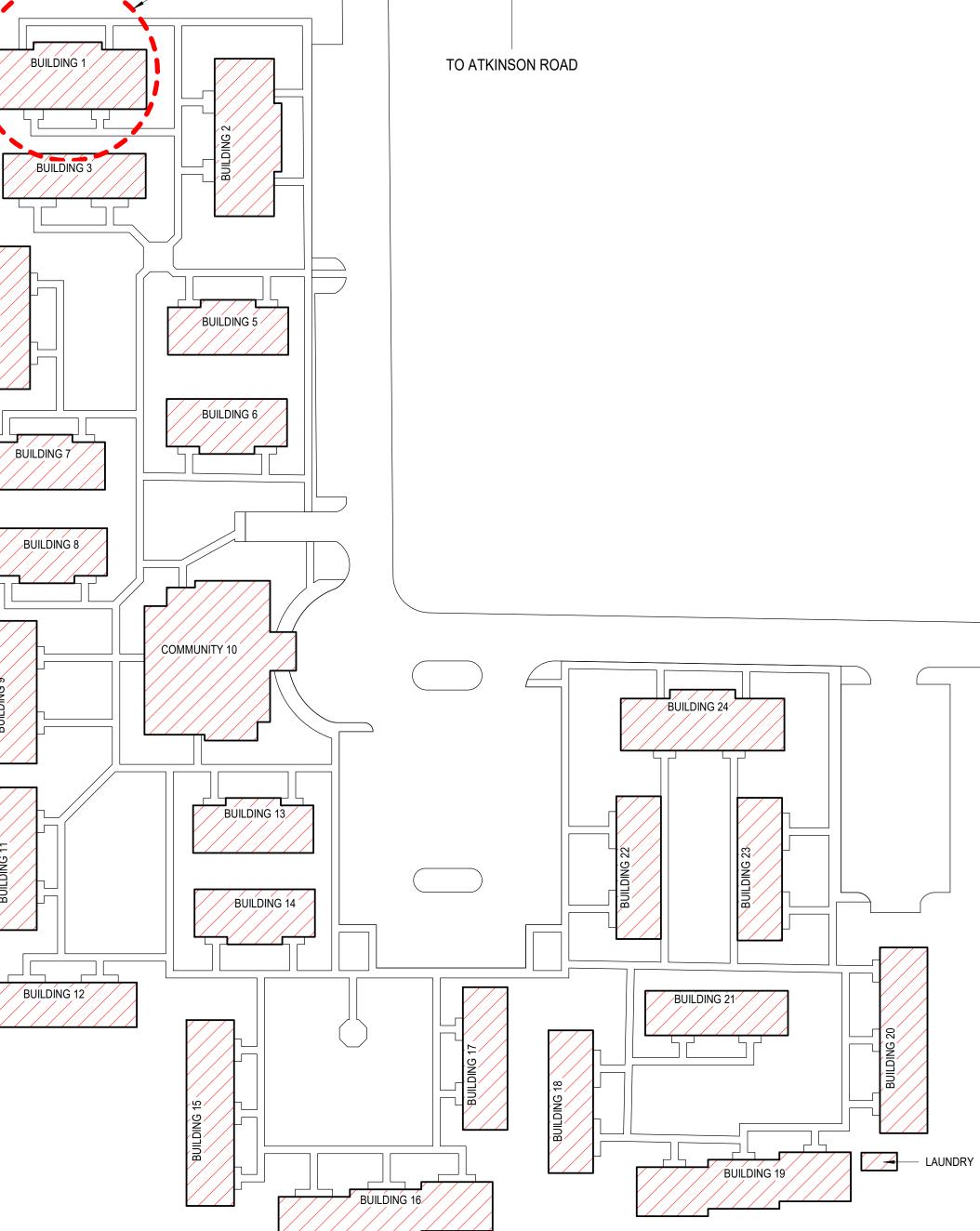
BUILDING #

BUILDING NUMBER

NO WORK THIS LOCATION.





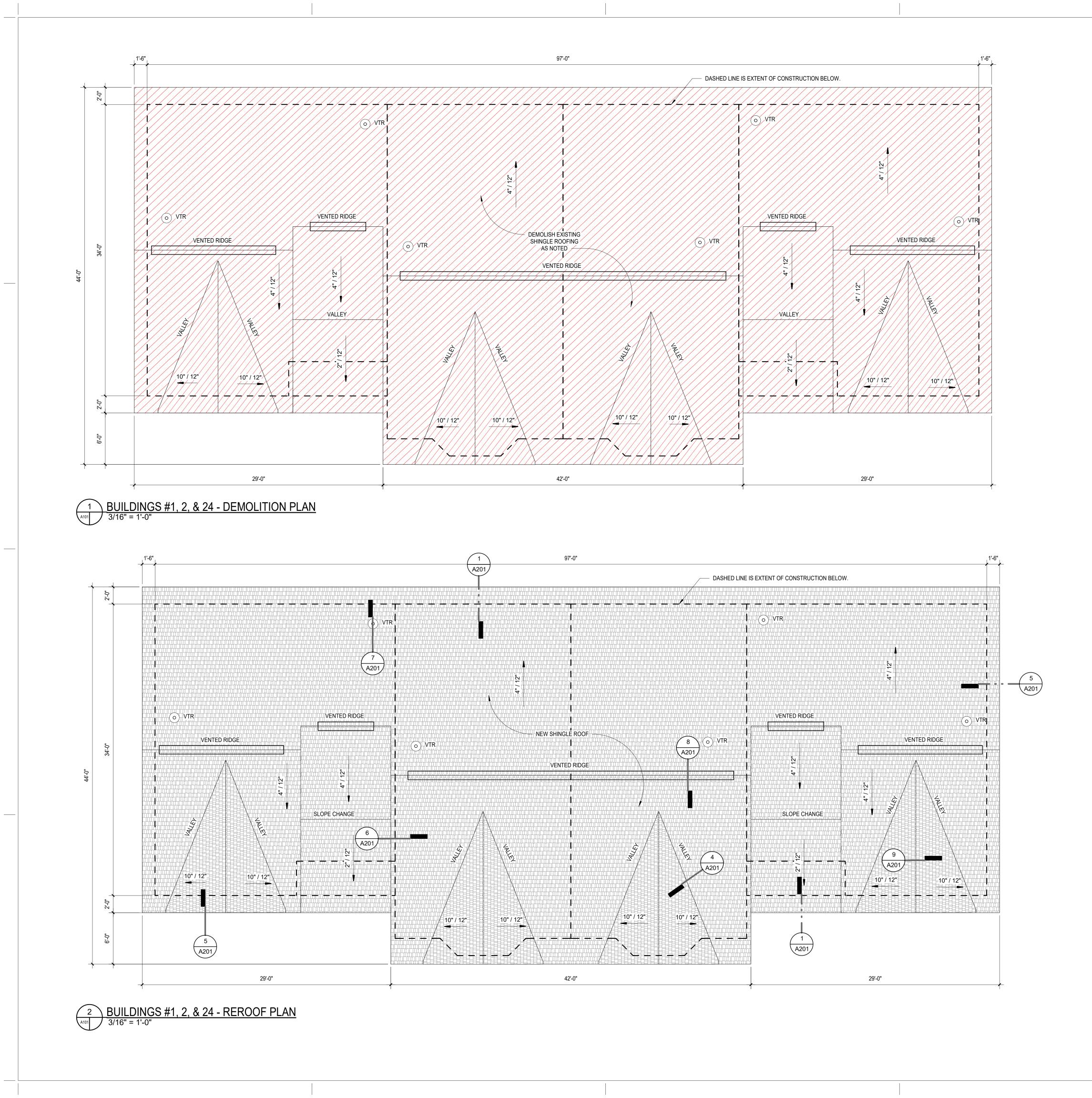




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BCT - Harris		DBY	330 BENACHI AVENUE BILOXI, MS 39530		Phone: (228) 762-1975 Email: contact@allredstolarski.com

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SCOPE OF WORK BUILDINGS #1, 2, & 24 -DEMOLITION NOTES

- DEMOLITION SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING: A. CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE ROOFING
- MATERIAL. B. CONTRACTOR SHALL DEMOLISH ALL EXISTING UNDERLAYMENTS. C. CONTRACTOR SHALL DEMOLISH ALL PIPE BOOTS, CRICKETS AND
- OTHER PENETRATION FLASHINGS. D. CONTRACTOR SHALL RETAIN IN PLACE ALL EXISTING VTR'S.
- E. CONTRACTOR SHALL RETAIN IN PLACE ALL GABLE VENTS.
 F. CONTRACTOR SHALL DEMOLISH ALL METAL EAVE AND RAKE TRIM.
 G. CONTRACTOR SHALL DEMOLISH ALL FLASHINGS AND COUNTER FLASHINGS NOT OTHERWISE NOTED TO REMAIN. EXISTING STEPPED THRU-WALL FLASHING SHALL REMAIN IN PLACE AND
- SHALL BE REUSED.
 H. CONTRACTOR SHALL DEMOLISH 5% OF THE EXISTING 5/8" CDX
- CONTRACTOR SHALL DEMOLISH 5% OF THE EXISTING 5% CDX
 ROOF DECK. AREAS TO BE DEMOLISHED WILL BE DETERMINED BY
 THE ARCHITECT IN THE FIELD.
 CONTRACTOR SHALL PREPARE THE DECK FOR NEW WORK.
- BUILDING #1 SHALL HAVE PRIORITY IN WORK SCHEDULING.

LEGEND

1.

NEW SHINGLES

VENTED RIDGE

DEMOLITION MARK

VTR - EXISTING VENT THRU ROOF TO REMAIN. PROVIDE NEW BOOT. FLUE - EXISTING FLUE WITH COWL TO

© FLUE E.F.

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⊙ VTR

REMAIN IN PLACE. PROVIDE NEW BOOT. EXHAUST FAN - EXISTING DEMOLISH & REPLACE WITH NEW IN SAME LOCATION-REUSE CURB.

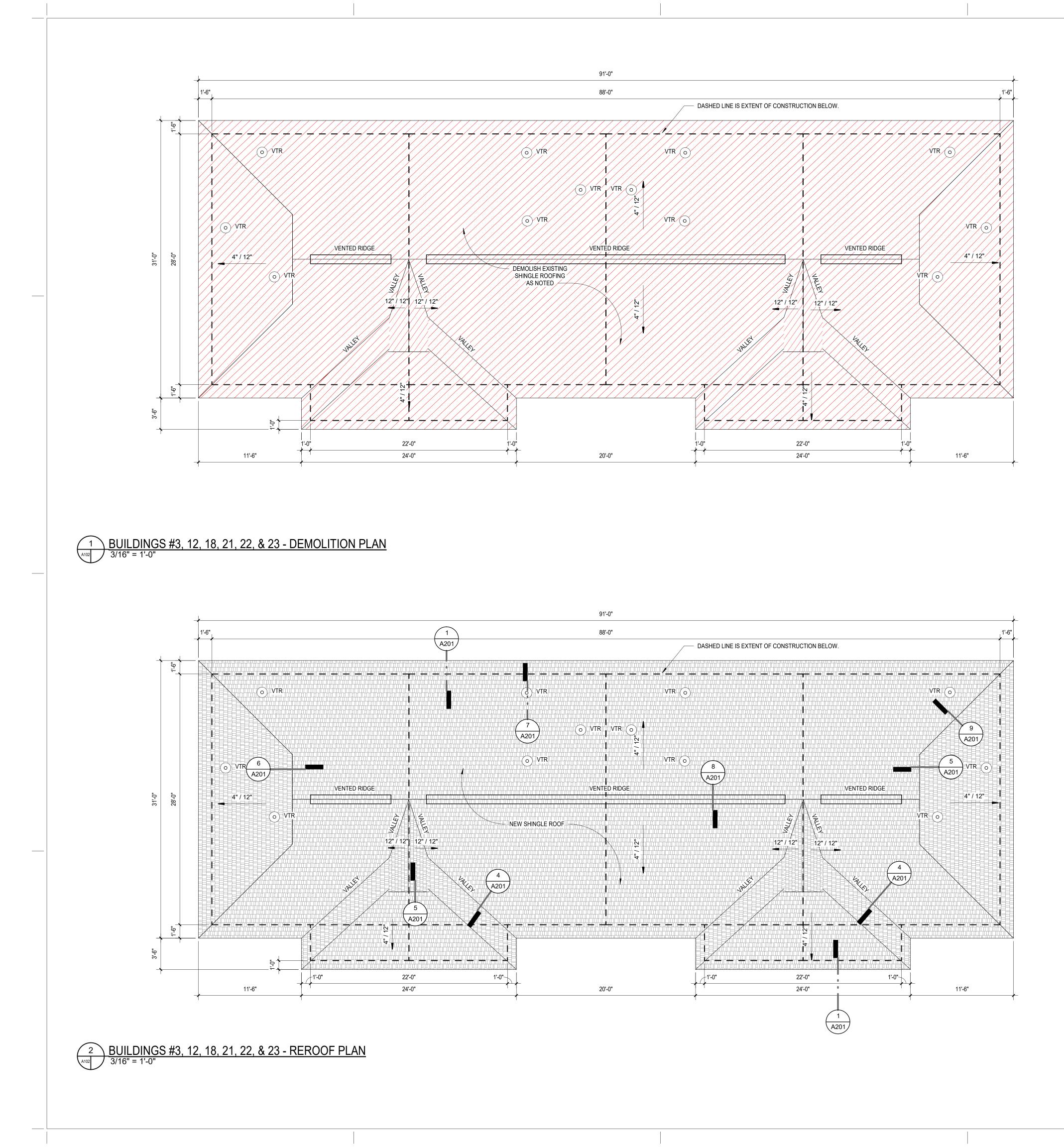
SCOPE OF WORK BUILDINGS #1, 2, & 24 -REROOF NOTES

REROOF SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE

- FOLLOWING: A. CONTRACTOR SHALL PROVIDE AND INSTALL NEW 5/8" CDX ROOF DECK OVER 5% OF THE EXISTING DECK AREA, WHERE EXISTING
- DECK HAS BEEN DEMOLISHED. B. CONTRACTOR SHALL PROVIDE AND INSTALL NEW
- UNDERLAYMENT AS SPECIFIED AND DETAILED.
- C. CONTRACTOR SHALL PROVIDE AND INSTALL NEW FLASHING AT VTR'S.
- D. CONTRACTOR SHALL PROVIDE AND INSTALL NEW ROOF SHINGLES AS SPECIFIED AND DETAILED.
- E. CONTRACTOR SHALL PROVIDE AND INSTALL NEW METAL RAKE AND EAVE TRIM.
- CONTRACTOR SHALL PROVIDE AND INSTALL NEW COUNTERFLASHING / THRU-WALL FLASHING.
- 2. BUILDING #1 SHALL HAVE PRIORITY IN WORK SCHEDULING.

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SCOPE OF WORK BUILDINGS #3, 12, 18, 21, 22, & 23 -**DEMOLITION NOTES**

1.	DEMOL A. B. C. D. E. F. G.	LITION SCOPE O CONTRACTOR CONTRACTOR CONTRACTOR FLASHINGS. CONTRACTOR CONTRACTOR CONTRACTOR
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	C.	CONTRACTOR
		FLASHINGS.
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	E.	CONTRACTOR
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	E.	COI
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OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING: R SHALL DEMOLISH ALL EXISTING SHINGLE ROOFING MATERIAL. SHALL DEMOLISH ALL EXISTING UNDERLAYMENTS. SHALL DEMOLISH ALL PIPE BOOTS, CRICKETS AND OTHER PENETRATION

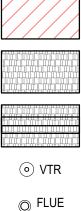
SHALL RETAIN IN PLACE ALL EXISTING VTR'S.

SHALL RETAIN IN PLACE ALL GABLE VENTS. R SHALL DEMOLISH ALL METAL EAVE AND RAKE TRIM.

SHALL DEMOLISH ALL FLASHINGS AND COUNTER FLASHINGS NOT NOTED TO REMAIN. EXISTING STEPPED THRU-WALL FLASHING SHALL LACE AND SHALL BE REUSED.

R SHALL DEMOLISH 5% OF THE EXISTING 5/8" CDX ROOF DECK. AREAS TO HED WILL BE DETERMINED BY THE ARCHITECT IN THE FIELD. R SHALL PREPARE THE DECK FOR NEW WORK.

LEGEND



DEMOLITION MARK

NEW SHINGLES

VENTED RIDGE

E.F.

VTR - EXISTING VENT THRU ROOF TO REMAIN. PROVIDE NEW BOOT. FLUE - EXISTING FLUE WITH COWL TO REMAIN IN PLACE. PROVIDE NEW BOOT. EXHAUST FAN - EXISTING DEMOLISH & REPLACE WITH NEW IN SAME LOCATION-REUSE CURB.

SCOPE OF WORK BUILDINGS #3, 12, 18, 21, 22, & 23 -**REROOF NOTES**

SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING: ONTRACTOR SHALL PROVIDE AND INSTALL NEW 5/8" CDX ROOF DECK OVER 5% OF E EXISTING DECK AREA, WHERE EXISTING DECK HAS BEEN DEMOLISHED. NTRACTOR SHALL PROVIDE AND INSTALL NEW UNDERLAYMENT AS SPECIFIED AND TAILED. ONTRACTOR SHALL PROVIDE AND INSTALL NEW FLASHING AT VTR'S. ONTRACTOR SHALL PROVIDE AND INSTALL NEW ROOF SHINGLES AS SPECIFIED AND

TAILED. ONTRACTOR SHALL PROVIDE AND INSTALL NEW METAL RAKE AND EAVE TRIM. ONTRACTOR SHALL PROVIDE AND INSTALL NEW COUNTERFLASHING / THRU-WALL FLASHING.

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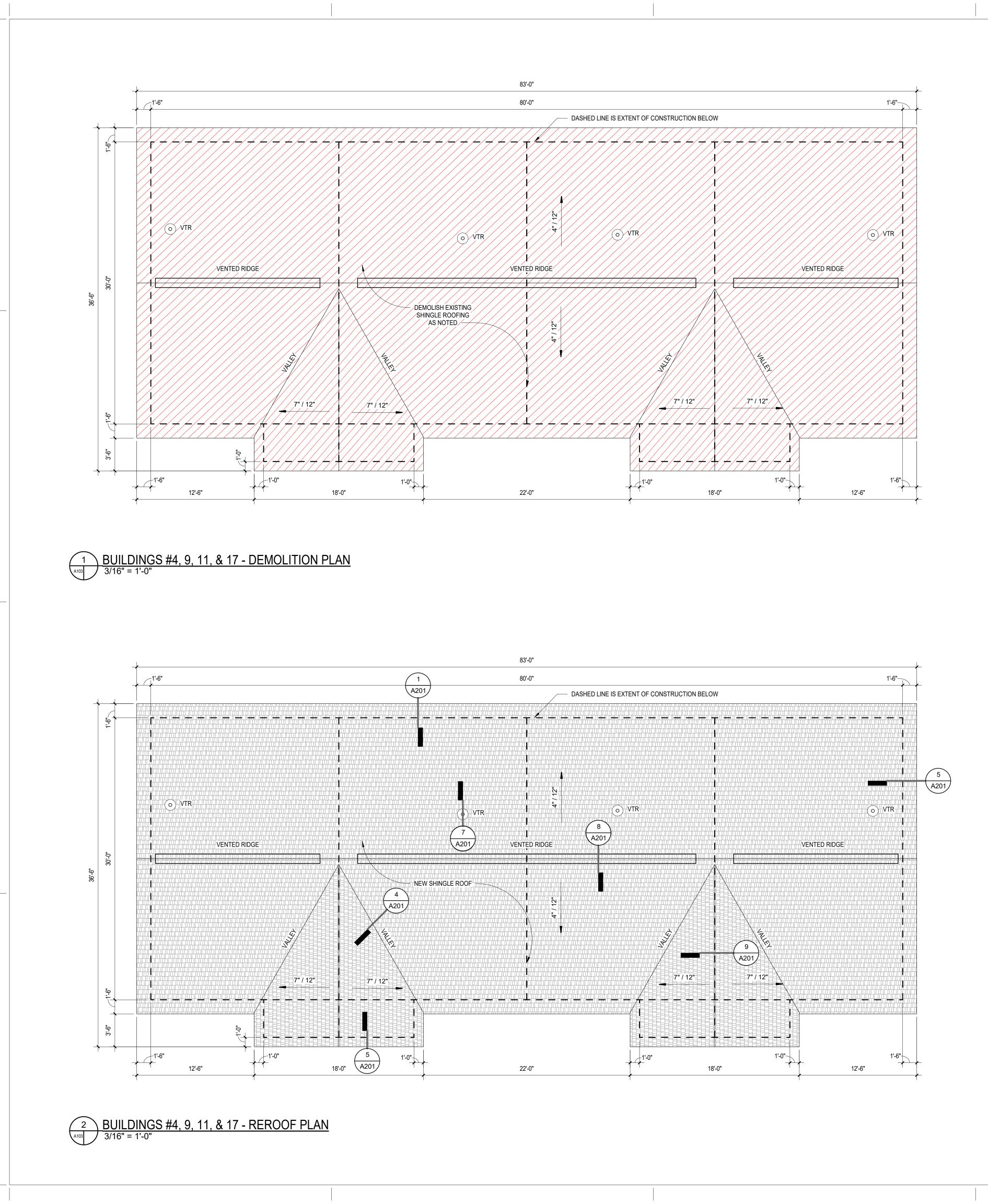
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SCOPE OF WORK BUILDINGS #4, 9, 11, & 17 -**DEMOLITION NOTES**

DEMOLITION SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING: CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE ROOFING Α. MATERIAL.

- CONTRACTOR SHALL DEMOLISH ALL EXISTING UNDERLAYMENTS. CONTRACTOR SHALL DEMOLISH ALL PIPE BOOTS, CRICKETS AND OTHER С PENETRATION FLASHINGS.
- CONTRACTOR SHALL RETAIN IN PLACE ALL EXISTING VTR'S. D CONTRACTOR SHALL DEMOLISH ALL METAL EAVE AND RAKE TRIM.
- CONTRACTOR SHALL DEMOLISH ALL FLASHINGS AND COUNTER FLASHINGS NOT OTHERWISE NOTED TO REMAIN. EXISTING STEPPED THRU-WALL FLASHING SHALL REMAIN IN PLACE AND SHALL BE REUSED.
- G. CONTRACTOR SHALL DEMOLISH 5% OF THE EXISTING 5/8" CDX ROOF DECK. AREAS TO BE DEMOLISHED WILL BE DETERMINED BY THE
- ARCHITECT IN THE FIELD. CONTRACTOR SHALL PREPARE THE DECK FOR NEW WORK. Η.

DEMOLITION MARK

NEW SHINGLES

VENTED RIDGE

LEGEND

VTR
E.F.

FLUE - EXISTING FLUE WITH COWL TO REMAIN IN PLACE. PROVIDE NEW BOOT. EXHAUST FAN - EXISTING DEMOLISH & REPLACE WITH NEW IN SAME LOCATION-REUSE CURB.

VTR - EXISTING VENT THRU ROOF TO

REMAIN. PROVIDE NEW BOOT.

SCOPE OF WORK BUILDINGS #4, 9, 11, & 17 -REROOF NOTES

- REROOF SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING: CONTRACTOR SHALL PROVIDE AND INSTALL NEW 5/8" CDX ROOF DECK OVER 5% OF Α. THE EXISTING DECK AREA, WHERE EXISTING DECK HAS BEEN DEMOLISHED. В.
- CONTRACTOR SHALL PROVIDE AND INSTALL NEW UNDERLAYMENT AS SPECIFIED AND DETAILED. CONTRACTOR SHALL PROVIDE AND INSTALL NEW FLASHING AT VTR'S. C.
- CONTRACTOR SHALL PROVIDE AND INSTALL NEW ROOF SHINGLES AS SPECIFIED AND D. DETAILED.
- CONTRACTOR SHALL PROVIDE AND INSTALL NEW METAL RAKE AND EAVE TRIM. CONTRACTOR SHALL PROVIDE AND INSTALL NEW COUNTERFLASHING / THRU-WALL FLASHING.



OJECT - HURRICANE HORE VILLAS **LITION N** <u>~</u> Ƙ BUILDINGS #4, 9 REF IFB#RRP03.21 BHA ROOF ZETA REPAIRS - V 0 മ BUILDINGS

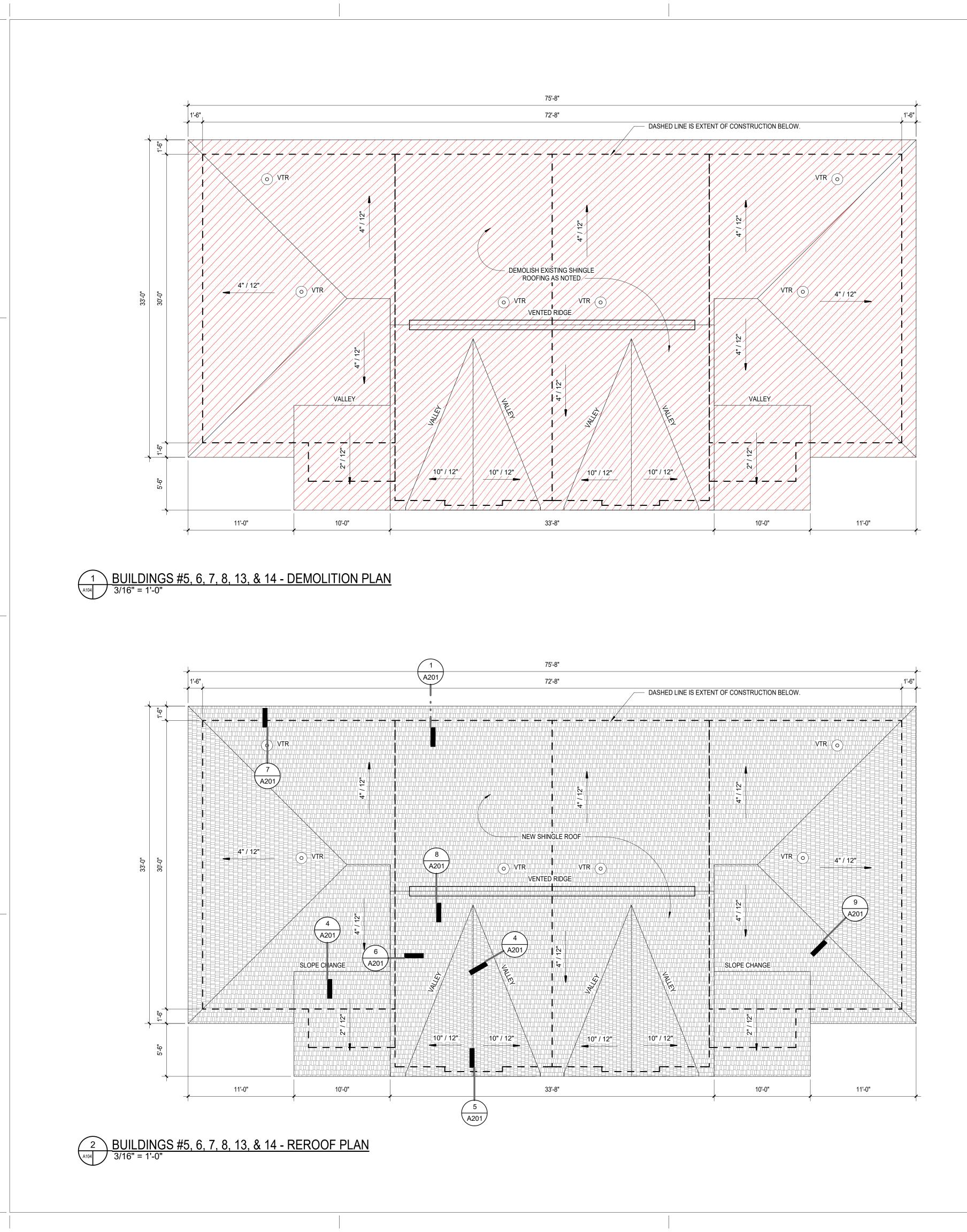
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SCOPE OF WORK BUILDINGS #4, 9, 11, & 17 -**DEMOLITION NOTES**

DEMOLITION SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE 1. FOLLOWING:

- CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE ROOFING Α. MATERIAL.
- CONTRACTOR SHALL DEMOLISH ALL EXISTING UNDERLAYMENTS.
- CONTRACTOR SHALL DEMOLISH ALL PIPE BOOTS, CRICKETS AND OTHER С. PENETRATION FLASHINGS.
- CONTRACTOR SHALL RETAIN IN PLACE ALL EXISTING VTR'S. CONTRACTOR SHALL RETAIN IN PLACE ALL GABLE VENTS.
- CONTRACTOR SHALL DEMOLISH ALL METAL EAVE AND RAKE TRIM.
- CONTRACTOR SHALL DEMOLISH ALL FLASHINGS AND COUNTER G. FLASHINGS NOT OTHERWISE NOTED TO REMAIN. EXISTING STEPPED
- THRU-WALL FLASHING SHALL REMAIN IN PLACE AND SHALL BE REUSED. CONTRACTOR SHALL DEMOLISH 5% OF THE EXISTING 5/8" CDX ROOF Н.
- DECK. AREAS TO BE DEMOLISHED WILL BE DETERMINED BY THE ARCHITECT IN THE FIELD.
- CONTRACTOR SHALL PREPARE THE DECK FOR NEW WORK. Ι.

LEGEND

DEMOLITION MARK

NEW SHINGLES

VENTED RIDGE

VTR © FLUE E.F.

1.

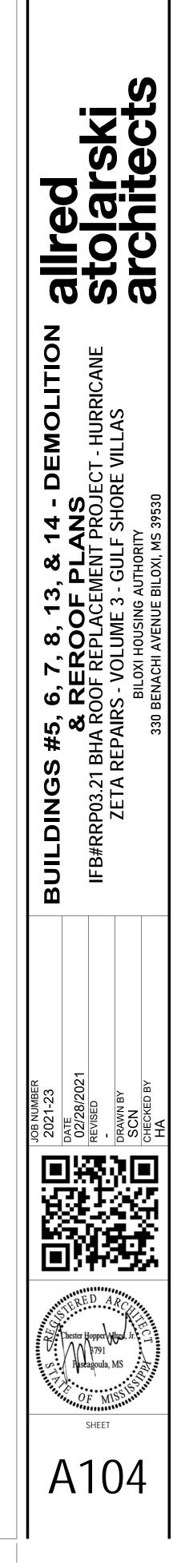
VTR - EXISTING VENT THRU ROOF TO REMAIN. PROVIDE NEW BOOT. FLUE - EXISTING FLUE WITH COWL TO REMAIN IN PLACE. PROVIDE NEW BOOT. EXHAUST FAN - EXISTING DEMOLISH & REPLACE WITH NEW IN SAME LOCATION-REUSE CURB.

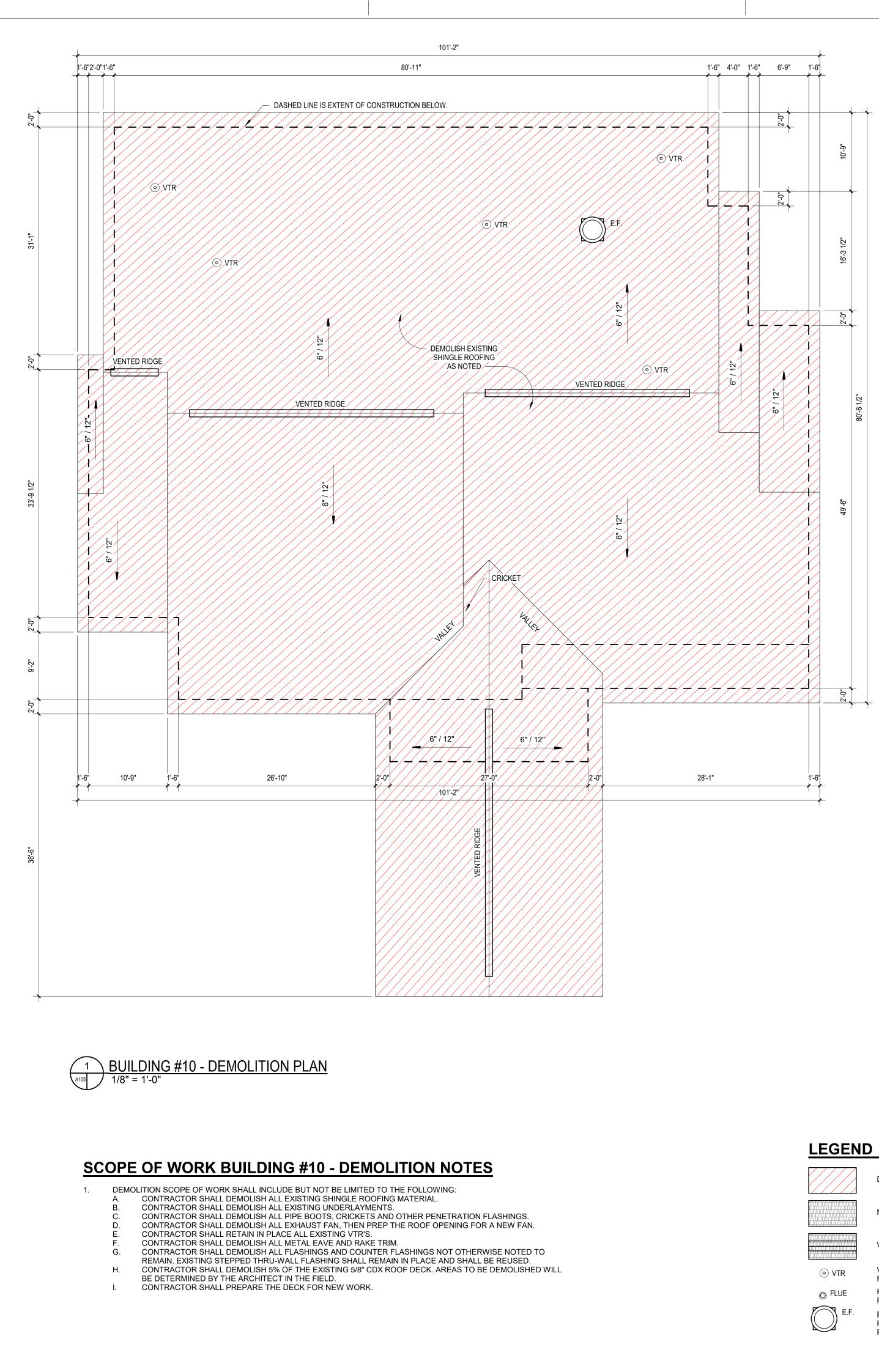
SCOPE OF WORK BUILDINGS #4, 9, 11, & 17 -**REROOF NOTES**

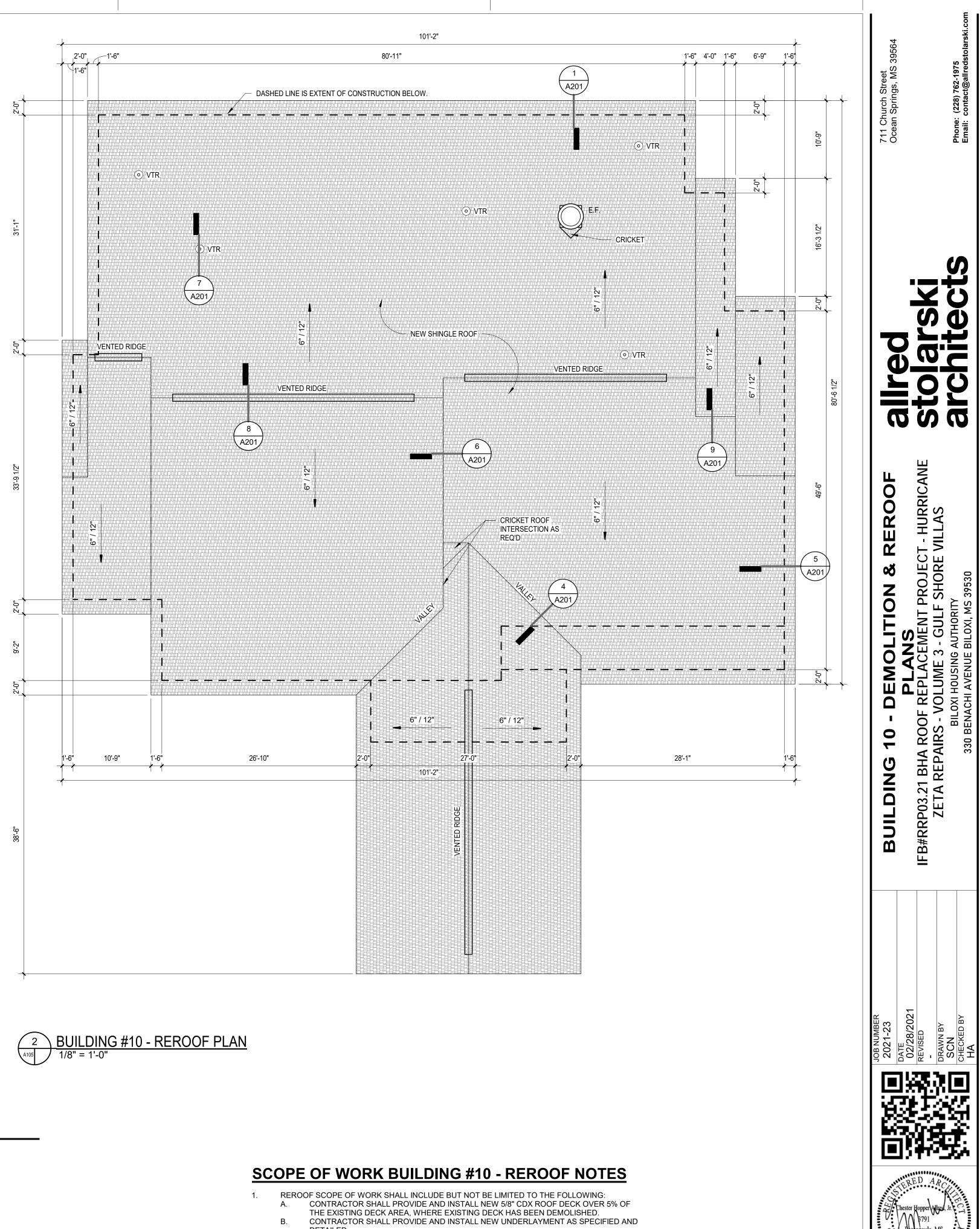
- REROOF SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING: CONTRACTOR SHALL PROVIDE AND INSTALL NEW 5/8" CDX ROOF DECK OVER 5% OF Α THE EXISTING DECK AREA, WHERE EXISTING DECK HAS BEEN DEMOLISHED.
- CONTRACTOR SHALL PROVIDE AND INSTALL NEW UNDERLAYMENT AS SPECIFIED AND DETAILED.
- CONTRACTOR SHALL PROVIDE AND INSTALL NEW FLASHING AT VTR'S. CONTRACTOR SHALL PROVIDE AND INSTALL NEW ROOF SHINGLES AS SPECIFIED AND D.
- DETAILED.
- CONTRACTOR SHALL PROVIDE AND INSTALL NEW METAL RAKE AND EAVE TRIM. CONTRACTOR SHALL PROVIDE AND INSTALL NEW COUNTERFLASHING / THRU-WALL FLASHING.

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DEMOLITION MARK

NEW SHINGLES

VENTED RIDGE

VTR - EXISTING VENT THRU ROOF TO REMAIN. PROVIDE NEW BOOT. FLUE - EXISTING FLUE WITH COWL TO REMAIN IN PLACE. PROVIDE NEW BOOT. EXHAUST FAN - EXISTING DEMOLISH & REPLACE WITH NEW IN SAME LOCATION-REUSE CURB.

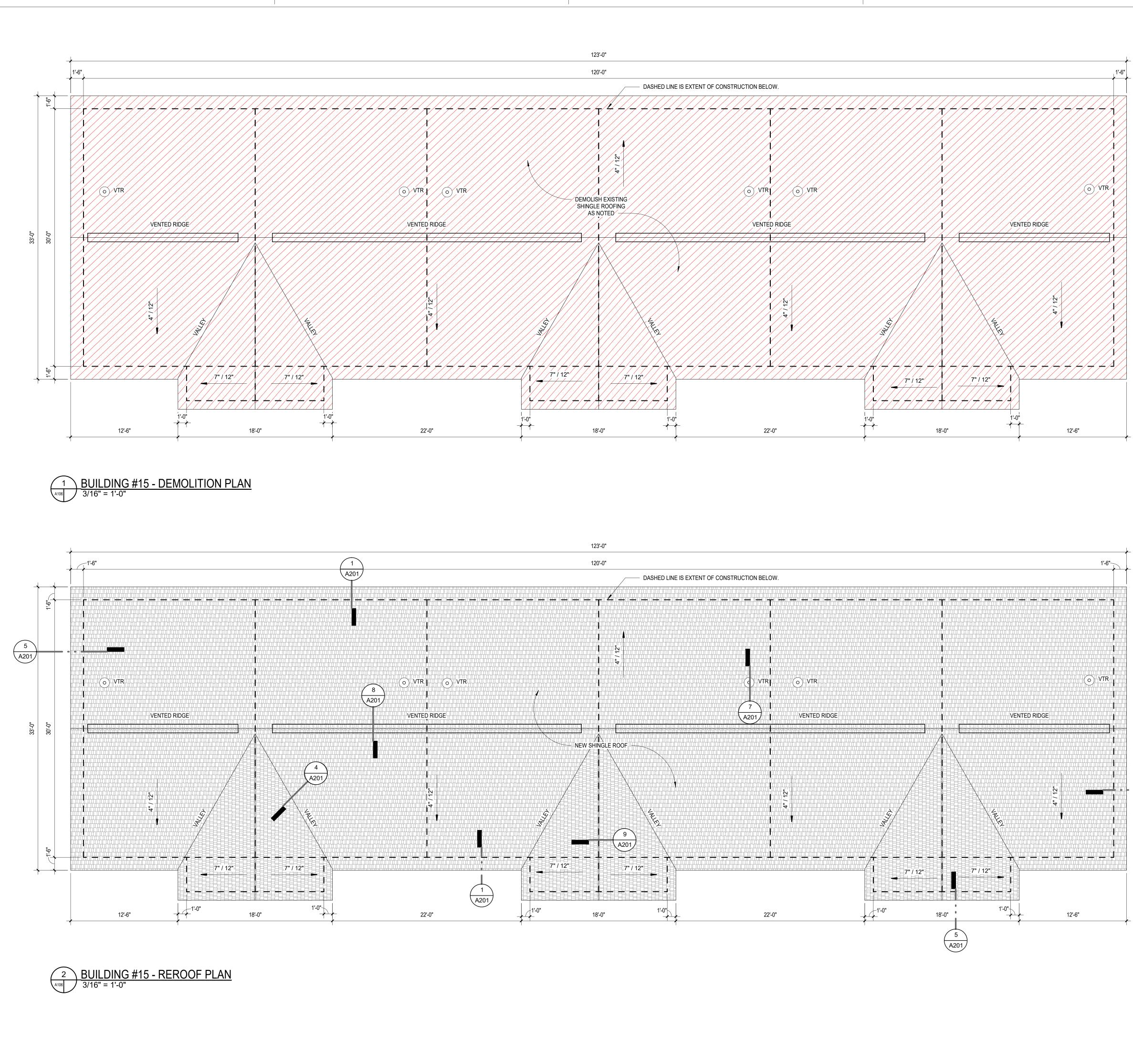
- DETAILED. C. DRAWN. D. VTR'S. DETAILED.
- G.

FLASHING.

CONTRACTOR SHALL PROVIDE AND INSTALL NEW TURTLE VENTS IN LOCATIONS CONTRACTOR SHALL PROVIDE AND INSTALL NEW FLASHING AT GAS FLUES AND CONTRACTOR SHALL PROVIDE AND INSTALL NEW ROOF SHINGLES AS SPECIFIED AND CONTRACTOR SHALL PROVIDE AND INSTALL NEW RAKE AND EAVE TRIM. CONTRACTOR SHALL PROVIDE AND INSTALL NEW COUNTERFLASHING / THRU-WALL

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SCOPE OF WORK BUILDING #15 **DEMOLITION NOTES**

- DEMOLITION SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
- CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE Α. ROOFING MATERIAL.
- CONTRACTOR SHALL DEMOLISH ALL EXISTING Β.

1.

C.

- UNDERLAYMENTS. CONTRACTOR SHALL DEMOLISH ALL PIPE BOOTS, CRICKETS
- AND OTHER PENETRATION FLASHINGS. CONTRACTOR SHALL RETAIN IN PLACE ALL EXISTING VTR'S.
- CONTRACTOR SHALL DEMOLISH ALL METAL EAVE AND RAKE TRIM.
- CONTRACTOR SHALL DEMOLISH ALL FLASHINGS AND F COUNTER FLASHINGS NOT OTHERWISE NOTED TO REMAIN. EXISTING STEPPED THRU-WALL FLASHING SHALL REMAIN IN PLACE AND SHALL BE REUSED.
- G. CONTRACTOR SHALL DEMOLISH 5% OF THE EXISTING 5/8" CDX ROOF DECK. AREAS TO BE DEMOLISHED WILL BE DETERMINED BY THE ARCHITECT IN THE FIELD.
- CONTRACTOR SHALL PREPARE THE DECK FOR NEW WORK. Η.

LEGEND

NEW SHINGLES

DEMOLITION MARK

VENTED RIDGE

O VTR © FLUE E.F.

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VTR - EXISTING VENT THRU ROOF TO REMAIN. PROVIDE NEW BOOT. FLUE - EXISTING FLUE WITH COWL TO REMAIN IN PLACE. PROVIDE NEW BOOT. EXHAUST FAN - EXISTING DEMOLISH & REPLACE WITH NEW IN SAME LOCATION-REUSE CURB.

SCOPE OF WORK BUILDING #15 -**REROOF NOTES**

REROOF SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING: CONTRACTOR SHALL PROVIDE AND INSTALL NEW 5/8" CDX ROOF Α.

- DECK OVER 5% OF THE EXISTING DECK AREA, WHERE EXISTING DECK HAS BEEN DEMOLISHED.
- CONTRACTOR SHALL PROVIDE AND INSTALL NEW UNDERLAYMENT AS SPECIFIED AND DETAILED.
- CONTRACTOR SHALL PROVIDE AND INSTALL NEW FLASHING AT C. VTR'S.
- CONTRACTOR SHALL PROVIDE AND INSTALL NEW ROOF SHINGLES D.
- AS SPECIFIED AND DETAILED. CONTRACTOR SHALL PROVIDE AND INSTALL NEW METAL RAKE AND Ε.
- EAVE TRIM. CONTRACTOR SHALL PROVIDE AND INSTALL NEW COUNTERFLASHING / THRU-WALL FLASHING. F.
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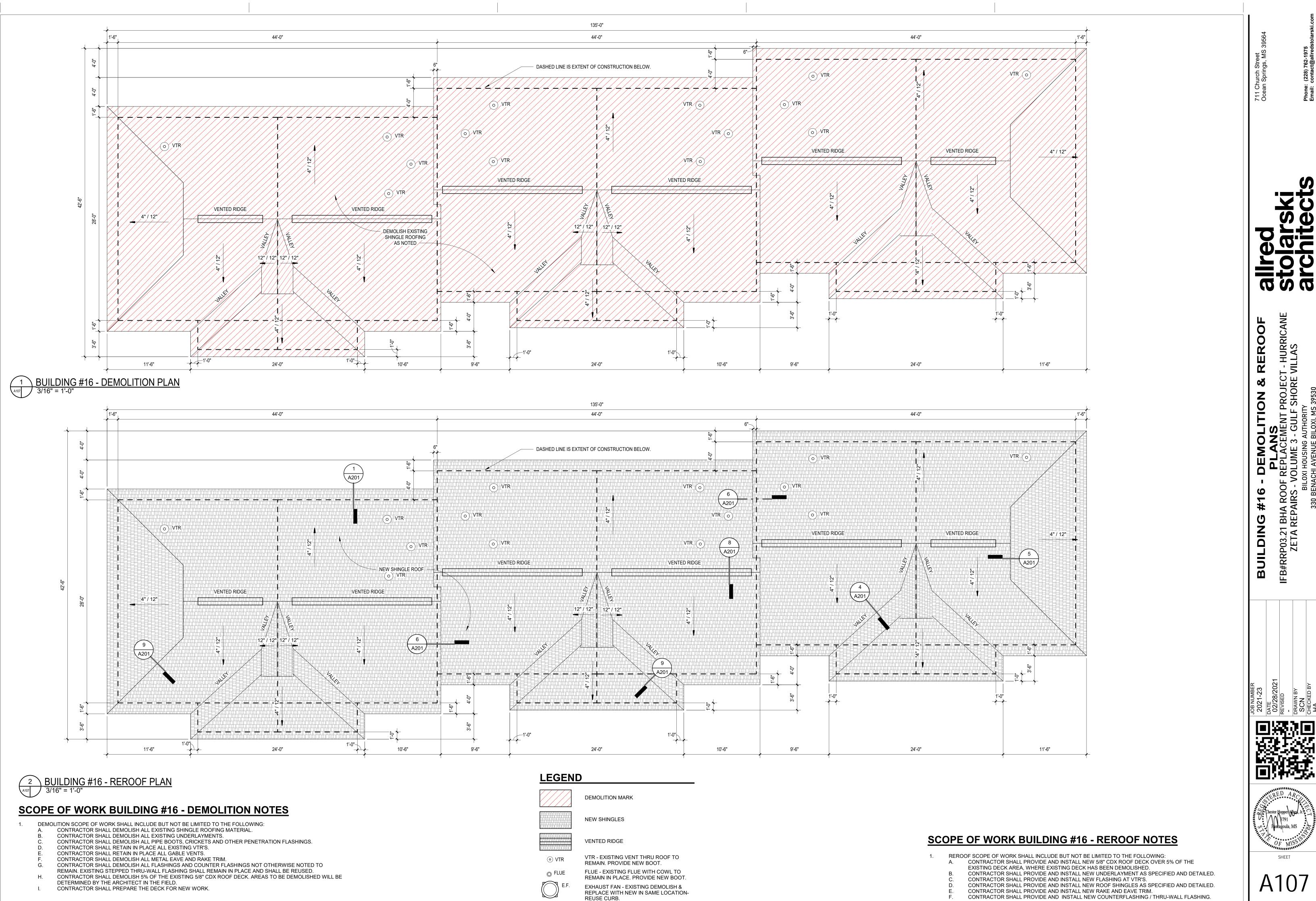
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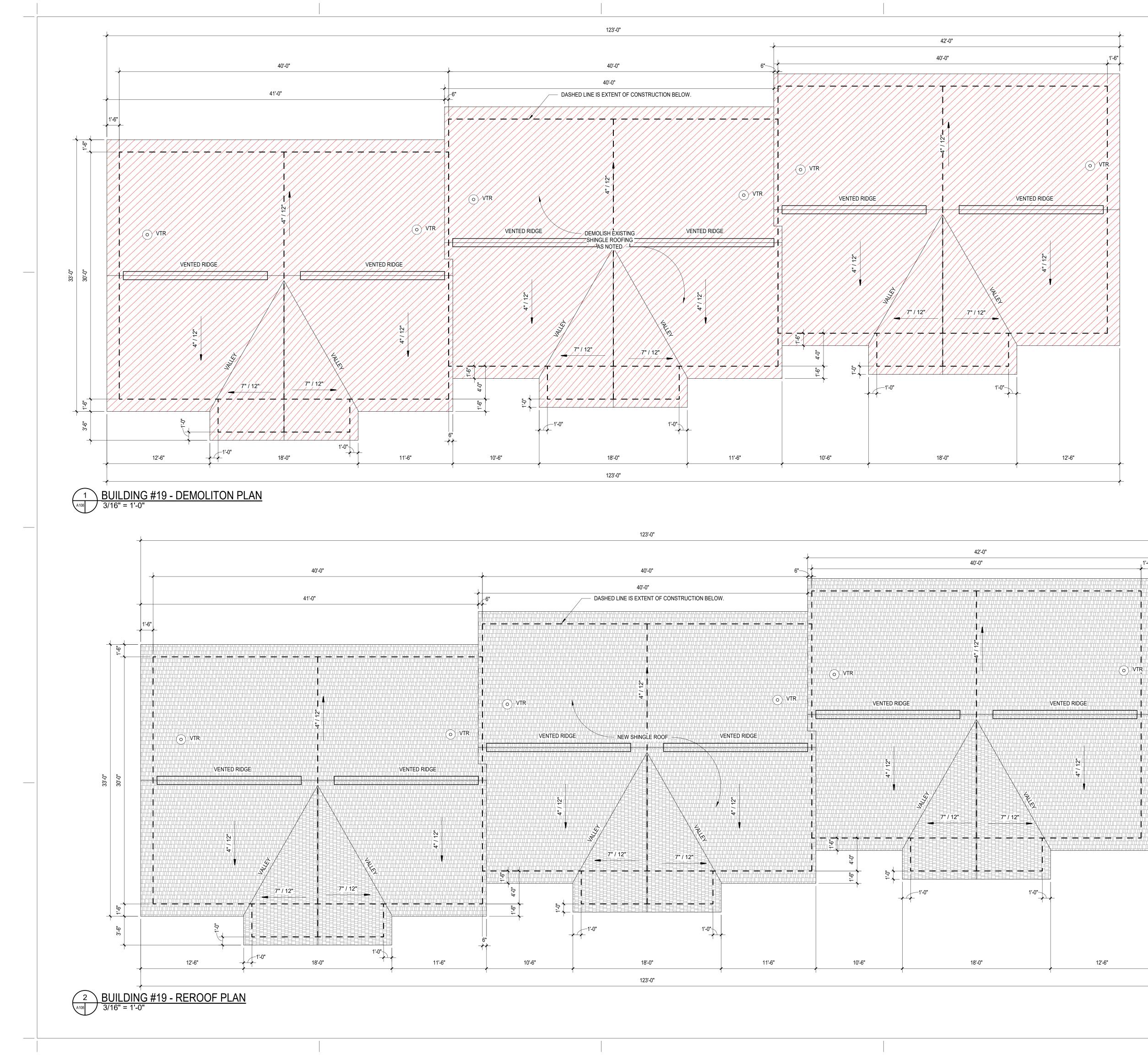
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BUILDING



CONTRACTOR SHALL PROVIDE AND INSTALL NEW COUNTERFLASHING / THRU-WALL FLASHING.

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SCOPE OF WORK BUILDING #19 DEMOLITION NOTES

1.

- DEMOLITION SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING: A. CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE
- B. CONTRACTOR SHALL DEMOLISH ALL EXISTING UNDERLAYMENTS.
- CONTRACTOR SHALL DEMOLISH ALL PIPE BOOTS, CRICKETS AND OTHER PENETRATION FLASHINGS.
- CONTRACTOR SHALL RETAIN IN PLACE ALL EXISTING VTR'S.CONTRACTOR SHALL RETAIN IN PLACE ALL GABLE VENTS.
- CONTRACTOR SHALL RETAIN IN PLACE ALL GABLE VENTS.
 F. CONTRACTOR SHALL DEMOLISH ALL METAL EAVE AND RAKE TRIM.
 G. CONTRACTOR SHALL DEMOLISH ALL FLASHINGS AND
- COUNTRACTOR SHALL DEMOLISH ALL FLASHINGS AND COUNTER FLASHINGS NOT OTHERWISE NOTED TO REMAIN. EXISTING STEPPED THRU-WALL FLASHING SHALL REMAIN IN PLACE AND SHALL BE REUSED.
- H. CONTRACTOR SHALL DEMOLISH 5% OF THE EXISTING 5/8" CDX ROOF DECK. AREAS TO BE DEMOLISHED WILL BE DETERMINED BY THE ARCHITECT IN THE FIELD.
 I. CONTRACTOR SHALL PREPARE THE DECK FOR NEW WORK.

LEGEND



DEMOLITION MARK



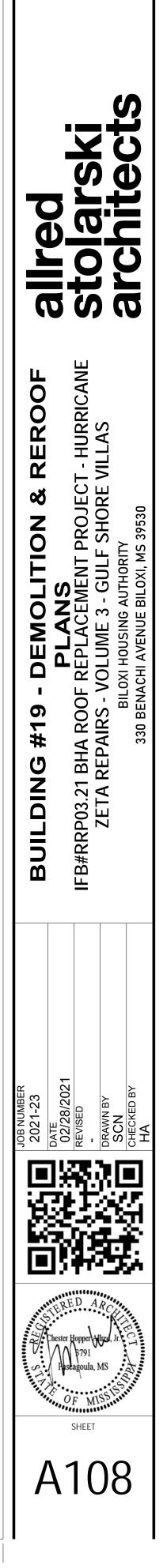
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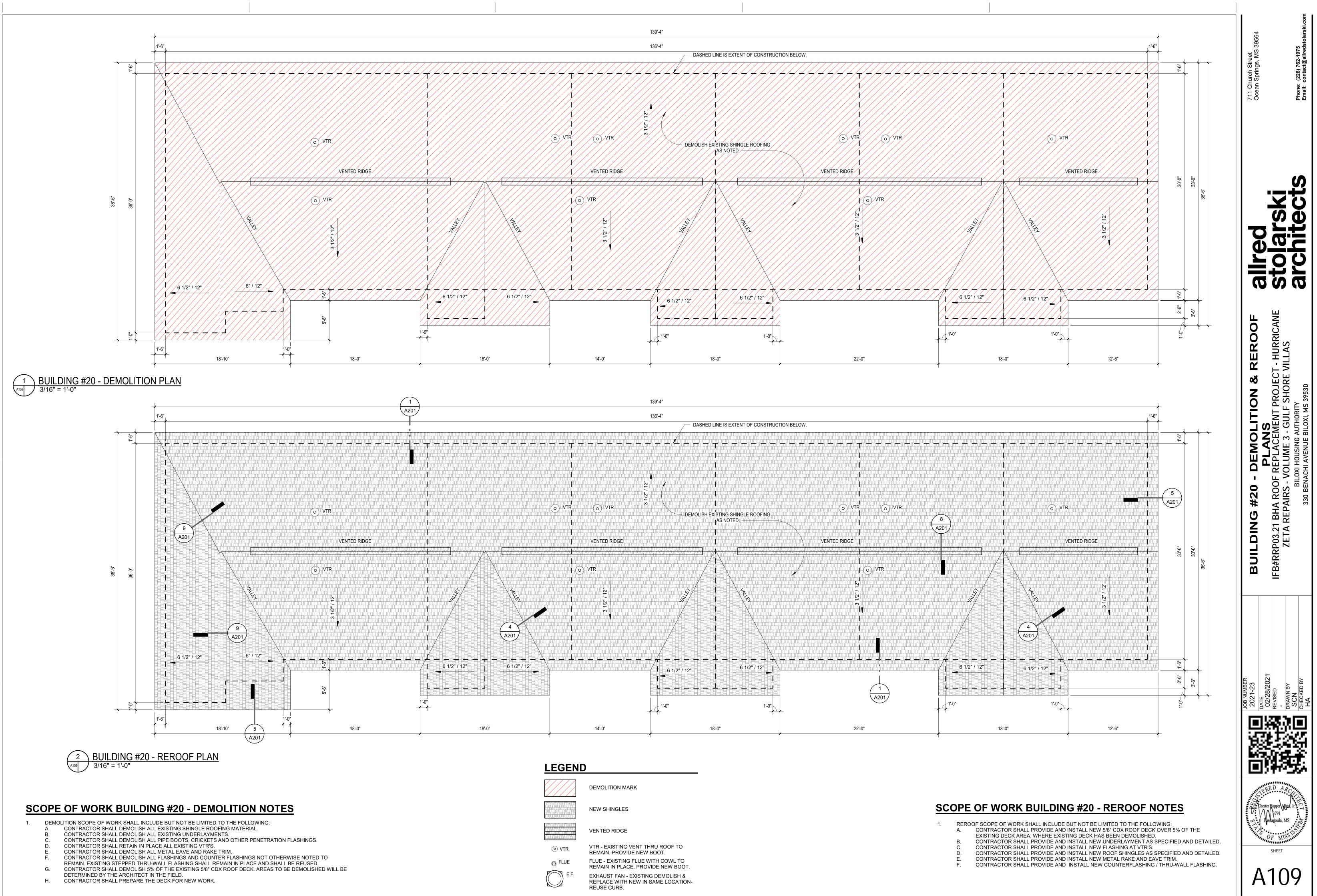
⊙ VTR ⊙ FLUE VTR - EXISTING VENT THRU ROOF TO REMAIN. PROVIDE NEW BOOT. FLUE - EXISTING FLUE WITH COWL TO REMAIN IN PLACE. PROVIDE NEW BOOT. EXHAUST FAN - EXISTING DEMOLISH & REPLACE WITH NEW IN SAME LOCATION-REUSE CURB.

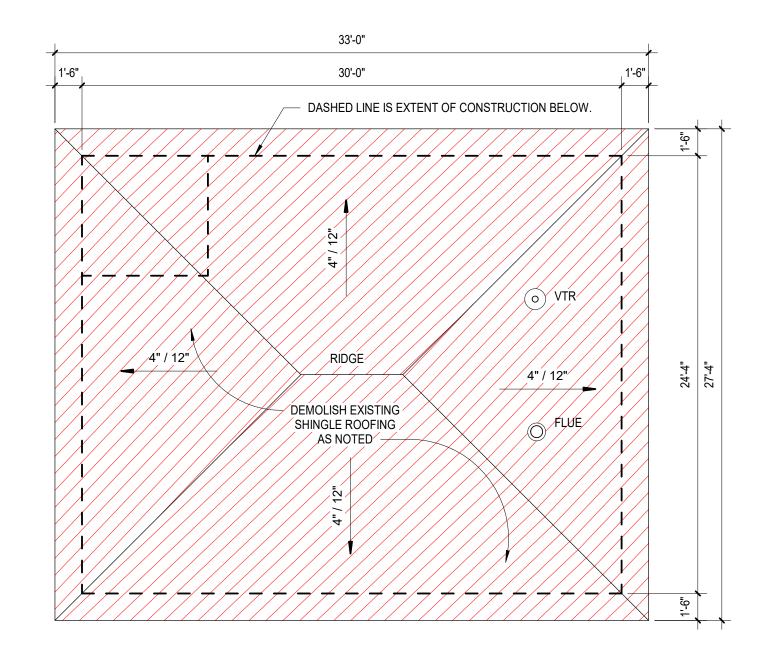
SCOPE OF WORK BUILDING #19 -REROOF NOTES

REROOF SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING: A. CONTRACTOR SHALL PROVIDE AND INSTALL NEW 5/8" CDX ROOF DECK OVER 5% OF THE EXISTING DECK AREA, WHERE EXISTING DECK HAS BEEN DEMOLISHED.

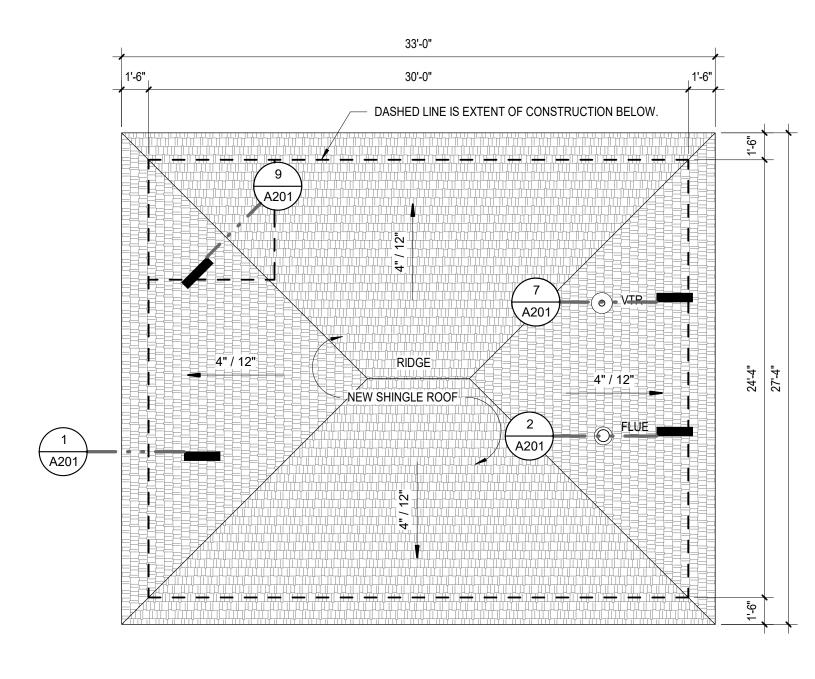
- B. CONTRACTOR SHALL PROVIDE AND INSTALL NEW UNDERLAYMENT
- AS SPECIFIED AND DETAILED. CONTRACTOR SHALL PROVIDE AND INSTALL NEW FLASHING AT
- VTR'S. D. CONTRACTOR SHALL PROVIDE AND INSTALL NEW ROOF SHINGLES
- AS SPECIFIED AND DETAILED. CONTRACTOR SHALL PROVIDE AND INSTALL NEW METAL RAKE AND
- EAVE TRIM. F. CONTRACTOR SHALL PROVIDE AND INSTALL NEW
- COUNTERFLASHING / THRU-WALL FLASHING.











G.

1. F

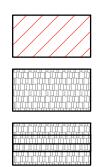
DEMOLITION SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING: CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE ROOFING MATERIAL.

- CONTRACTOR SHALL DEMOLISH ALL EXISTING UNDERLAYMENTS.
- CONTRACTOR SHALL DEMOLISH ALL PIPE BOOTS, CRICKETS AND OTHER PENETRATION FLASHINGS. CONTRACTOR SHALL RETAIN IN PLACE ALL EXISTING GAS FLUES AND VTR'S.

CONTRACTOR SHALL DEMOLISH ALL METAL EAVE AND RAKE TRIM. CONTRACTOR SHALL DEMOLISH 5% OF THE EXISTING 5/8" CDX ROOF DECK. AREAS TO BE DEMOLISHED WILL BE

DETERMINED BY THE ARCHITECT IN THE FIELD. CONTRACTOR SHALL PREPARE THE DECK FOR NEW WORK.

LEGEND



DEMOLITION MARK

NEW SHINGLES

VENTED RIDGE

O VTR \odot FLUE E.F. VTR - EXISTING VENT THRU ROOF TO REMAIN. PROVIDE NEW BOOT. FLUE - EXISTING FLUE WITH COWL TO REMAIN IN PLACE. PROVIDE NEW BOOT. EXHAUST FAN - EXISTING DEMOLISH & REPLACE WITH NEW IN SAME LOCATION-REUSE CURB.

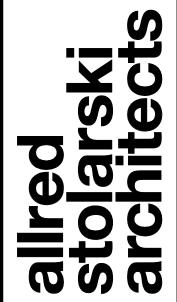
SCOPE OF WORK LAUNDRY BUILDING - REROOF NOTES

- REROOF SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING: A. CONTRACTOR SHALL PROVIDE AND INSTALL NEW 5/8" CDX ROOF DECK OVER 5% OF THE EXISTING DECK AREA, WHERE EXISTING DECK HAS BEEN DEMOLISHED. CONTRACTOR SHALL PROVIDE AND INSTALL NEW UNDERLAYMENT AS SPECIFIED AND DETAILED. CONTRACTOR SHALL PROVIDE AND INSTALL NEW TURTLE VENTS IN LOCATIONS DRAWN.
 - CONTRACTOR SHALL PROVIDE AND INSTALL NEW FLASHING AT GAS FLUES AND VTR'S. CONTRACTOR SHALL PROVIDE AND INSTALL NEW ROOF SHINGLES AS SPECIFIED AND DETAILED. CONTRACTOR SHALL PROVIDE AND INSTALL NEW METAL RAKE AND EAVE TRIM.

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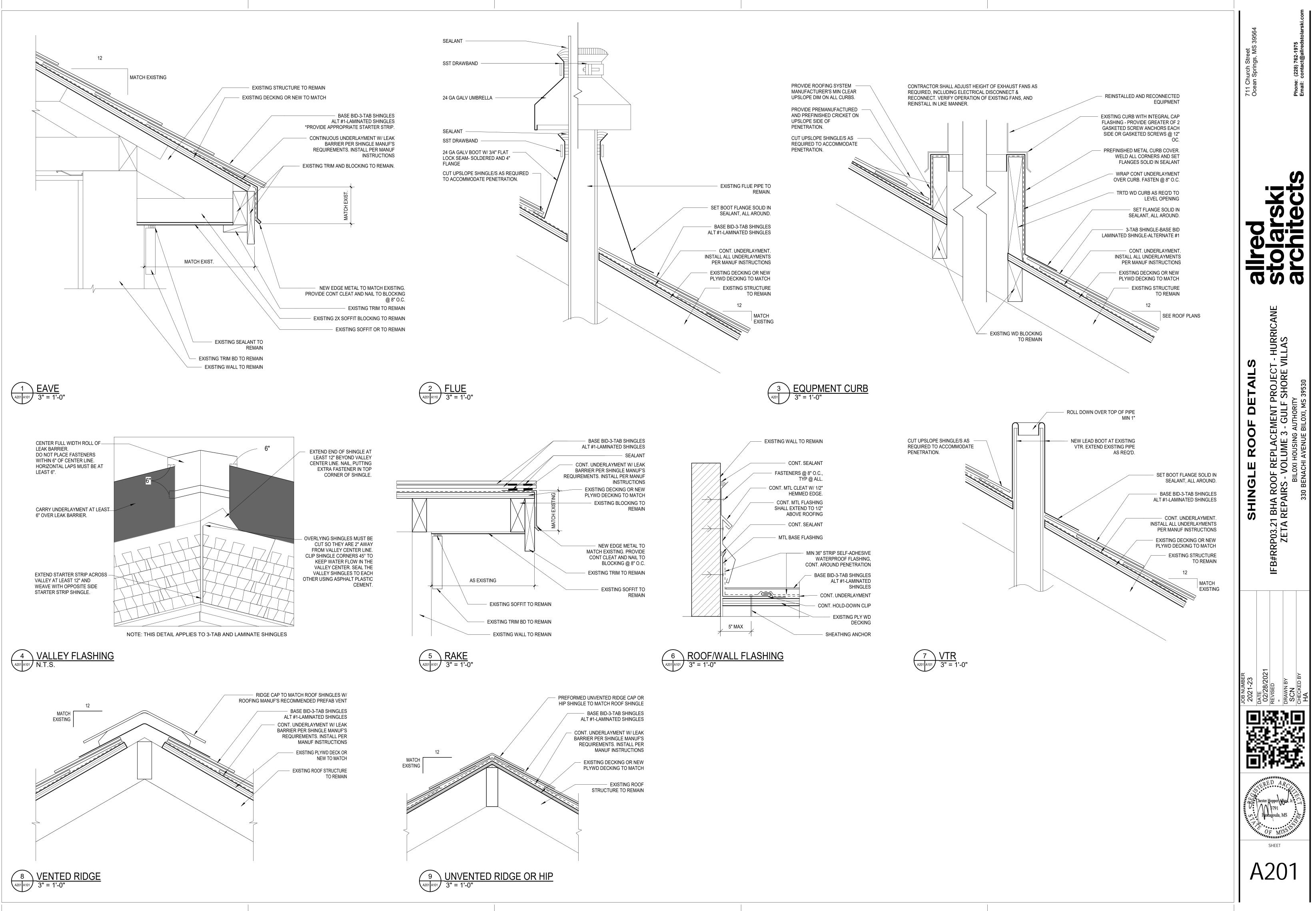
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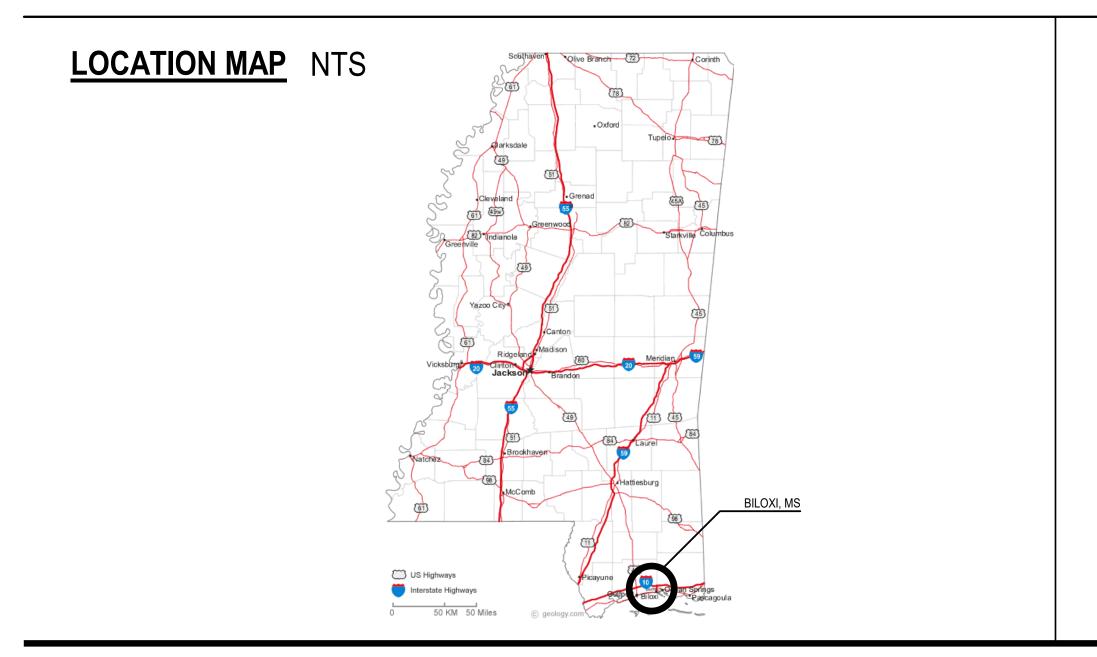
OJECT - HURRICANE HORE VILLAS Š OLITION Σ <u>א</u> א LAUNDRY BUI REF IFB#RRP03.21 BHA ROOF ZETA REPAIRS - V





IFB#RRP03.21 BHA ROOF REPLACEMENT PROJECT - HURRICANE ZETA - VOLUME 4 -MCDONNELL AVENUE APARTMENTS BILOXI HOUSING AUTHORITY

330 BENACHI AVENUE BILOXI, MS



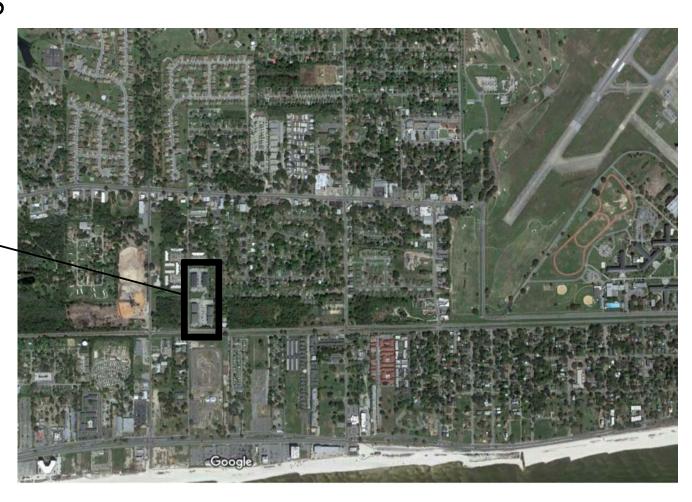
VOLUME 4 - DRAWING INDEX

INDEX - GENERAL
TITLE SHEET
INDEX - ARCHITEC
REFERENCE SITE PLAN & NO
BUILDINGS A-D & OFFICE - DE
BUILDINGS A-D & OFFICE - R
BUILDINGS E & F - DEMOLITIC

A201 DETAILS

VICINITY MAP NTS

MCDONNELL AVE APARTMENTS 242 MCDONNELL AVENUE BILOXI, MS 39531



ALTERNATES

WITH THE SPECIFICATIONS.

PRIORITY WORK THE FOLLOWING LOCATION SHALL HAVE PRIORITY IN SCHEDULING: 1. BUILDING E





CHITECTURAL

AN & NOTES ICE - DEMOLITION PLANS FICE - REROOF PLANS EMOLITION PLAN A104 BUILDINGS E & F - REROOF PLAN

<u>PROJ #:</u> 2021-23

IFB#RRP03.21 BHA ROOF REPLACEMENT PROJECT HURRICANE ZETA - VOLUME 4 - MCDONNELL AVENUE APARTMENTS

> **BILOXI HOUSING AUTHORITY** 330 BENACHI AVENUE BILOXI, MS

DATE: 02/28/2021

<u>SET TYPE</u> **BID SET**

PROJECT TEAM ARCHITECT ALLRED STOLARSKI ARCHITECTS

711 CHURCH STREET OCEAN SPRINGS, MS 39564 **T (**228) 762-1975 HÔPPÝ ALLRED, AIA, PRINCIPAL ARCHITECT hoppy@allredstolarski.com

ALTERNATE #1: AN ADDITIVE ALTERNATE FOR ALL LABOR, MATERIALS, AND EQUIPMENT NECESSARY TO REROOF BUILDINGS AT AYVIEW OAKS, COMPLETE AS INDICATED ON THE DRAWINGS AND IN ACCORDANCE WITH THE SPECIFICATIONS. ALTERNATE #2: AN ADDITIVE ALTERNATE FOR ALL LABOR, MATERIALS, AND EQUIPMENT NECESSARY TO INSTALL A LAMINATED SHINGLE ROOF IN LIEU OF THE BASE BID 3-TAB SHINGLE ROOF, COMPLETE AS INDICATED ON THE DRAWINGS AND IN ACCORDANCE

711 Church Street Ocean Springs, MS 39564

GENERAL DEMOLITION NOTES

- ALL INFORMATION REGARDING EXISTING CONDITIONS IS BASED OF SUPPLIED DOCUMENTS AND MAY NOT REFLECT ACTUAL FIELD CO UPON DISCOVERY OF ANY DISCREPANCIES BETWEEN FIELD COND AND DRAWINGS DEPICTING EXISTING CONDITIONS OR UPON DISCO UNKNOWN CONDITIONS DETRIMENTAL TO THE COMPLETION OF TH AS INDICATED ON THE DRAWINGS, CONTRACTOR SHALL IMMEDIAT NOTIFY THE ARCHITECT IN WRITING.
- 2. CONTRACTOR IS RESPONSIBLE FOR ALL SHORING AND BRACING NECESSARY TO MAINTAIN STRUCTURAL INTEGRITY. AT NO TIME SH EXISTING STRUCTURAL MEMBERS BE SUBJECTED TO CUTTING, DF OR ANY MODIFICATION PROCESS THAT MAY INTERFERE WITH ITS STRUCTURAL INTEGRITY.
- SALVAGE IS DEFINED AS THE CAREFUL REMOVAL AND RETAINING AS SHOWN IN DRAWINGS FOR POSSIBLE REUSE OR DELIVERY TO
 CARE SHOULD BE TAKEN AT THE INTERFACE BETWEEN DEMOLITIC EXISTING CONSTRUCTION TO REMAIN, TO AVOID ANY DAMAGE TO CONSTRUCTION. AFTER REMOVAL OF EXISTING ROOFING OR CONSTRUCTION, PATCH AND REPAIR DAMAGE TO ANY EXISTING R
- OR ADJACENT ROOF AREAS, WALLS, SIDEWALKS, PAVING, CURBS, LANDSCAPING, ETC. TO A LIKE NEW CONDITION.
 5. THE CONTRACTOR SHALL NOTIFY, COORDINATE, SCHEDULE, AND F PRIOR PERMISSION FROM THE USING AGENCY PRIOR TO ANY SHU' OF BUILDING SERVICES AS REQUIRED TO COMPLETE THE WORK. NOTIFICATION SHALL INCLUDE LENGTH OF TIME REQUIRED TO SHU
- LENGTH OF TIME SERVICE WILL BE DISCONNECTED, AND TIME REC TO RECONNECT SERVICES. SHUT DOWN SHALL NOT OCCUR DURIN BUSINESS HOURS. 6. THE EXISTING BUILDING ENVELOPE SHALL BE MAINTAINED IN A
- WATERTIGHT CONDITION AT ALL TIMES. 7. THE CONTRACTOR SHALL PROVIDE TEMPORARY PROTECTION AS
- NECESSARY AND AS REQUIRED TO SEAL OFF THE REST OF THE EX BUILDING AND MAINTAIN BUILDING DURING DEMOLITION.
- 8. ALL DEMOLITION WORK SHALL BE EXECUTED IN CONFORMANCE WITH ALL CODES AND ORDINANCES AS SET FORTH BY ALL GOVERNING AUTHORITIES.

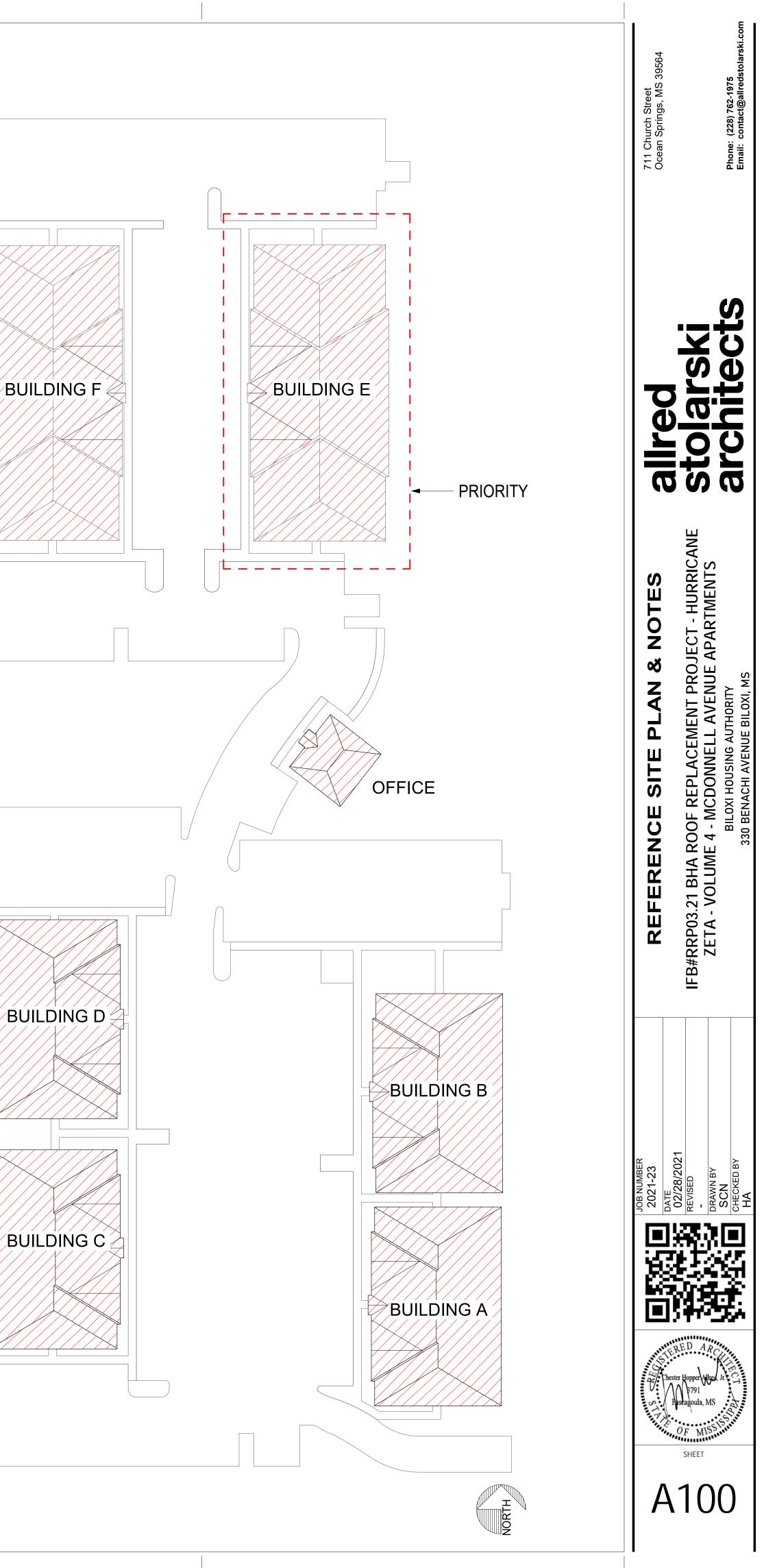
5	GENERAL WORK NOTES	
ON OWNER ONDITIONS. DITIONS COVERY OF THE WORK TELY	 SITE ADDRESS: 242 MCDONNELL AVENUE, BILOXI, MS 39531 BUILDINGS E AND F ARE SIMILAR. BUILDINGS A-D ARE SIMILAR. SEE REPRESENTATIVE PLANS FOR DEMOLITION AND NEW WORK. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFY ALL DIMENSIONS, PENETRATIONS, CONDITIONS AND SLOPES PRIOR TO BIDDING. 	
SHALL THE RILLING,		
G OF ITEMS OWNER ION AND D EXISTING		
ROOFING S,		
) RECEIVE UT DOWN	LEGEND	
IUT DOWN, QUIRED ING	### BUILDING NUMBER	BUILDI
S EXISTING WITH ALL	NO WORK THIS LOCATION.	

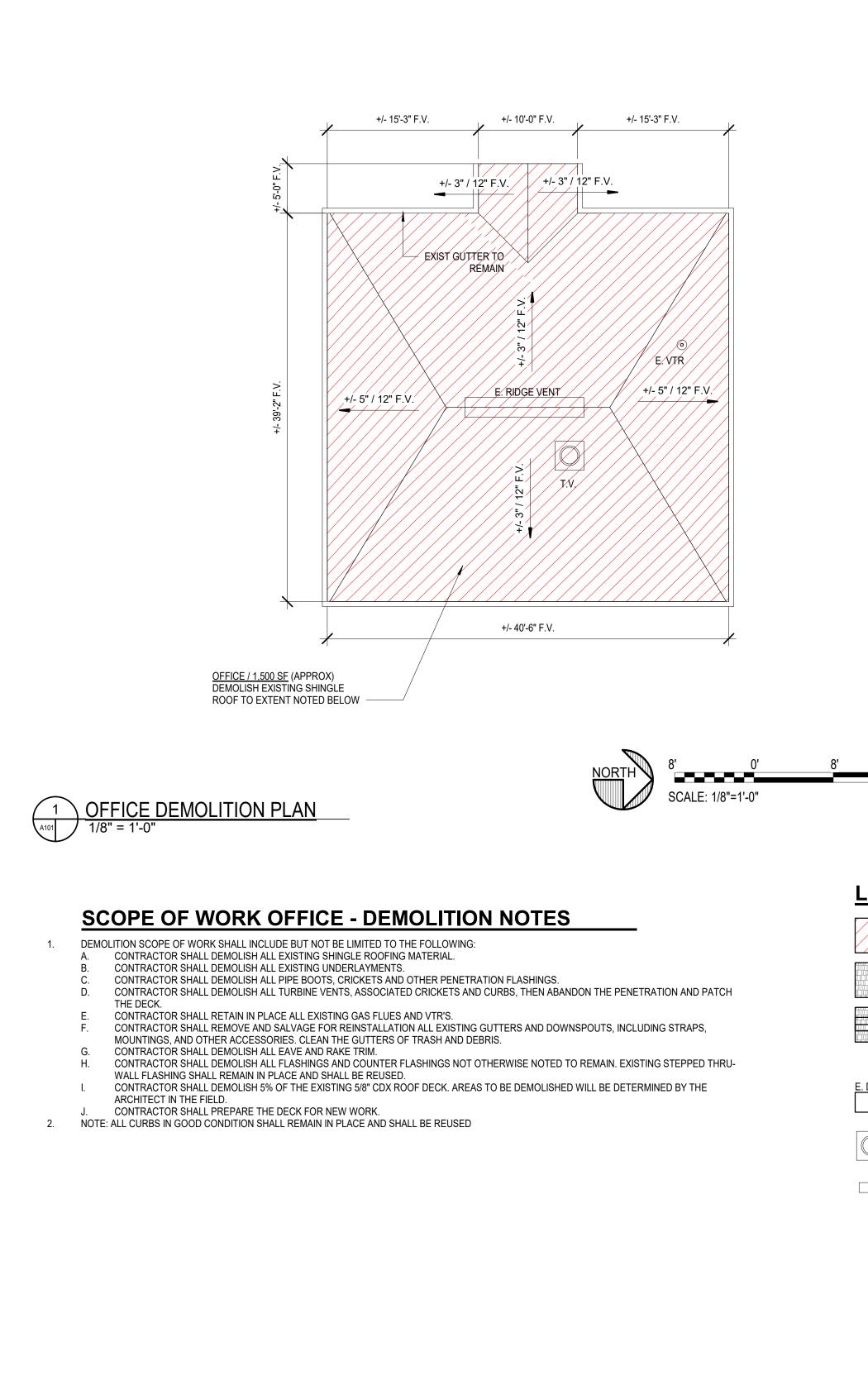
$\overline{(1)}$	 REFERENCE SITE PLAN
	1" = 40'-0"

AVENUE

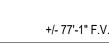
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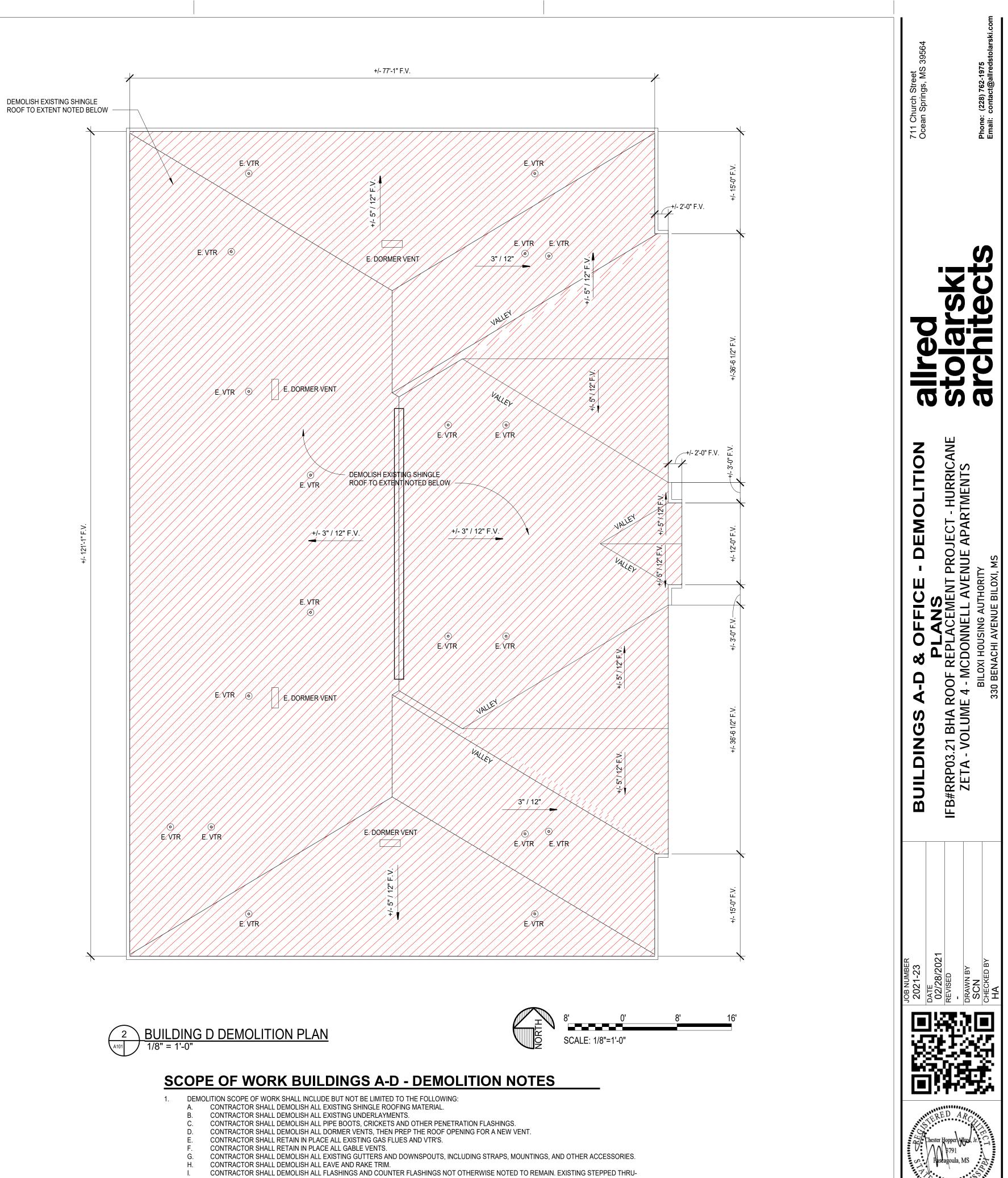
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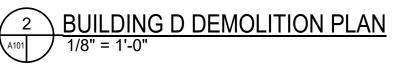












DEMOI	LITION SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLI
Α.	CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE ROOFING MATER
В.	CONTRACTOR SHALL DEMOLISH ALL EXISTING UNDERLAYMENTS.
C.	CONTRACTOR SHALL DEMOLISH ALL PIPE BOOTS, CRICKETS AND OTHER
D.	CONTRACTOR SHALL DEMOLISH ALL DORMER VENTS, THEN PREP THE RE
E.	CONTRACTOR SHALL RETAIN IN PLACE ALL EXISTING GAS FLUES AND VT
F.	CONTRACTOR SHALL RETAIN IN PLACE ALL GABLE VENTS.
G.	CONTRACTOR SHALL DEMOLISH ALL EXISTING GUTTERS AND DOWNSPOR
Η.	CONTRACTOR SHALL DEMOLISH ALL EAVE AND RAKE TRIM.
I.	CONTRACTOR SHALL DEMOLISH ALL FLASHINGS AND COUNTER FLASHIN
	WALL FLASHING SHALL REMAIN IN PLACE AND SHALL BE REUSED.
J.	CONTRACTOR SHALL DEMOLISH 5% OF THE EXISTING 5/8" CDX ROOF DEC
	ARCHITECT IN THE FIELD.
K.	CONTRACTOR SHALL PREPARE THE DECK FOR NEW WORK.

2. NOTE: ALL CURBS IN GOOD CONDITION SHALL REMAIN IN PLACE AND SHALL BE REUSED

LEGEND

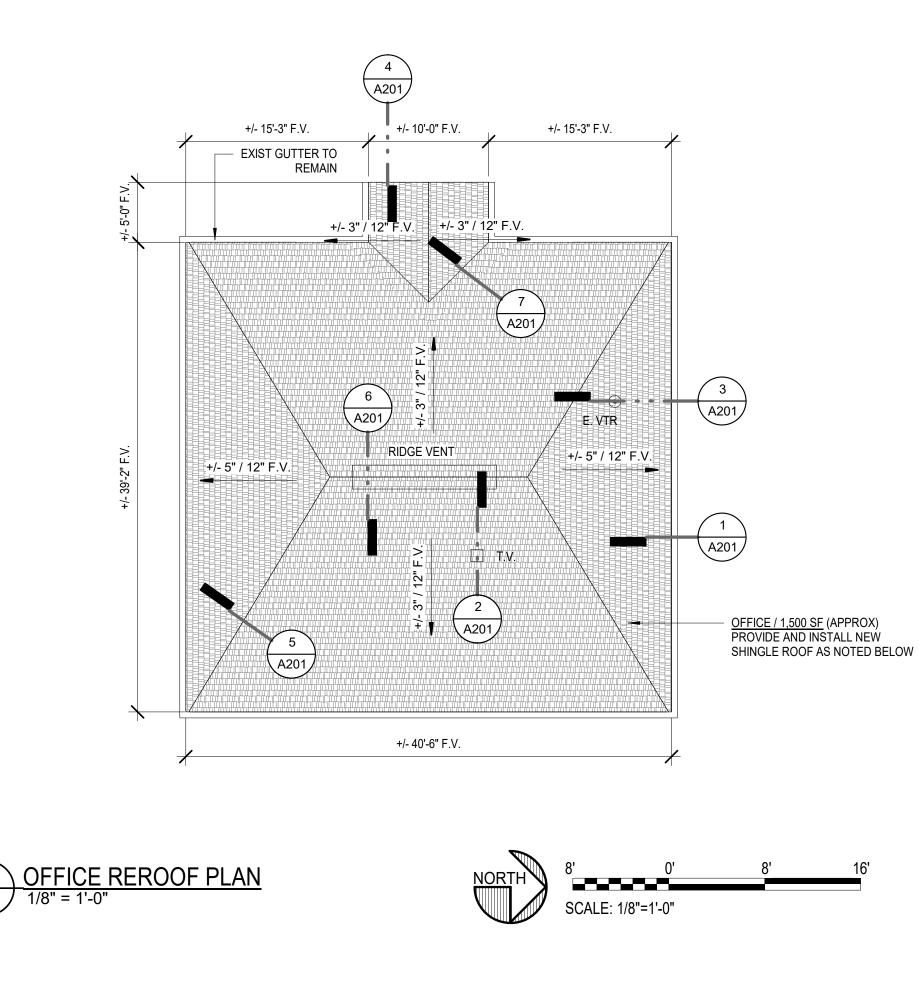
	DEMOLITION MARK
	NEW SHINGLES
	VENTED RIDGE
• E. VTR	VTR - EXISTING VENT THRU ROOF TO REMAIN. PROVIDE NEW BOOT.
E. DORMER VENT	EXISTING DORMER VENT. DEMOLISH AND PROVIDE NEW IN EXISTING LOCATION.
T.V.	TURBINE VENT. DEMOLISH AND PROVIDE NEW TURTLE VENT IN EXISTING LOCATION.
☐ T.V.	TURTLE VENT. DEMOLISH AND PROVIDE NEW TURTLE VENT IN EXISTING LOCATION OR IN PLACE

OF DEMOLISHED TURBINE VENT

ECK. AREAS TO BE DEMOLISHED WILL BE DETERMINED BY THE

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SCOPE OF WORK OFFICE - REROOF NOTES

- REROOF SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING: A. CONTRACTOR SHALL PROVIDE AND INSTALL NEW 5/8" CDX ROOF DECK OVER 5% OF THE EXISTING DECK AREA, WHERE EXISTING DECK HAS BEEN DEMOLISHED OR WHERE PENETRATIONS ARE ABANDONED.
- B. CONTRACTOR SHALL PROVIDE AND INSTALL NEW UNDERLAYMENT AS SPECIFIED AND DETAILED.
- CONTRACTOR SHALL PROVIDE AND INSTALL NEW TURTLE VENTS IN LOCATIONS DRAWN. CONTRACTOR SHALL PROVIDE AND INSTALL NEW FLASHING AT GAS FLUES AND VTR'S.
- CONTRACTOR SHALL PROVIDE AND INSTALL NEW ROOF SHINGLES AS SPECIFIED AND DETAILED.
- CONTRACTOR SHALL PROVIDE AND INSTALL NEW RAKE AND EAVE TRIM. CONTRACTOR SHALL PROVIDE AND INSTALL NEW COUNTERFLASHING / THRU-WALL FLASHING.
- H. CONTRACTOR SHALL REINSTALL SALVAGED GUTTERS AND DOWNSPOUTS.

LEGEND

• E. VTR	

NEW SHINGLES VENTED RIDGE VTR - EXISTING VENT THRU ROOF TO REMAIN. PROVIDE NEW BOOT.

DEMOLITION MARK

E. DORMER VENT EXISTING DORMER VENT. DEMOLISH AND

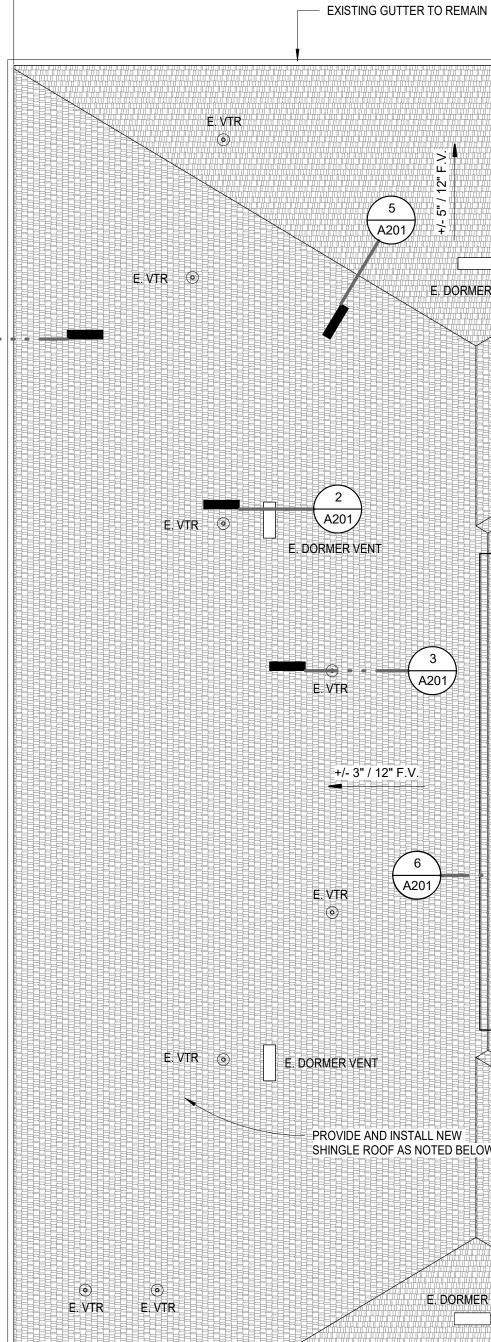


PROVIDE NEW IN EXISTING LOCATION. TURBINE VENT. DEMOLISH AND PROVIDE NEW

TURTLE VENT IN EXISTING LOCATION.

T.V.

TURTLE VENT. DEMOLISH AND PROVIDE NEW TURTLE VENT IN EXISTING LOCATION OR IN PLACE OF DEMOLISHED TURBINE VENT



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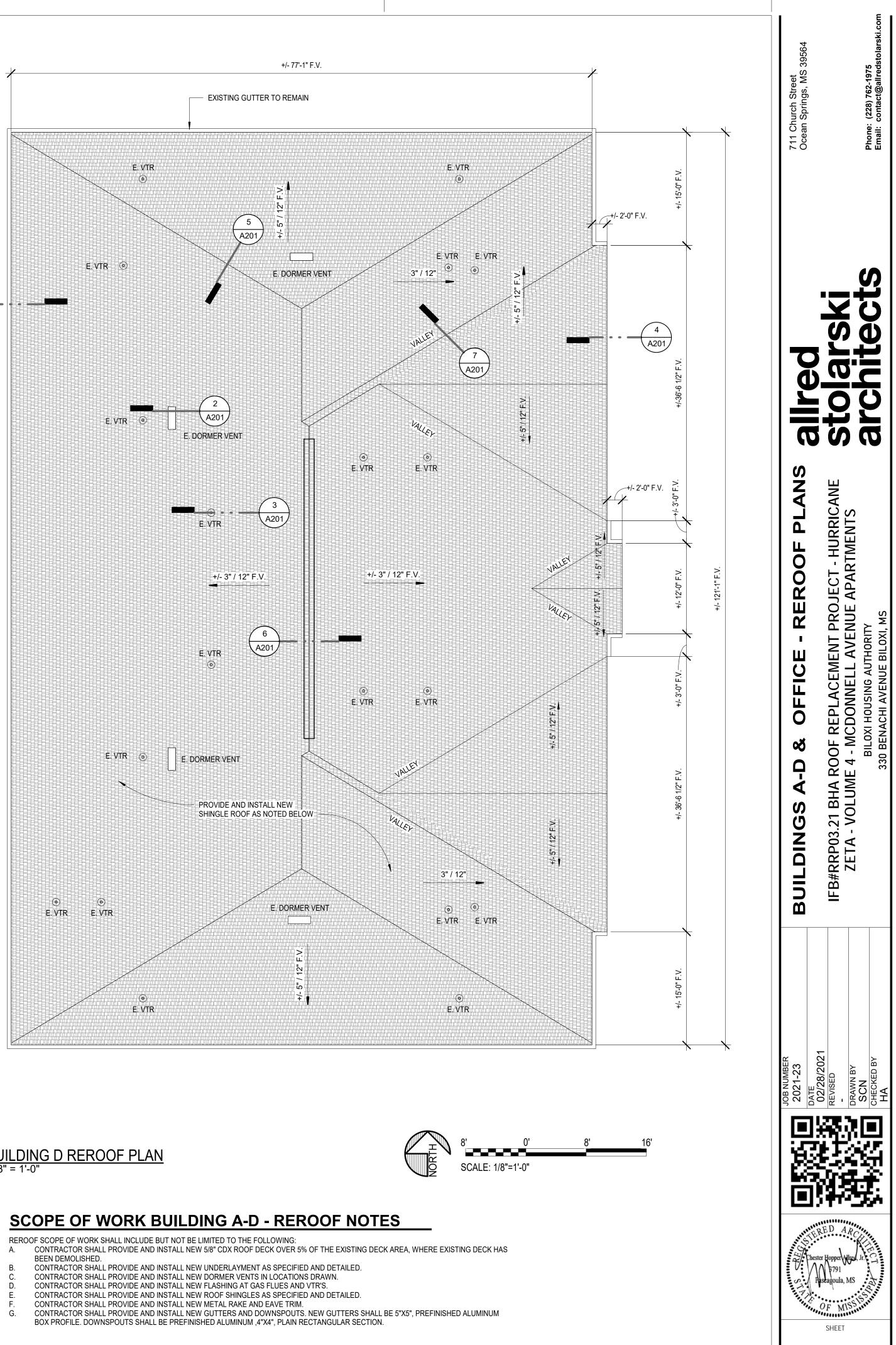
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SCOPE OF WORK BUILDING A-D - REROOF NOTES

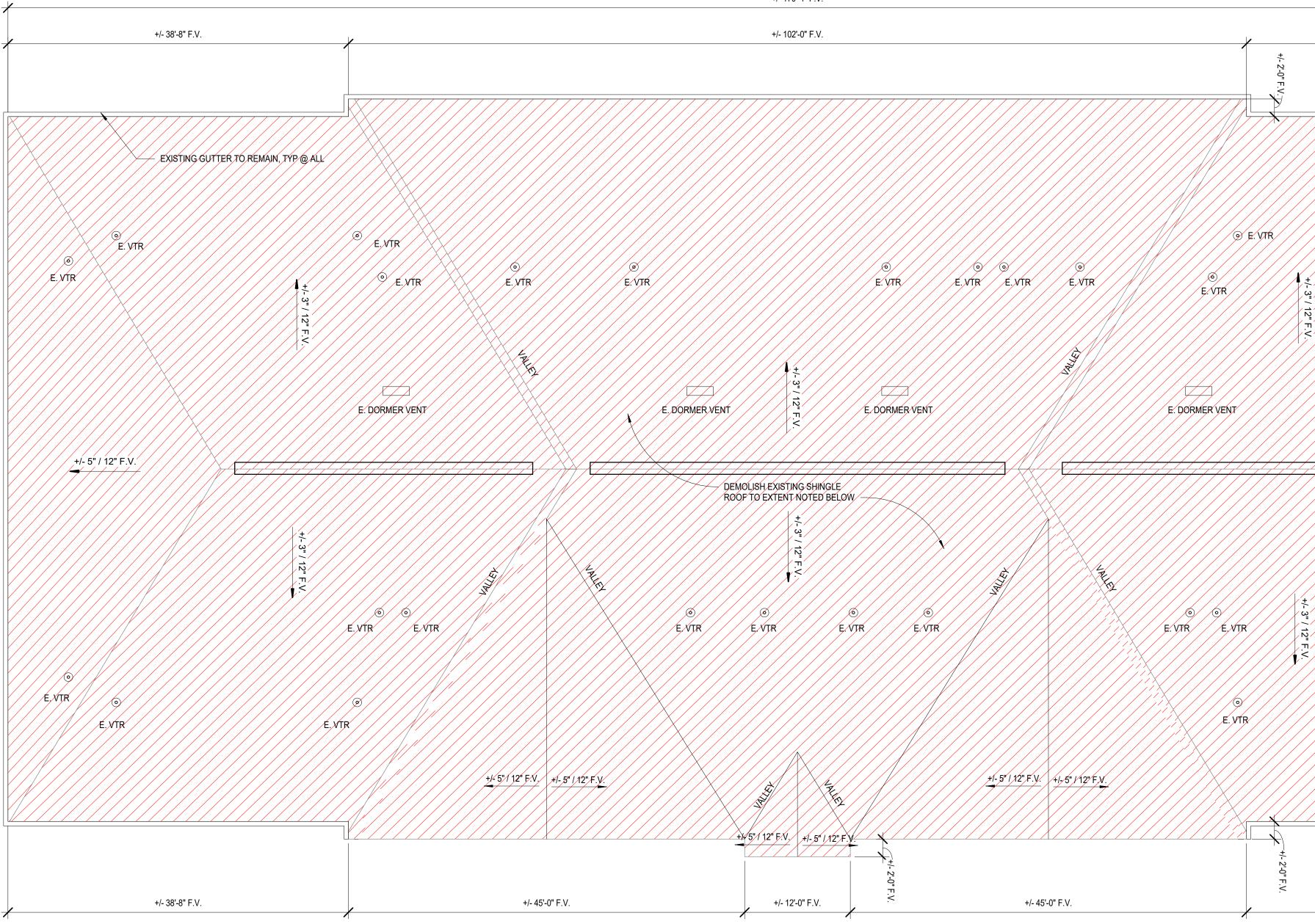
E. VTR

BEEN DEMOLISHED.

- CONTRACTOR SHALL PROVIDE AND INSTALL NEW UNDERLAYMENT AS SPECIFIED AND DETAILED. CONTRACTOR SHALL PROVIDE AND INSTALL NEW DORMER VENTS IN LOCATIONS DRAWN. CONTRACTOR SHALL PROVIDE AND INSTALL NEW FLASHING AT GAS FLUES AND VTR'S.
- CONTRACTOR SHALL PROVIDE AND INSTALL NEW ROOF SHINGLES AS SPECIFIED AND DETAILED. CONTRACTOR SHALL PROVIDE AND INSTALL NEW METAL RAKE AND EAVE TRIM.



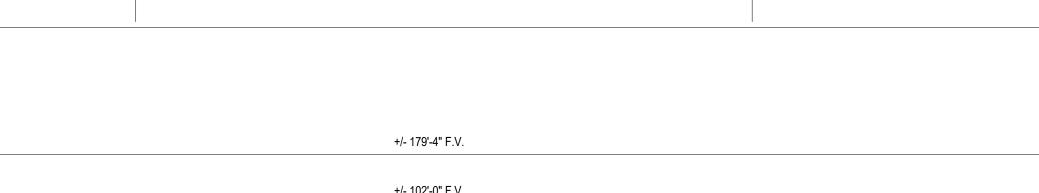
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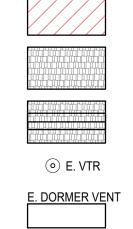
BUILDING F DEMOLITION PLAN 1 A101 SCALE: 1/8"=1'-0"

SCOPE OF WORK BUILDINGS E AND F - DEMOLITION NOTES

- 1. DEMOLITION SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING: CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE ROOFING MATERIAL.
 - CONTRACTOR SHALL DEMOLISH ALL EXISTING UNDERLAYMENTS.
 - CONTRACTOR SHALL DEMOLISH ALL PIPE BOOTS, CRICKETS AND OTHER PENETRATION FLASHINGS. CONTRACTOR SHALL DEMOLISH ALL DORMER VENTS, THEN PREP THE ROOF OPENING FOR A NEW VENT.
 - CONTRACTOR SHALL RETAIN IN PLACE ALL EXISTING GAS FLUES AND VTR'S.
 - CONTRACTOR SHALL RETAIN IN PLACE ALL GABLE VENTS.
 - CONTRACTOR SHALL DEMOLISH ALL EXISTING GUTTERS AND DOWNSPOUTS, INCLUDING STRAPS, MOUNTINGS, AND OTHER ACCESSORIES. CONTRACTOR SHALL DEMOLISH ALL EAVE AND RAKE TRIM.
 - CONTRACTOR SHALL DEMOLISH ALL FLASHINGS AND COUNTER FLASHINGS NOT OTHERWISE NOTED TO REMAIN. EXISTING STEPPED THRU-
 - WALL FLASHING SHALL REMAIN IN PLACE AND SHALL BE REUSED. CONTRACTOR SHALL DEMOLISH 5% OF THE EXISTING 5/8" CDX ROOF DECK. AREAS TO BE DEMOLISHED WILL BE DETERMINED BY THE J. ARCHITECT IN THE FIELD.
- K. CONTRACTOR SHALL PREPARE THE DECK FOR NEW WORK. 2. NOTE: ALL CURBS IN GOOD CONDITION SHALL REMAIN IN PLACE AND SHALL BE REUSED



LEGEND

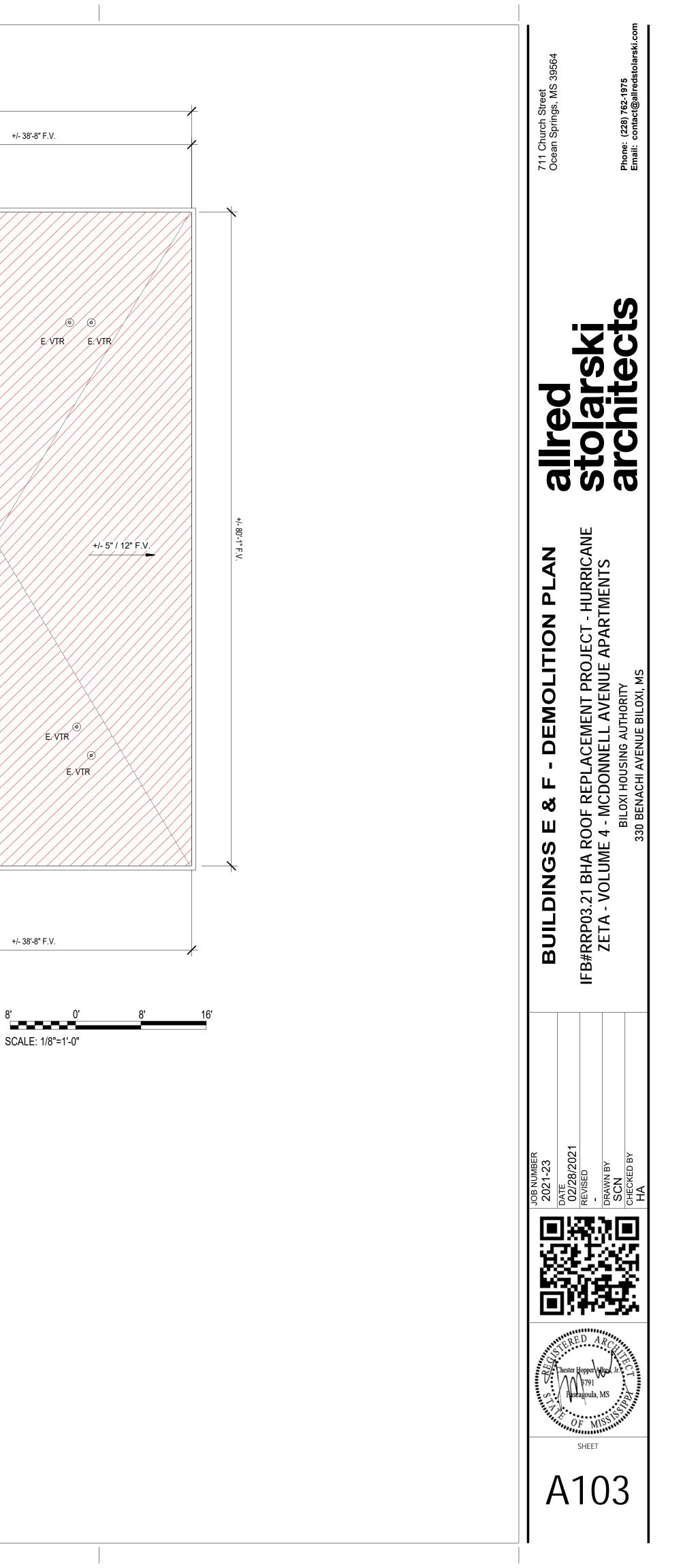


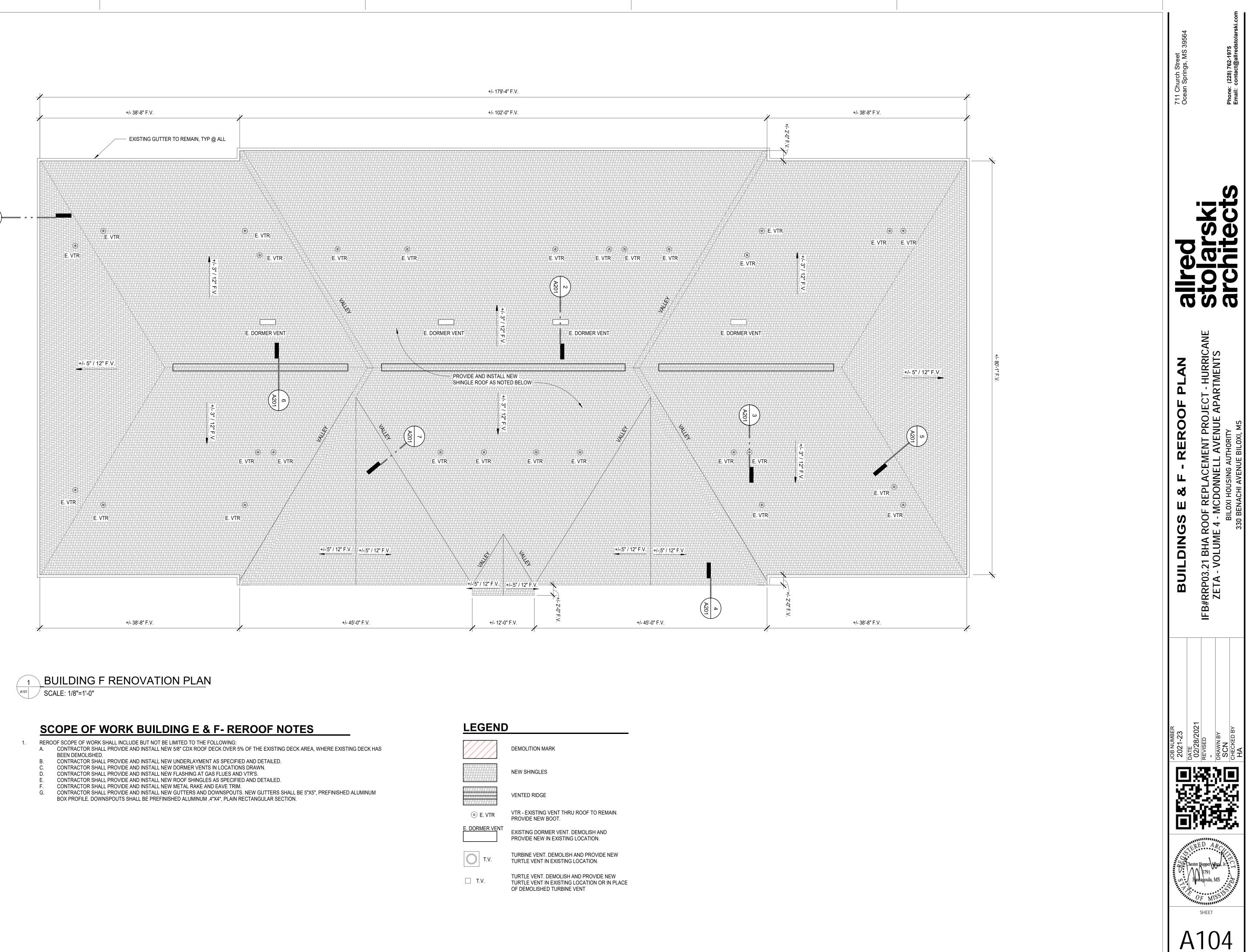
DEMOLITION MARK NEW SHINGLES VENTED RIDGE VTR - EXISTING VENT THRU ROOF TO REMAIN. PROVIDE NEW BOOT. EXISTING DORMER VENT. DEMOLISH AND PROVIDE NEW IN EXISTING LOCATION.

TURBINE VENT. DEMOLISH AND PROVIDE NEW TURTLE VENT IN EXISTING LOCATION.

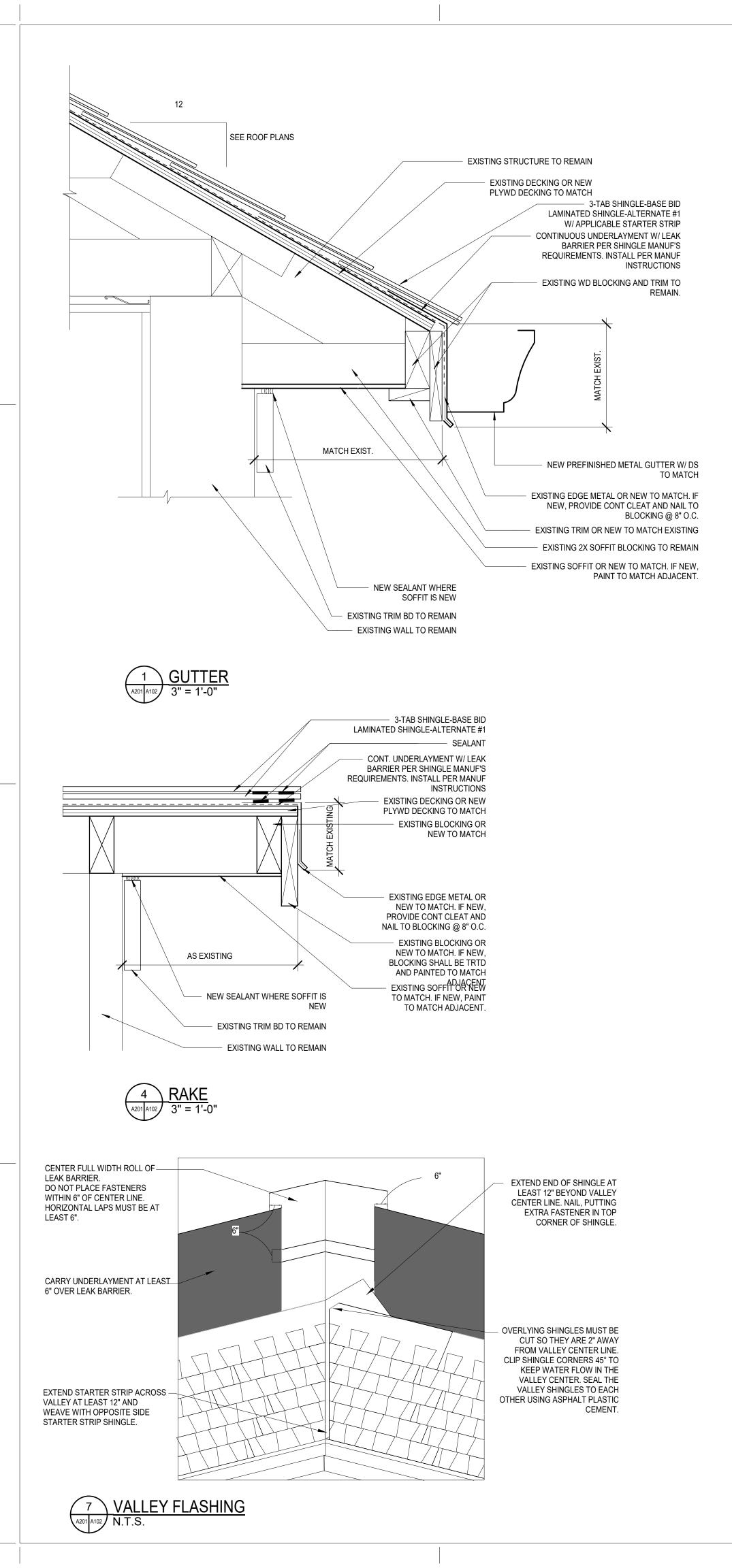
T.V. T.V.

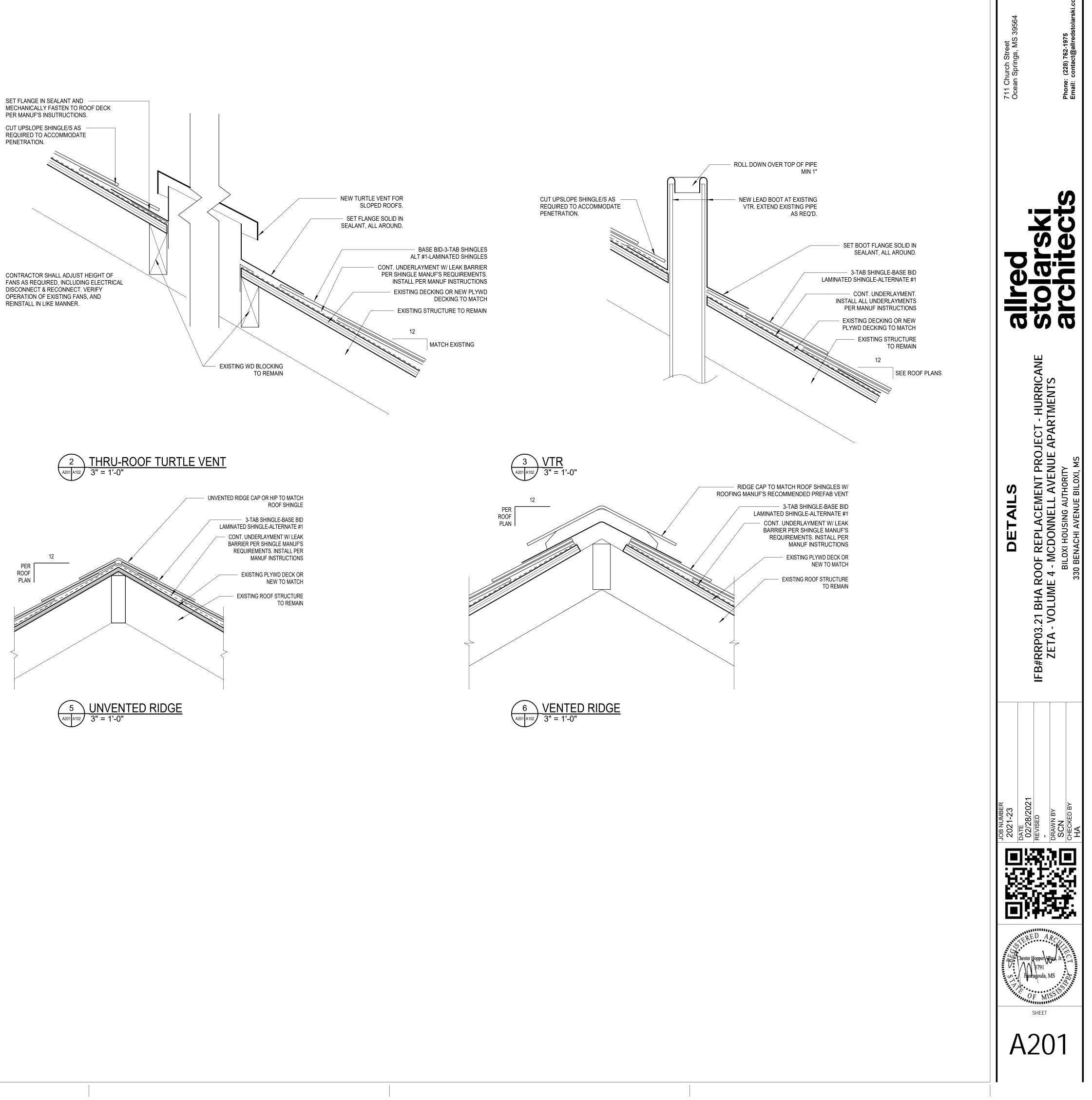
TURTLE VENT. DEMOLISH AND PROVIDE NEW TURTLE VENT IN EXISTING LOCATION OR IN PLACE OF DEMOLISHED TURBINE VENT

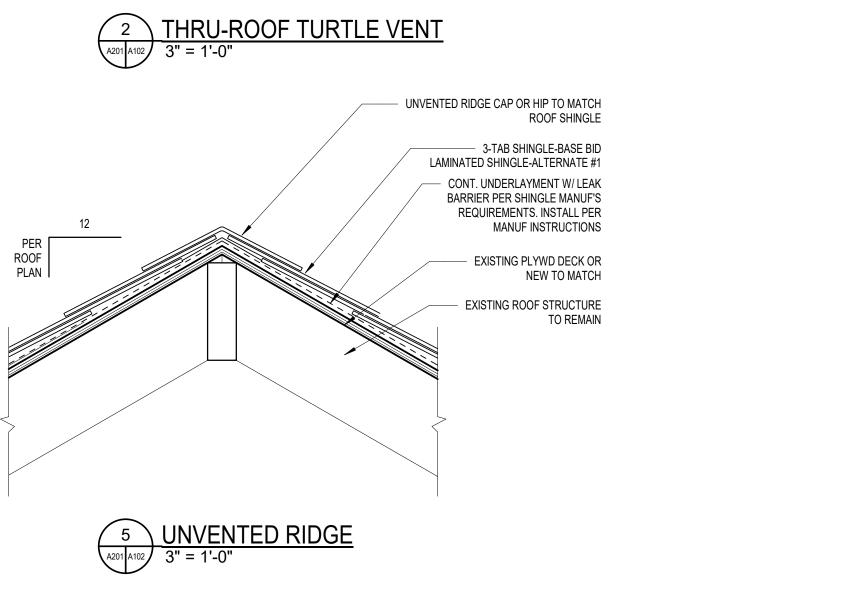


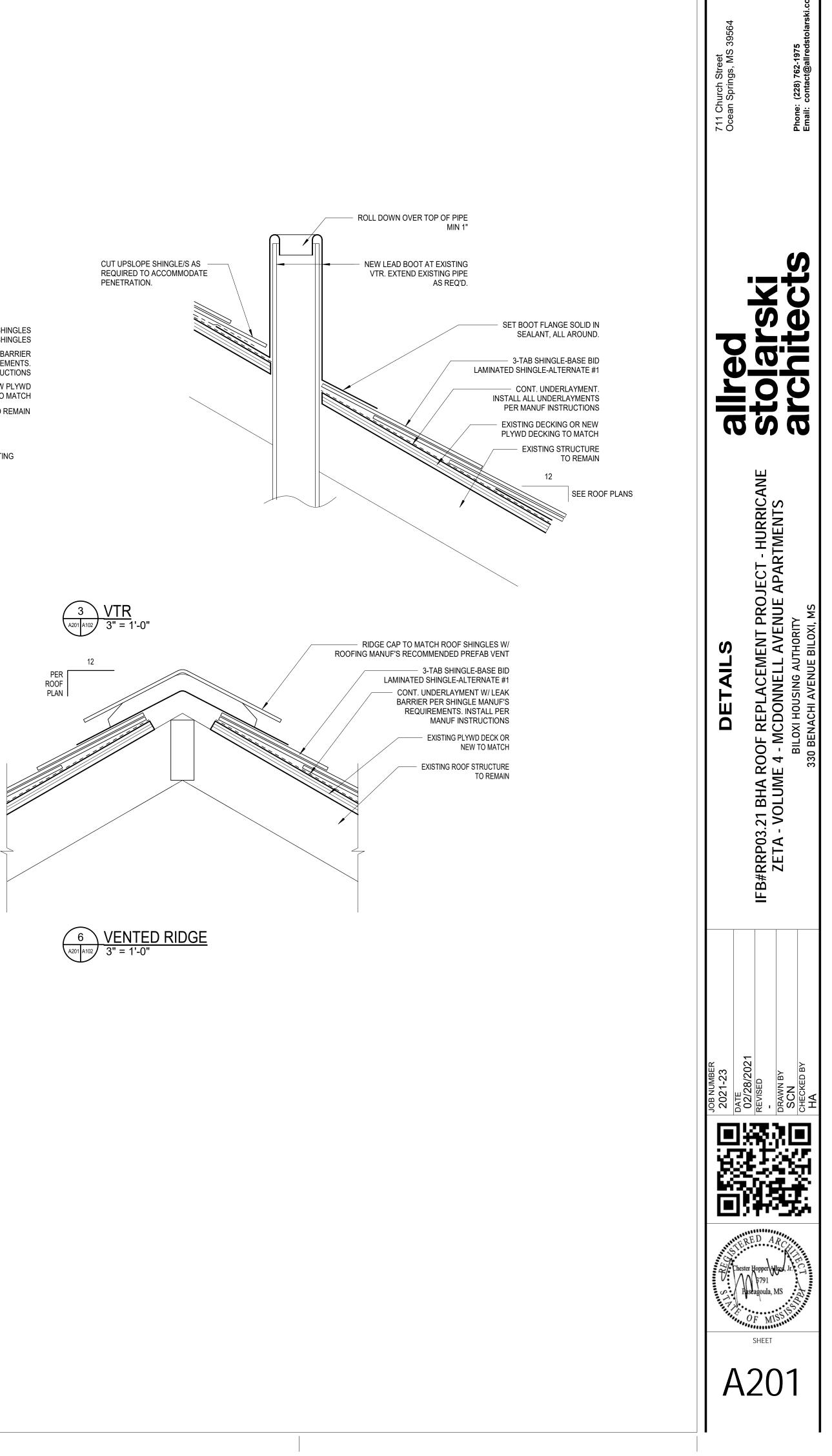


	DEMOLITION MARK
	NEW SHINGLES
	VENTED RIDGE
• E. VTR	VTR - EXISTING VENT THRU ROOF TO REMA PROVIDE NEW BOOT.
DORMER VENT	EXISTING DORMER VENT. DEMOLISH AND PROVIDE NEW IN EXISTING LOCATION.
T.V.	TURBINE VENT. DEMOLISH AND PROVIDE NE TURTLE VENT IN EXISTING LOCATION.
] T.V.	TURTLE VENT. DEMOLISH AND PROVIDE NEV TURTLE VENT IN EXISTING LOCATION OR IN





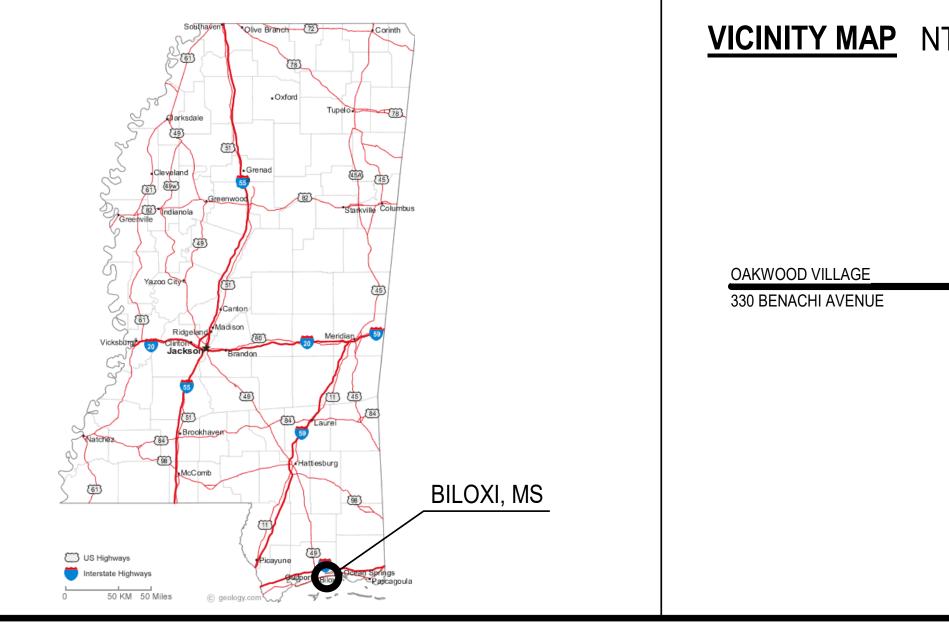




IFB#RRP03.21 BHA ROOF REPLACEMENT PROJECT - HURRICANE ZETA REPAIRS -VOLUME 5 - OAKWOOD VILLAGE BILOXI HOUSING AUTHORITY

330 BENACHI AVE, BILOXI, MS

LOCATION MAP NTS



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G000 TITLE SHEET	
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- A100 REFERENCE SITE PLAN
- A201 ROOF DETAILS

ALTERNATES WITH THE SPECIFICATIONS.

PRIORITY WORK 1. BUILDING O

OAKWOOD VILLAGE 330 BENACHI AVENUE







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INDEX - ARCHITECTURAL

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PROJ #: 2021-23

IFB#RRP03.21 BHA ROOF REPLACEMENT PROJECT HURRICANE ZETA REPAIRS - VOLUME 5 - OAKWOOD VILLAGE BILOXI HOUSING AUTHORITY

330 BENACHI AVE, BILOXI, MS

<u>DATE:</u> 02/28/2021

<u>SET TYPE</u> **BID SET**

PROJECT TEAM

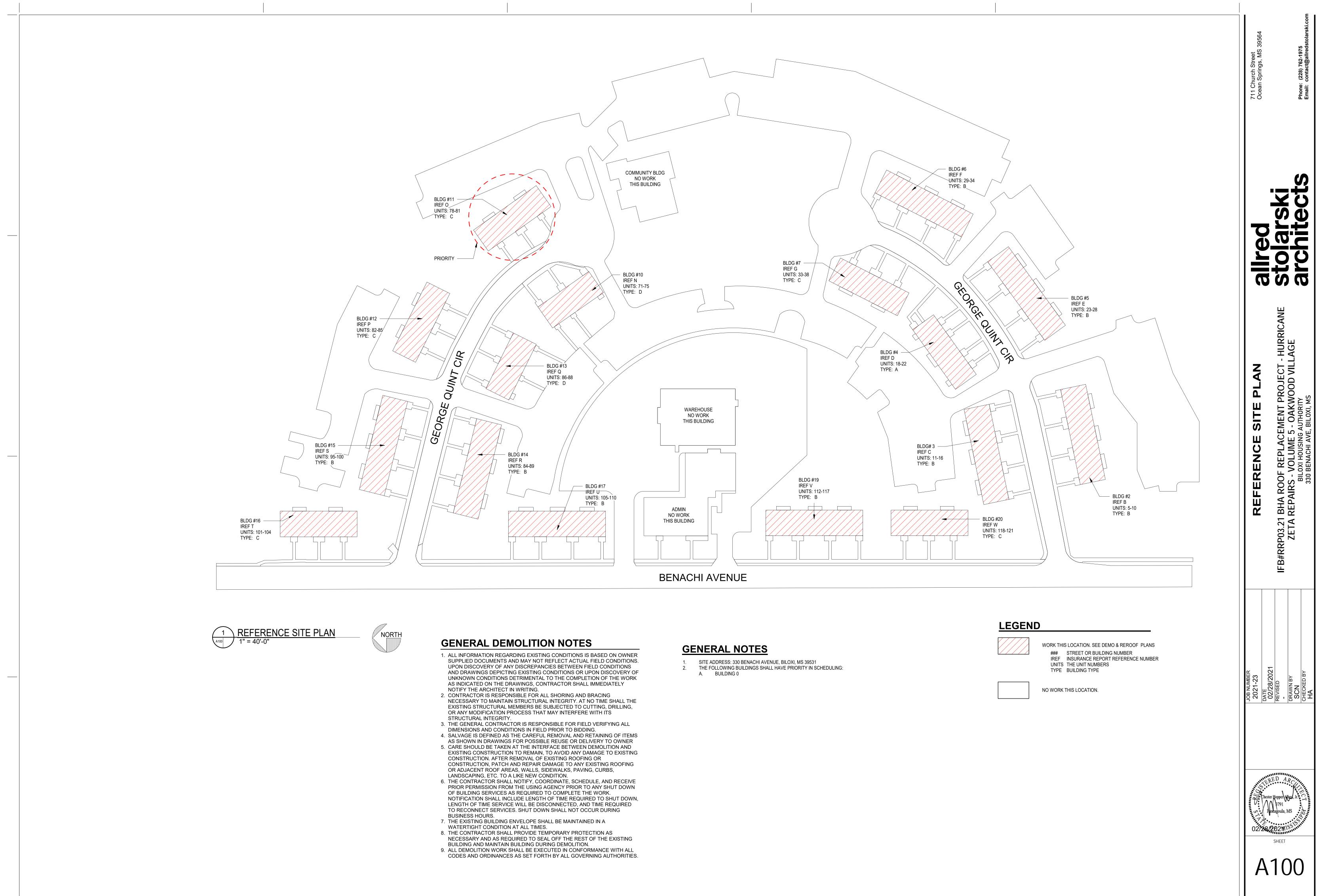
ARCHITECT ALLRED STOLARSKI ARCHITECTS

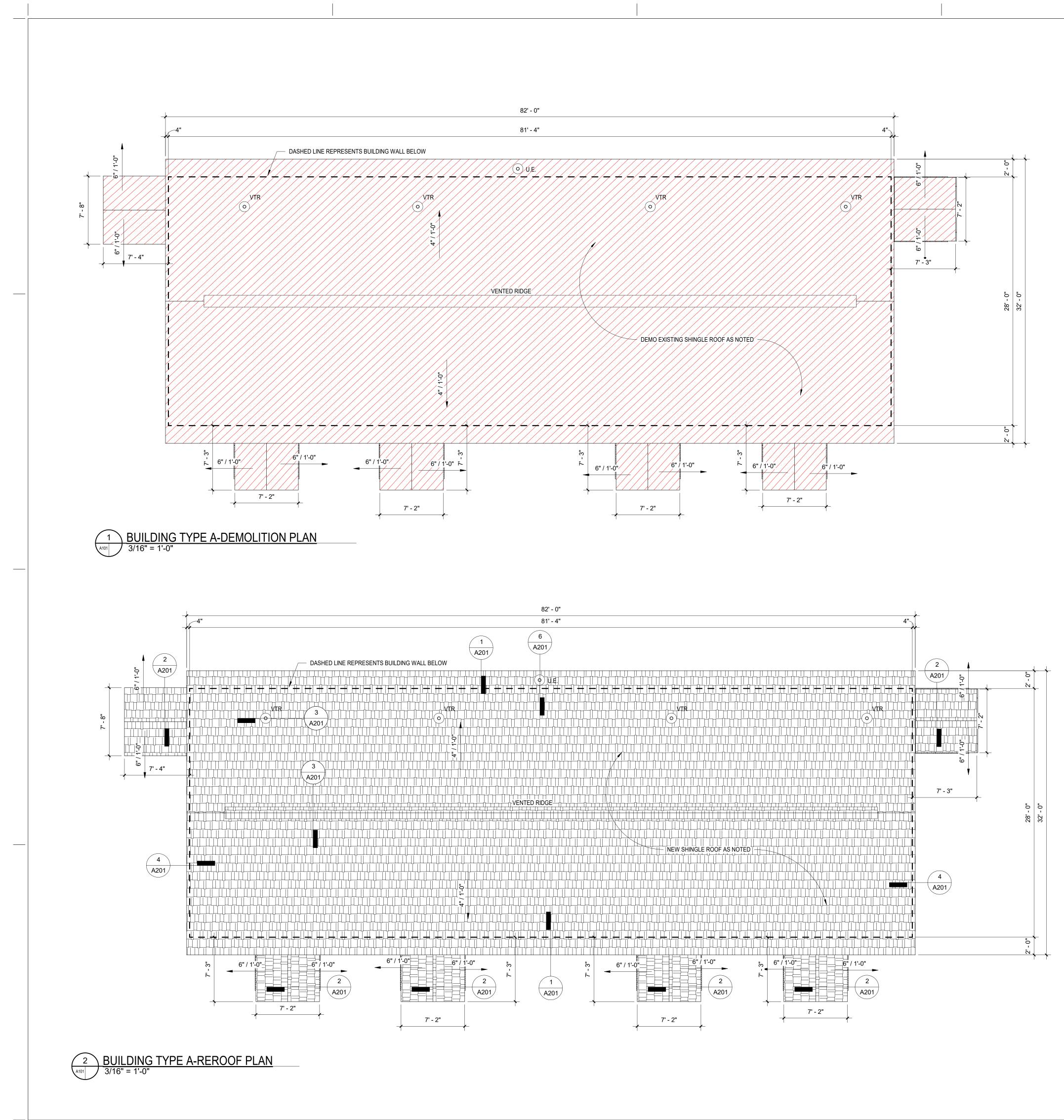
711 CHURCH STREET OCEAN SPRINGS, MS 39564 **T (**228) 762-1975 HOPPÝ STOLARSKI, AIA, PRINCIPAL ARCHITECT hoppy@allredstolarski.com

LTERNATE #1: AN ADDITIVE ALTERNATE FOR ALL LABOR, MATERIALS, AND EQUIPMENT NECESSARY TO REROOF BUILDINGS AT AYVIEW OAKS, COMPLETE AS INDICATED ON THE DRAWINGS AND IN ACCORDANCE WITH THE SPECIFICATIONS. ALTERNATE #2: AN ADDITIVE ALTERNATE FOR ALL LABOR, MATERIALS, AND EQUIPMENT NECESSARY TO INSTALL A LAMINATED SHINGLE ROOF IN LIEU OF THE BASE BID 3-TAB SHINGLE ROOF, COMPLETE AS INDICATED ON THE DRAWINGS AND IN ACCORDANCE

THE FOLLOWING LOCATIONS SHALL HAVE PRIORITY IN SCHEDULING:

711 Church Street Ocean Springs, MS 39564





Α.	BUILDING #
DEN	NOLITION SCOP
Α.	CONTRACT
В.	CONTRACT
С.	CONTRACT
D.	CONTRACT
	ARCHITECT
Ε.	CONTRACT



SCOPE OF WORK BUILDING TYPE A - DEMOLITION NOTES

1. THE FOLLOWING BUILDINGS ARE TYPE A AND THIS SCOPE OF WORK SHALL APPLY: A. BUILDING #4 / IREF D

- DPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING: CTOR SHALL REMOVE ALL EXISTING SHINGLES, FLASHINGS AND UNDERLAYMENTS. CTOR SHALL DEMOLISH EXISTING PIPE BOOTS. CTOR SHALL RETAIN IN PLACE THE EXISTING VENT PIPE AND UTILITY ENTRANCE PIPES.
- TOR SHALL DEMOLISH 5% OF THE EXISTING 5/8" CDX ROOF DECK. AREAS TO BE DEMOLISHED WILL BE DETERMINED BY THE

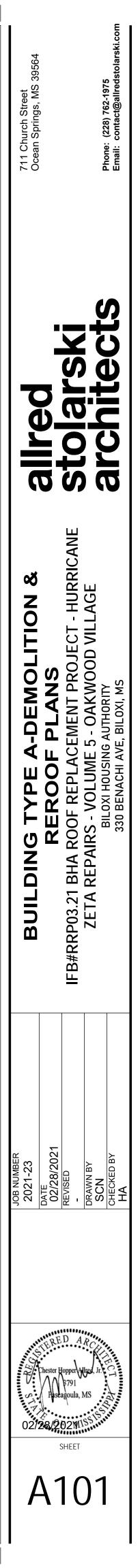
T IN THE FIELD. TOR SHALL PREPARE THE DECK FOR NEW WORK.

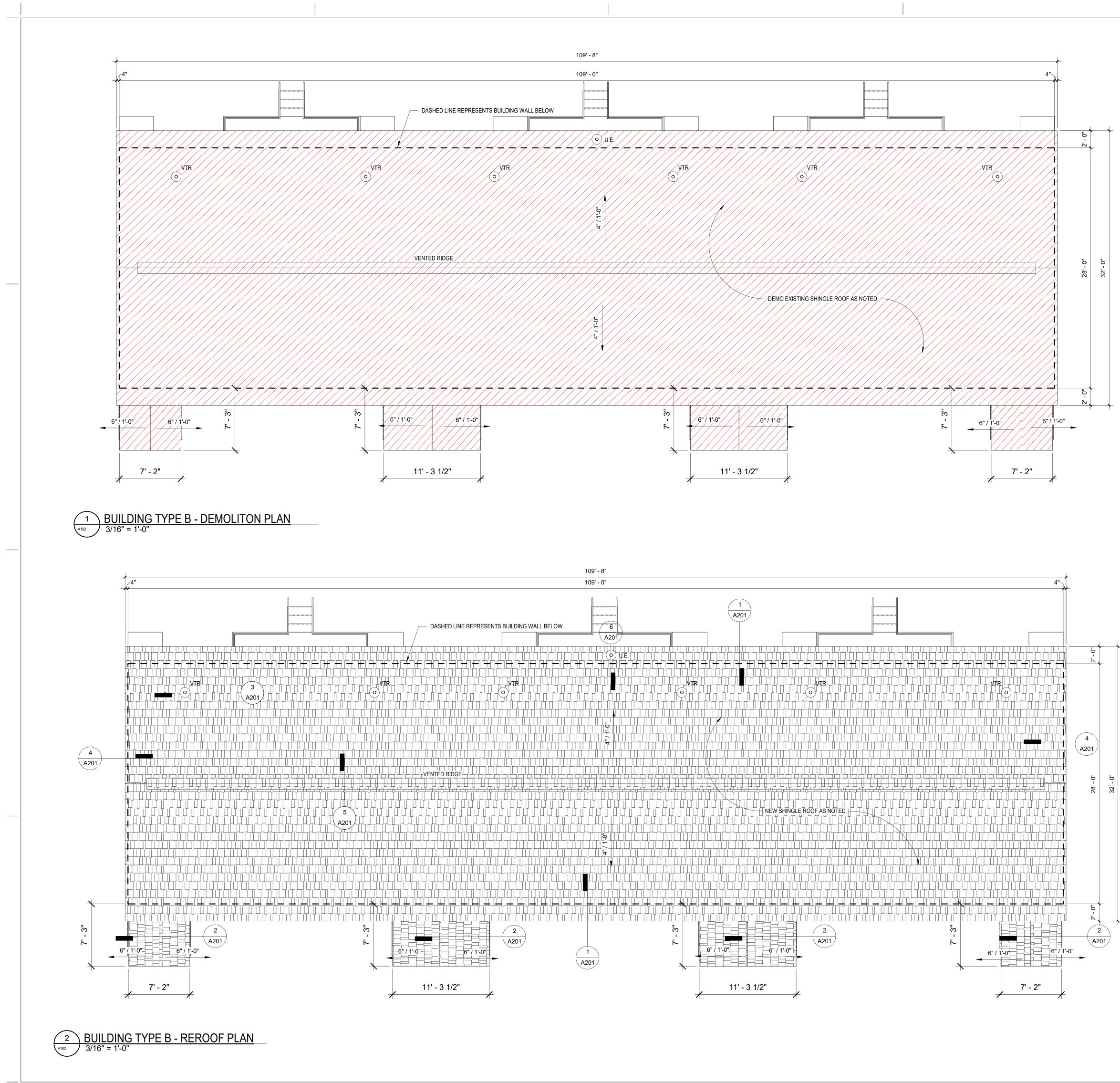
LEGEND DEMOLITION MARK NEW SHINGLES VTR - VENT THRU ROOF RIDGE VENT U.E. U.E.- ELECTRICAL UTILITY ENTRANCE FROM ADJACENT OVERHEAD ELECTRICAL

SCOPE OF WORK BUILDING TYPE A- REROOF NOTES

1. THE FOLLOWING BUILDINGS ARE TYPE A AND THIS SCOPE OF WORK SHALL APPLY: A. BUILDING #4 / IREF D

- REROOF SCOPE OF WORK FOR ALL TYPE A BUILDINGS SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING: CONTRACTOR SHALL PROVIDE AND INSTALL NEW 5/8" CDX ROOF DECK OVER 5% OF THE EXISTING DECK AREA,
- WHERE EXISTING DECK HAS BEEN DEMOLISHED OR WHERE PENETRATIONS ARE ABANDONED.
- CONTRACTOR SHALL PREP THE ENTIRE ROOF DECK FOR NEW WORK. CONTRACTOR SHALL PROVIDE AND INSTALL NEW VTR FLASHING AT EXISTING VENT PIPES.
- CONTRACTOR SHALL PROVIDE AND INSTALL NEW GALVANIZED BOOTS AND UMBRELLAS AT EXISTING UTILITY ENTRANCE PIPES.
- CONTRACTOR SHALL PROVIDE AND INSTALL NEW ROOFING SYSTEM SPECIFIED, INCLUDING UNDERLAYMENTS, SHINGLES, RIDGE VENTS, STARTER STRIPS, FLASHING AND EDGE METAL AND ALL ACCESSORIES REQUIRED FOR A COMPLETE INSTALLATION.





SCOPE OF WORK BUILDING TYPE B -DEMOLITION NOTES

- 1. THE FOLLOWING BUILDINGS ARE TYPE B AND THE SCOPE BELOW SHALL APPLY: A. BUILDING #2 / IREF B
 - B. BUILDING #3 / IREF C C. BUILDING #5 / IREF E
 - D. BUILDING #6 / IREF F E. BUILDING #14 / IREF R
 - 5. BUILDING #15 / IREF S G. BUILDING #17 / IREF U
 - BUILDING #17 / IREF V
- 2. DEMOLITION SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
 - A. CONTRACTOR SHALL REMOVE ALL EXISTING SHINGLES, FLASHINGS AND UNDERLAYMENTS.
 - B. REMOVE EXISTING PIPE BOOTS AS REQUIRED TO ACCOMMODATE NEW WORK. PREP VENT PIPES FOR INSTALLATION OF NEW BOOTS.
 - C. CONTRACTOR SHALL RETAIN IN PLACE THE EXISTING VENT PIPES AND UTILITY ENTRANCE PIPES.
 - D. CONTRACTOR SHALL DEMOLISH 5% OF THE EXISTING 5/8" CDX ROOF DECK. AREAS TO BE DEMOLISHED WILL BE DETERMINED BY THE ARCHITECT IN THE
 - FIELD. E. CONTRACTOR SHALL PREPARE THE DECK FOR NEW WORK.

LEGEND



NEW SHINGLES

RIDGE VENT

DEMOLITION MARK

VTR - VENT THRU ROOF

OVTR



U.E.

U.E.- ELECTRICAL UTILITY ENTRANCE FROM ADJACENT OVERHEAD ELECTRICAL

SCOPE OF WORK BUILDING TYPE B -REROOF NOTES

THE FOLLOWING BUILDINGS ARE TYPE B AND THE SCOPE BELOW SHALL APPLY:

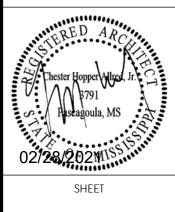
APPLY: A. BUILDING #2 / IREF B B. BUILDING #3 / IREF C C. BUILDING #5 / IREF E D. BUILDING #6 / IREF F E. BUILDING #14 / IREF R F. BUILDING #15 / IREF S G. BUILDING #17 / IREF U H. BUILDING #19 / IREF V REROOF SCOPE OF WORK ALL TYPE B BUILDINGS SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:

1.

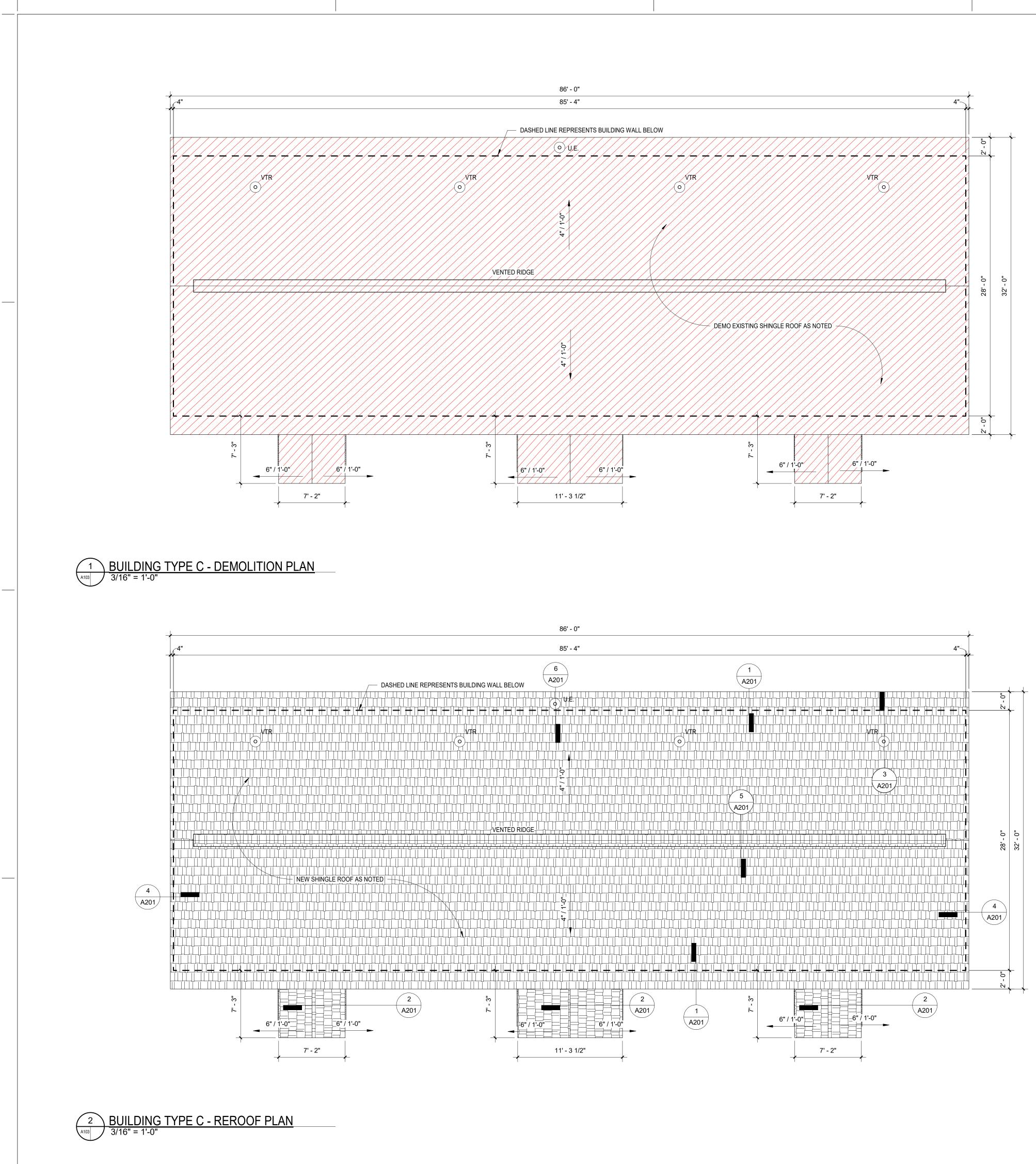
2.

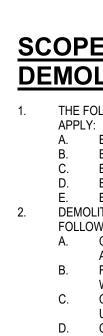
- A. CONTRACTOR SHALL PROVIDE AND INSTALL NEW 5/8" CDX ROOF DECK OVER 5% OF THE EXISTING DECK AREA, WHERE EXISTING DECK HAS BEEN DEMOLISHED OR WHERE PENETRATIONS ARE ABANDONED.
 B. CONTRACTOR SHALL PREP THE ENTIRE ROOF DECK FOR NEW
- CONTRACTOR SHALL PREPTHE ENTIRE ROOF DECK FOR NEW WORK.
 CONTRACTOR SHALL PROVIDE AND INSTALL NEW PIPE BOOTS.
- CONTRACTOR SHALL PROVIDE AND INSTALL NEW PIPE BOOTS.
 CONTRACTOR SHALL PROVIDE AND INSTALL NEW GALVANIZED BOOTS AND UMBRELLAS AT EXISTING UTILITY ENTRANCE PIPES.
- E. CONTRACTOR SHALL PROVIDE AND INSTALL NEW ROOFING SYSTEM SPECIFIED, INCLUDING UNDERLAYMENTS, SHINGLES, RIDGE VENTS, STARTER STRIPS, FLASHING AND EDGE METAL AND ALL ACCESSORIES REQUIRED FOR A COMPLETE INSTALLATION.

YPE B-DEMOLITION &
ROOF PLANS71 Church Street
Ocean Springs, MS 39504F REPLACEMENT PROJECT - HURRICANE
ROLUME 5 - OAKWOOD VILLAGE
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DXI HOUSING AUTHORIT711 Church Street
Ocean Springs, MS 39504C REPLACEMENT PROJECT - HURRICANE
VOLUME 5 - OAKWOOD VILLAGE
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Ocean Springs, MS 39504C REPLACEMENT PROJECT - HURRICANE
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OCEANEDC REPLACEMENT PROJECT - HURRICAN











1.



SCOPE OF WORK BUILDING TYPE C -DEMOLITION NOTES

THE FOLLOWING BUILDINGS ARE TYPE C AND THE SCOPE BELOW SHALL

- A. BUILDING #7 / IREF G
 - BUILDING #11 / IREF O BUILDING #12 / IREF P
 - BUILDING #16 / IREF T
- BUILDING #20 / IREF W 2. DEMOLITION SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE
 - FOLLOWING: A. CONTRACTOR SHALL REMOVE ALL EXISTING SHINGLES, FLASHINGS
 - AND UNDERLAYMENTS. REMOVE EXISTING PIPE BOOTS AS REQUIRED TO ACCOMMODATE NEW
 - WORK. PREP VENT PIPES FOR INSTALLATION OF NEW BOOTS. CONTRACTOR SHALL RETAIN IN PLACE THE EXISTING VENT PIPES AND
 - UTILITY ENTRANCE PIPES.
 - CONTRACTOR SHALL DEMOLISH 5% OF THE EXISTING 5/8" CDX ROOF DECK. AREAS TO BE DEMOLISHED WILL BE DETERMINED BY THE
 - ARCHITECT IN THE FIELD. E. CONTRACTOR SHALL PREPARE THE DECK FOR NEW WORK.

LEGEND



DEMOLITION MARK



NEW SHINGLES

____U.E.

RIDGE VENT

U.E.- ELECTRICAL UTILITY ENTRANCE FROM ADJACENT OVERHEAD ELECTRICAL

VTR - VENT THRU ROOF

SCOPE OF WORK BUILDING TYPE C -**REROOF NOTES**

THE FOLLOWING BUILDINGS ARE TYPE C AND THE SCOPE BELOW SHALL

APPLY: A. BUILDING #7 / IREF G B. BUILDING #11 / IREF O

- BUILDING #12 / IREF P
- BUILDING #16 / IREF T
- BUILDING #20 / IREF W
- REROOF SCOPE OF WORK ALL TYPE B BUILDINGS SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING: CONTRACTOR SHALL PROVIDE AND INSTALL NEW 5/8" CDX ROOF
- DECK OVER 5% OF THE EXISTING DECK AREA, WHERE EXISTING DECK HAS BEEN DEMOLISHED OR WHERE PENETRATIONS ARE ABANDONED.
- CONTRACTOR SHALL PREP THE ENTIRE ROOF DECK FOR NEW В. WORK.
- CONTRACTOR SHALL PROVIDE AND INSTALL NEW PIPE BOOTS. CONTRACTOR SHALL PROVIDE AND INSTALL NEW GALVANIZED
- BOOTS AND UMBRELLAS AT EXISTING UTILITY ENTRANCE PIPES.
- CONTRACTOR SHALL PROVIDE AND INSTALL NEW ROOFING SYSTEM SPECIFIED, INCLUDING UNDERLAYMENTS, SHINGLES, RIDGE VENTS, STARTER STRIPS, FLASHING AND EDGE METAL AND ALL
- ACCESSORIES REQUIRED FOR A COMPLETE INSTALLATION.

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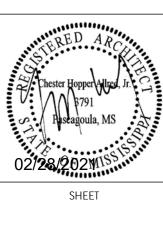
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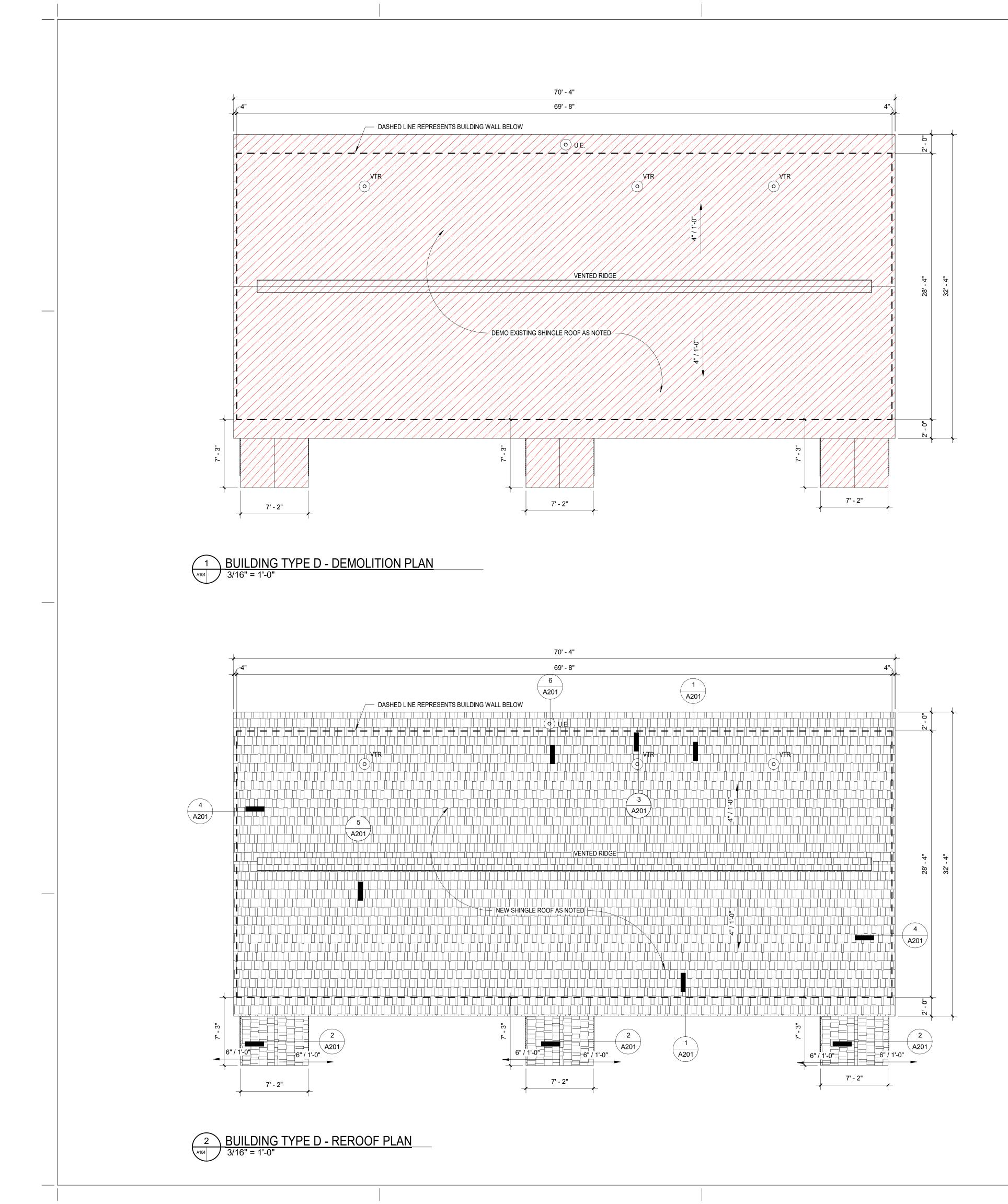
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FOLLOWING: AND UNDERLAYMENTS. Β. C. UTILITY ENTRANCE PIPES. D. ARCHITECT IN THE FIELD.









0.E.



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	В.	BUILDIN
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		ABAND
	В.	CONTR
		WORK.
	C.	CONTR
	D.	CONTR
		BOOTS
	E.	CONTR
		SPECIF
		STARTE
		ACCES

SCOPE OF WORK BUILDING TYPE D -

1. THE FOLLOWING BUILDINGS ARE TYPE D AND THE SCOPE BELOW SHALL

2. DEMOLITION SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE A. CONTRACTOR SHALL REMOVE ALL EXISTING SHINGLES, FLASHINGS

> REMOVE EXISTING PIPE BOOTS AS REQUIRED TO ACCOMMODATE NEW WORK. PREP VENT PIPES FOR INSTALLATION OF NEW BOOTS. CONTRACTOR SHALL RETAIN IN PLACE THE EXISTING VENT PIPES AND CONTRACTOR SHALL DEMOLISH 5% OF THE EXISTING 5/8" CDX ROOF

DECK. AREAS TO BE DEMOLISHED WILL BE DETERMINED BY THE E. CONTRACTOR SHALL PREPARE THE DECK FOR NEW WORK.

DEMOLITION MARK

NEW SHINGLES

VTR - VENT THRU ROOF

RIDGE VENT

U.E.- ELECTRICAL UTILITY ENTRANCE FROM ADJACENT OVERHEAD ELECTRICAL

SCOPE OF WORK BUILDING TYPE D -

1. THE FOLLOWING BUILDINGS ARE TYPE D AND THE SCOPE BELOW SHALL

ING #10 / IREF N ING #13 / IREF Q

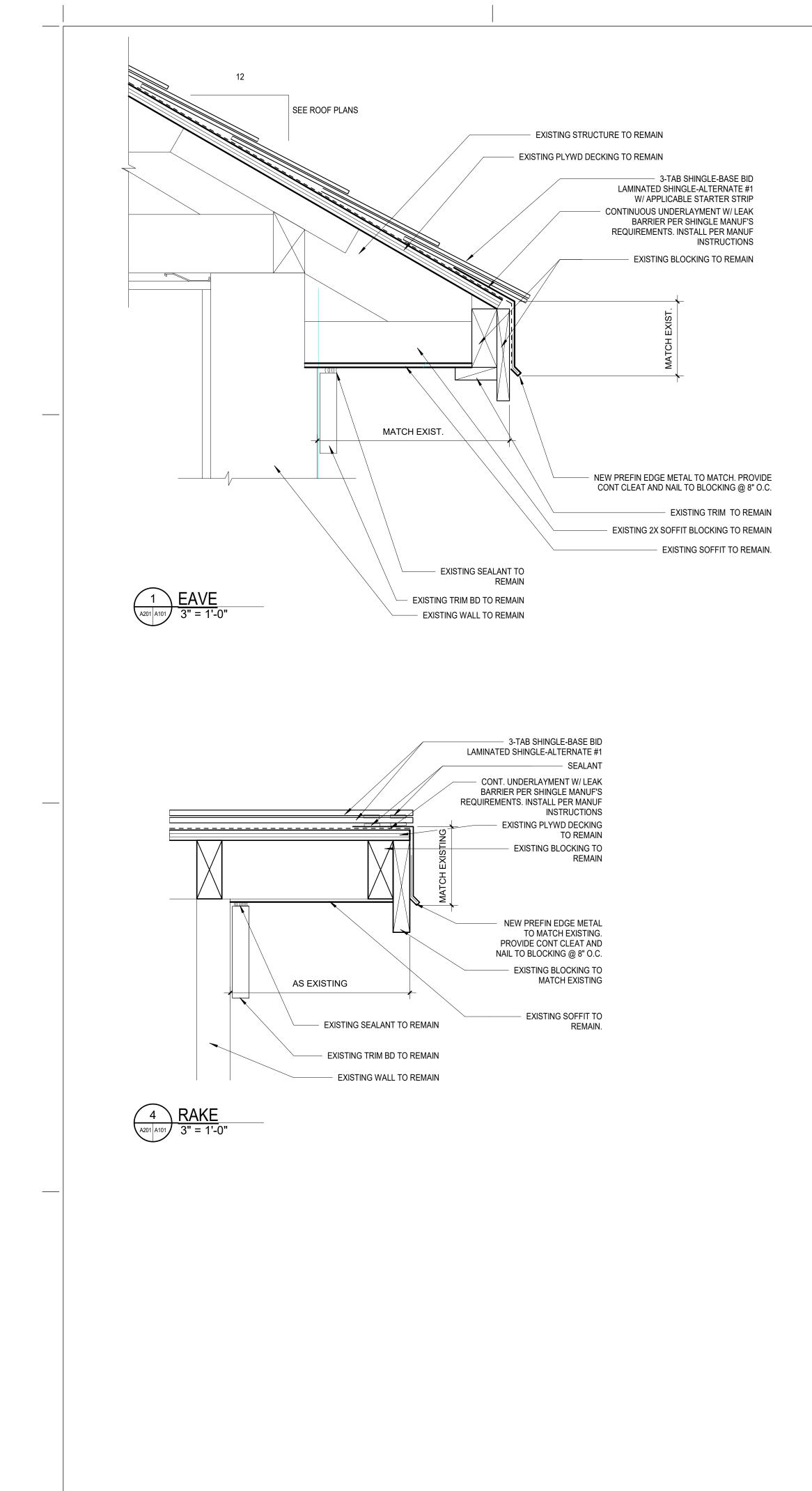
PE OF WORK ALL TYPE B BUILDINGS SHALL INCLUDE BUT NOT) THE FOLLOWING: RACTOR SHALL PROVIDE AND INSTALL NEW 5/8" CDX ROOF OVER 5% OF THE EXISTING DECK AREA, WHERE EXISTING

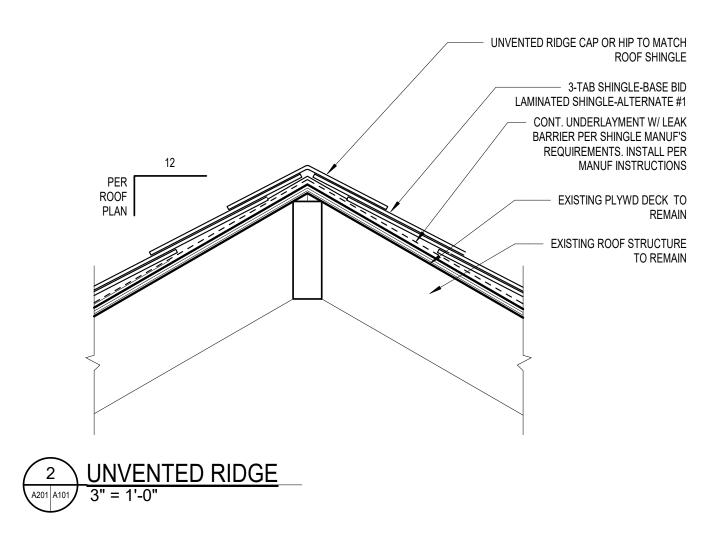
HAS BEEN DEMOLISHED OR WHERE PENETRATIONS ARE DONED.

RACTOR SHALL PREP THE ENTIRE ROOF DECK FOR NEW RACTOR SHALL PROVIDE AND INSTALL NEW PIPE BOOTS.

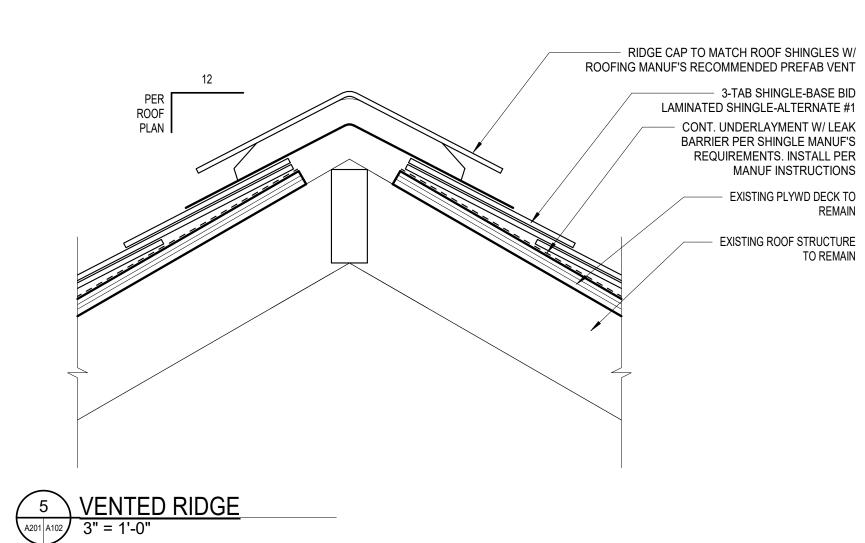
RACTOR SHALL PROVIDE AND INSTALL NEW GALVANIZED S AND UMBRELLAS AT EXISTING UTILITY ENTRANCE PIPES. RACTOR SHALL PROVIDE AND INSTALL NEW ROOFING SYSTEM IFIED, INCLUDING UNDERLAYMENTS, SHINGLES, RIDGE VENTS, TER STRIPS, FLASHING AND EDGE METAL AND ALL ACCESSORIES REQUIRED FOR A COMPLETE INSTALLATION.

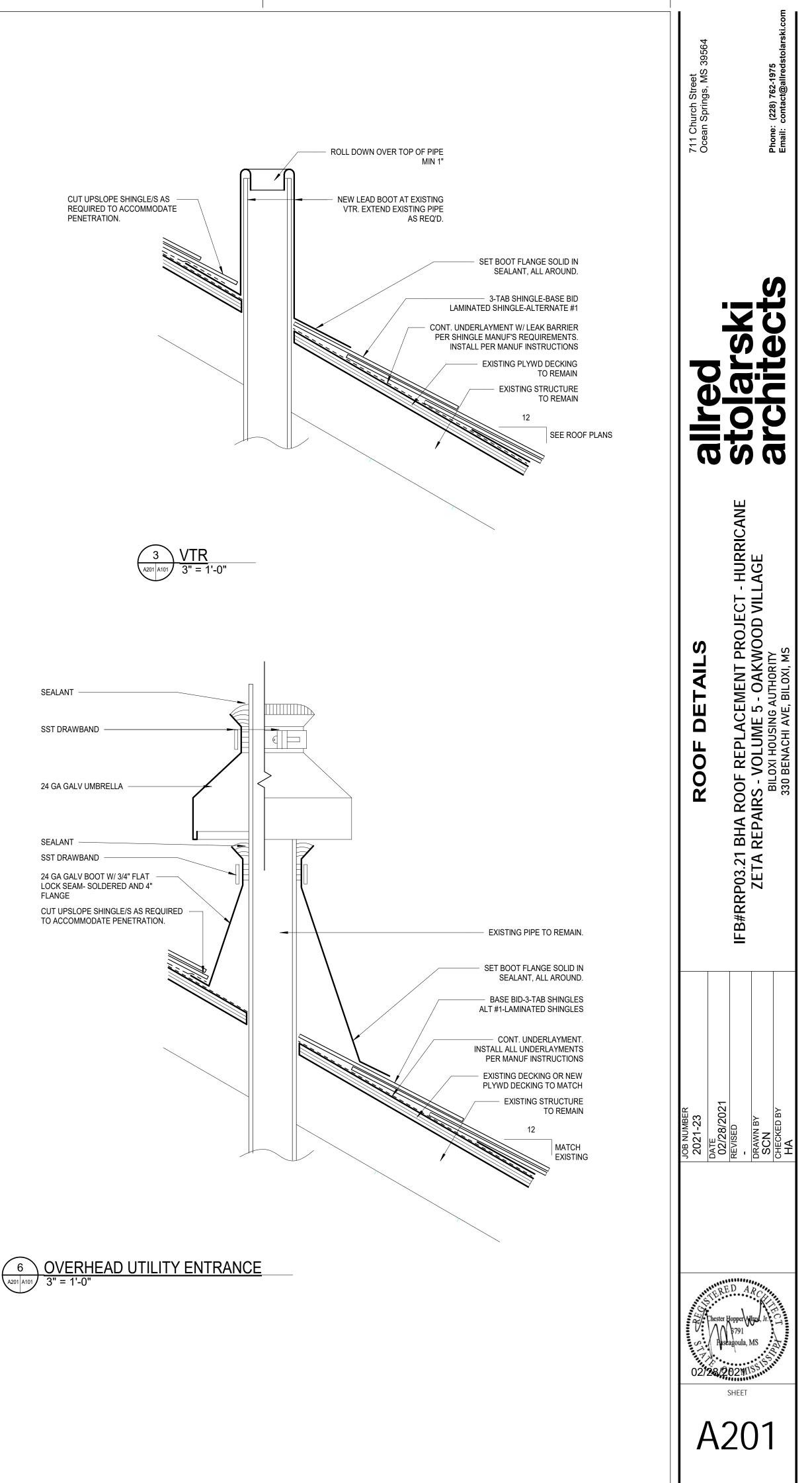
711 Church Street Ocean Springs, MS 39564			Dhone: (238) 762-1975	Email: contact@allredstolarski.com
alrad		Stolarski		
BUILDING TYPE D-DEMOLITION AND	REROOF PLANS	IFB#RRP03.21 BHA ROOF REPLACEMENT PROJECT - HURRICANE	ZETA REPAIRS - VOLUME 5 - OAKWOOD VILLAGE	330 BENACHI AVE, BILOXI, MS
JOB NUMBER 2021-23	DATE 02/28/2021	REVISED -	DRAWN BY SCN	CHECKED BY HA
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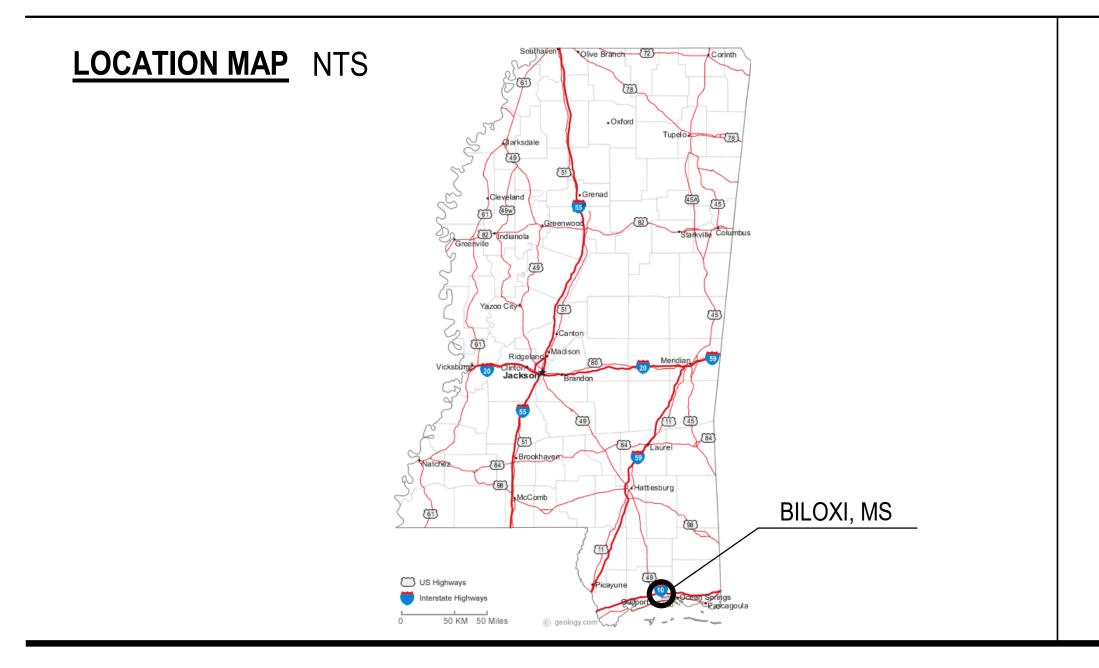
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IFB#RRP03.21 BHA ROOF REPLACEMENT PROJECT - HURRICANE ZETA REPAIRS -VOLUME 6 - SUNCOAST VILLAS APARTMENTS

BILOXI HOUSING AUTHORITY 330 BENACHI AVENUE BILOXI, MS 39530



VICINITY MAP NTS

SUNCOAST VILLAS



VOLUME 6 - DRAWING INDEX

TITLE SHEET	G000
IND	
REFERENCE SITE PLA	A100
BUILDING TYPES A &	A101
BUILDING TYPES B &	A102
BUILDING TYPES C &	A103
TYPES D & D1 - DEMO	A104
BUILDING TYPES E &	A105

ALTERNATES WITH THE SPECIFICATIONS.

PRIORITY WORK 239 GEORGIA 1656/58 PERRY

allred

stolarski architects



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EX - ARCHITECTURAL

- A1 DEMOLITION & REROOF PLANS B1 - DEMOLITION & REROOF PLANS
- C1 DEMOLITION & REROOF PLANS LITION & REROOF PLANS
- E1 DEMOLITION & REROOF PLANS A106 CLINIC - DEMOLITION & REROOF PLANS
- A107 1656 CARROL DRIVE DEMOLITION & REROOF PLANS A108 1664 CARROL DRIVE - DEMOLITION & REROOF PLANS
- A109 1680 CARROL DRIVE DEMOLITION & REROOF PLANS A110 1686 CARROL DRIVE - DEMOLITION & REROOF PLANS A201 SHINGLE ROOF DETAILS

PROJ #: 2021-23

IFB#RRP03.21 BHA ROOF REPLACEMENT PROJECT HURRICANE ZETA REPAIRS - VOLUME 6 - SUNCOAST **VILLAS APARTMENTS**

> BILOXI HOUSING AUTHORITY 330 BENACHI AVENUE BILOXI, MS 39530

DATE: 02/28/2021

<u>SET TYPE</u> **BID SET**

PROJECT TEAM ARCHITECT ALLRED STOLARSKI ARCHITECTS

711 CHURCH STREET OCEAN SPRINGS, MS 39564 **T** (228) 762-1975 HOPPY ALLRED, AIA, PRINCIPAL ARCHITECT hoppy@allredstolarski.com

IATE #1: AN ADDITIVE ALTERNATE FOR ALL LABOR, MATERIALS, AND EQUIPMENT NECESSARY TO REROOF BUILDINGS AT VIEW OAKS, COMPLETE AS INDICATED ON THE DRAWINGS AND IN ACCORDANCE WITH THE SPECIFICATIONS. ALTERNATE #2: AN ADDITIVE ALTERNATE FOR ALL LABOR, MATERIALS, AND EQUIPMENT NECESSARY TO INSTALL A LAMINATED SHINGLE ROOF IN LIEU OF THE BASE BID 3-TAB SHINGLE ROOF, COMPLETE AS INDICATED ON THE DRAWINGS AND IN ACCORDANCE

THE FOLLOWING LOCATIONS SHALL HAVE PRIORITY IN SCHEDULING:

711 Church Street Ocean Springs, MS 39564

GENERAL WORK NOTES

- SITE IS ACCESSIBLE FROM IBERVILLE DRIVE ONLY ALL INFORMATION REGARDING EXISTING CONDITIONS IS BASED ON OWNER SUPPLIED DOCUMENTS AND MAY NOT REFLECT ACTUAL FIELD CONDITIONS. UPON DISCOVERY OF ANY DISCREPANCIES BETWEEN FIELD CONDITIONS AND DRAWINGS DEPICTING EXISTING CONDITIONS OR UPON DISCOVERY OF UNKNOWN CONDITIONS DETRIMENTAL TO THE COMPLETION OF THE WORK AS INDICATED ON THE DRAWINGS, CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT IN WRITING.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL SHORING AND BRACING NECESSARY 3 TO MAINTAIN STRUCTURAL INTEGRITY. AT NO TIME SHALL THE EXISTING STRUCTURAL MEMBERS BE SUBJECTED TO CUTTING, DRILLING, OR ANY
- MODIFICATION PROCESS THAT MAY INTERFERE WITH ITS STRUCTURAL INTEGRITY. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL DIMENSIONS AND CONDITIONS IN FIELD PRIOR TO BIDDING.
- SALVAGE IS DEFINED AS THE CAREFUL REMOVAL AND RETAINING OF ITEMS AS 5. SHOWN IN DRAWINGS FOR POSSIBLE REUSE OR DELIVERY TO OWNER
- CARE SHOULD BE TAKEN AT THE INTERFACE BETWEEN DEMOLITION AND EXISTING 6. CONSTRUCTION TO REMAIN, TO AVOID ANY DAMAGE TO EXISTING CONSTRUCTION. AFTER REMOVAL OF EXISTING ROOFING OR CONSTRUCTION, PATCH AND REPAIR DAMAGE TO ANY EXISTING, WALLS, SIDEWALKS, PAVING, CURBS, LANDSCAPING, ETC. TO A LIKE NEW CONDITION.
- THE CONTRACTOR SHALL NOTIFY, COORDINATE, SCHEDULE, AND RECEIVE PRIOR PERMISSION FROM THE USING AGENCY PRIOR TO ANY SHUT DOWN OF BUILDING SERVICES AS REQUIRED TO COMPLETE THE WORK. NOTIFICATION SHALL INCLUDE LENGTH OF TIME REQUIRED TO SHUT DOWN, LENGTH OF TIME SERVICE WILL BE DISCONNECTED, AND TIME REQUIRED TO RECONNECT SERVICES. SHUT DOWN SHALL NOT OCCUR DURING BUSINESS HOURS.
- THE EXISTING BUILDING ENVELOPES SHALL BE MAINTAINED IN A WATERTIGHT 8. CONDITION AT ALL TIMES.
- THE CONTRACTOR SHALL PROVIDE TEMPORARY PROTECTION AS NECESSARY AND 9 AS REQUIRED TO SEAL OFF THE REST OF THE EXISTING BUILDING AND MAINTAIN BUILDING DURING DEMOLITION.
- ALL DEMOLITION WORK SHALL BE EXECUTED IN CONFORMANCE WITH ALL CODES 10. AND ORDINANCES AS SET FORTH BY ALL GOVERNING AUTHORITIES. 11. ALL NEW DOWNSPOUTS AND GUTTERS SHALL MATCH THE SIZE, MATERIAL, AND
- FINISH OF EXISTING DOWNSPOUTS AND GUTTERS THAT SHALL BE DEMOLISHED. ALL GUTTERS SHALL BE BOX PROFILE. ALL DOWNSPOUTS SHALL BE PLAIN RECTANGULAR SECTION.
- 12. THE FOLLOWING BUILDINGS SHALL HAVE PRIORITY IN SCHEDULING: 237/239 GEORGIA DRIVE 1656/1658 PERRY DRIVE В.

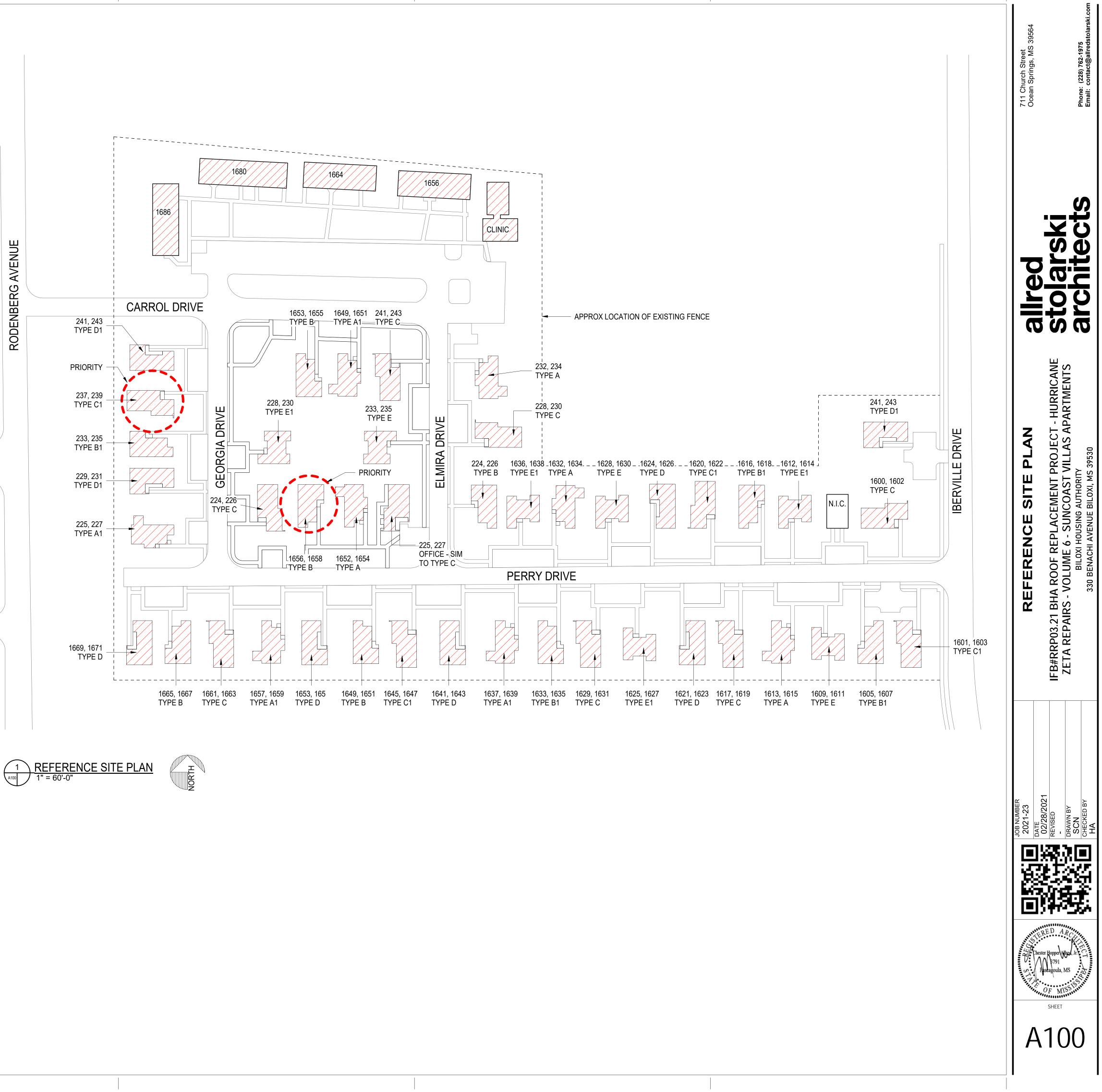
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STREET NUMBER BUILDING TYPE

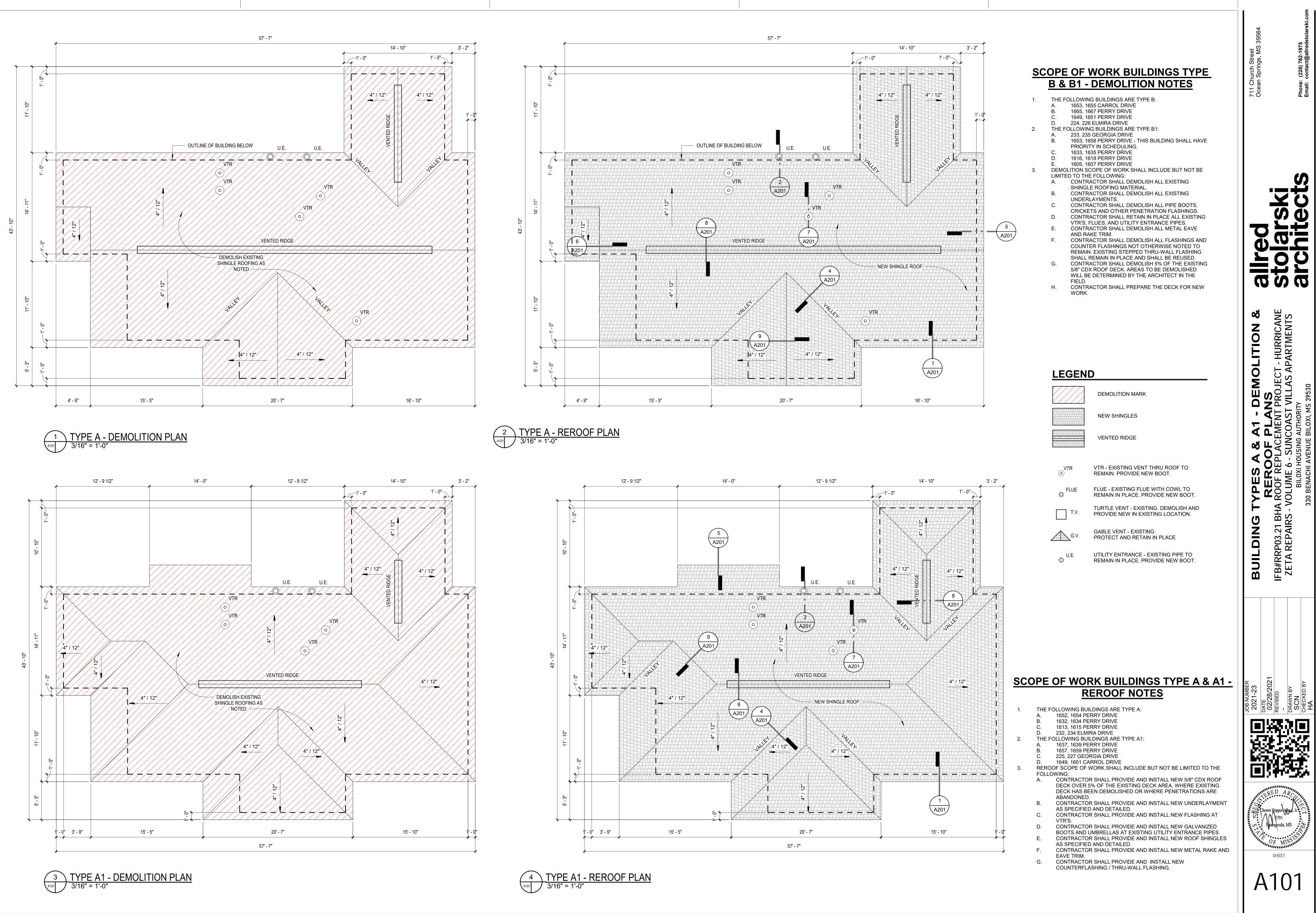


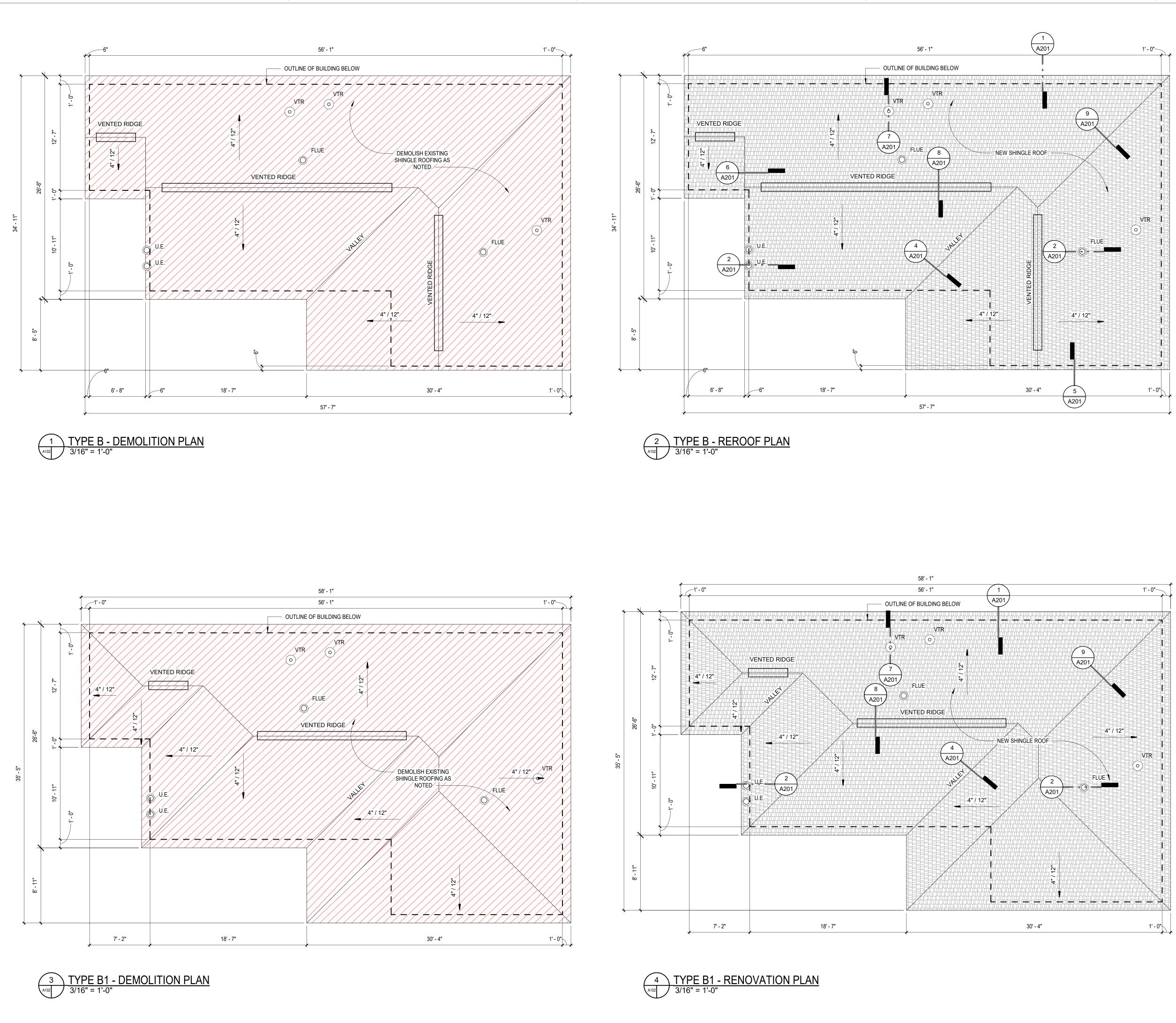
NO WORK THIS LOCATION.

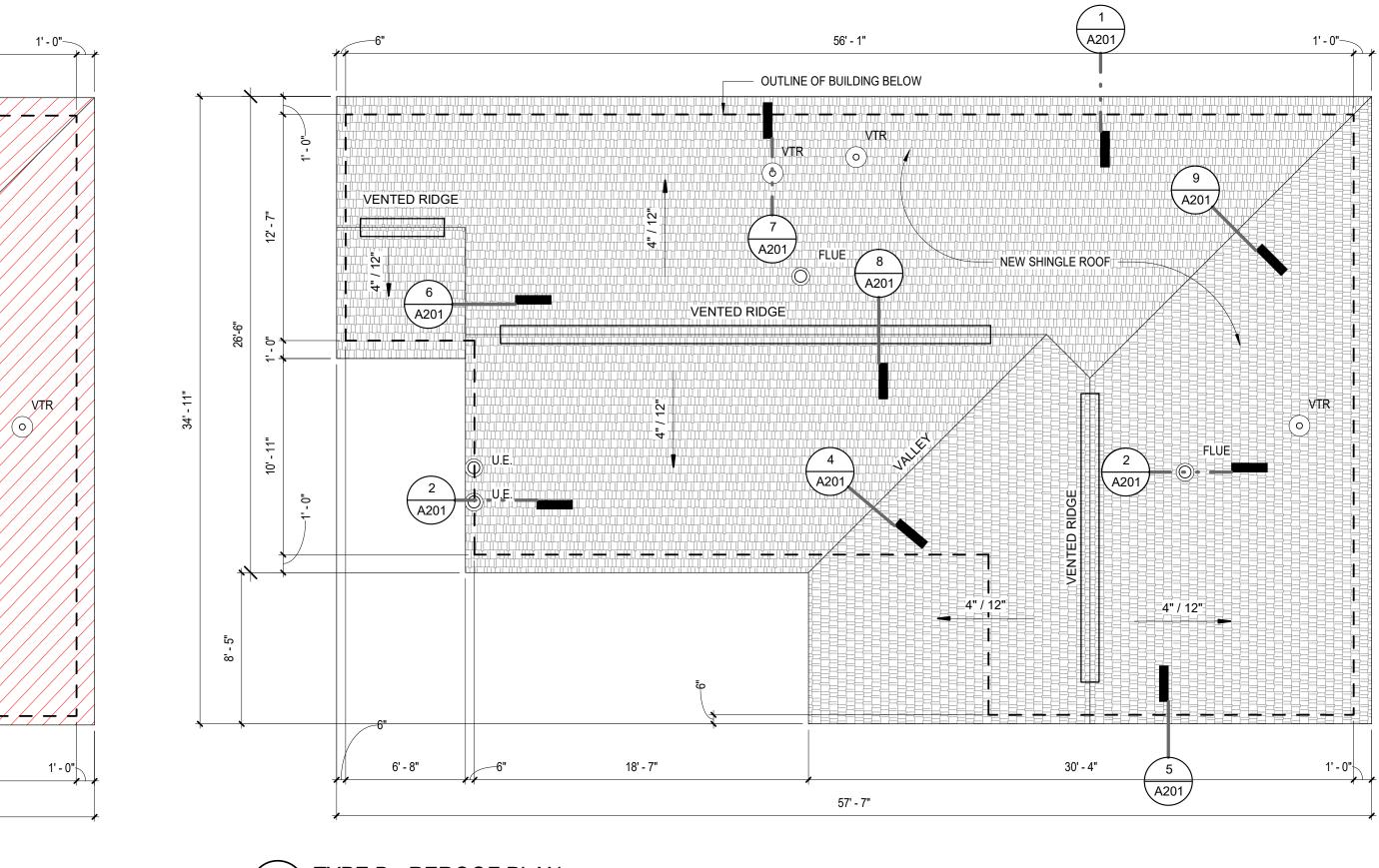


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SCOPE OF WORK BUILDINGS TYPE **B & B1 - DEMOLITION NOTES**

- THE FOLLOWING BUILDINGS ARE TYPE B: 1653, 1655 CARROL DRIVE
- Α. 1665, 1667 PERRY DRIVE
- 1649, 1651 PERRY DRIVE 224, 226 ELMIRA DRIVE
- THE FOLLOWING BUILDINGS ARE TYPE B1: 2 233, 235 GEORGIA DRIVE Α.
 - 1653, 1658 PERRY DRIVE THIS BUILDING SHALL HAVE PRIORITY IN SCHEDULING.
 - 1633, 1635 PERRY DRIVE C. 1616, 1618 PERRY DRIVE D.
 - 1605, 1607 PERRY DRIVE
- DEMOLITION SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING: CONTRACTOR SHALL DEMOLISH ALL EXISTING Α.
- SHINGLE ROOFING MATERIAL. Β. CONTRACTOR SHALL DEMOLISH ALL EXISTING
- UNDERLAYMENTS.
- CONTRACTOR SHALL DEMOLISH ALL PIPE BOOTS, C. CRICKETS AND OTHER PENETRATION FLASHINGS.
- CONTRACTOR SHALL RETAIN IN PLACE ALL EXISTING D.
- VTR'S, FLUES, AND UTILITY ENTRANCE PIPES. CONTRACTOR SHALL DEMOLISH ALL METAL EAVE
- AND RAKE TRIM.
- CONTRACTOR SHALL DEMOLISH ALL FLASHINGS AND COUNTER FLASHINGS NOT OTHERWISE NOTED TO REMAIN. EXISTING STEPPED THRU-WALL FLASHING
- SHALL REMAIN IN PLACE AND SHALL BE REUSED. CONTRACTOR SHALL DEMOLISH 5% OF THE EXISTING G. 5/8" CDX ROOF DECK. AREAS TO BE DEMOLISHED WILL BE DETERMINED BY THE ARCHITECT IN THE
- FIELD. CONTRACTOR SHALL PREPARE THE DECK FOR NEW Η. WORK.

LEGEND

	DEMOLITION MARK
	NEW SHINGLES
	VENTED RIDGE
VTR ⊚	VTR - EXISTING VENT THRU ROOF TO REMAIN. PROVIDE NEW BOOT.
© FLUE	FLUE - EXISTING FLUE WITH COWL TO REMAIN IN PLACE. PROVIDE NEW BOOT.
T.V.	TURTLE VENT - EXISTING. DEMOLISH AND PROVIDE NEW IN EXISTING LOCATION.
G.V.	GABLE VENT - EXISTING. PROTECT AND RETAIN IN PLACE
© U.E.	UTILITY ENTRANCE - EXISTING PIPE TO REMAIN IN PLACE. PROVIDE NEW BOOT.

SCOPE OF WORK BUILDINGS **TYPE B & B1 - REROOF NOTES**

- THE FOLLOWING BUILDINGS ARE TYPE B:
- 1653, 1655 CARROL DRIVE
- 1665, 1667 PERRY DRIVE 1649, 1651 PERRY DRIVE
- 224, 226 ELMIRA DRIVE
- THE FOLLOWING BUILDINGS ARE TYPE B1: 2. 233, 235 GEORGIA DRIVE
 - 1653, 1658 PERRY DRIVE THIS BUILDING
 - SHALL HAVE PRIORITY IN SCHEDULING. 1633, 1635 PERRY DRIVE
- 1616, 1618 PERRY DRIVE D.

3.

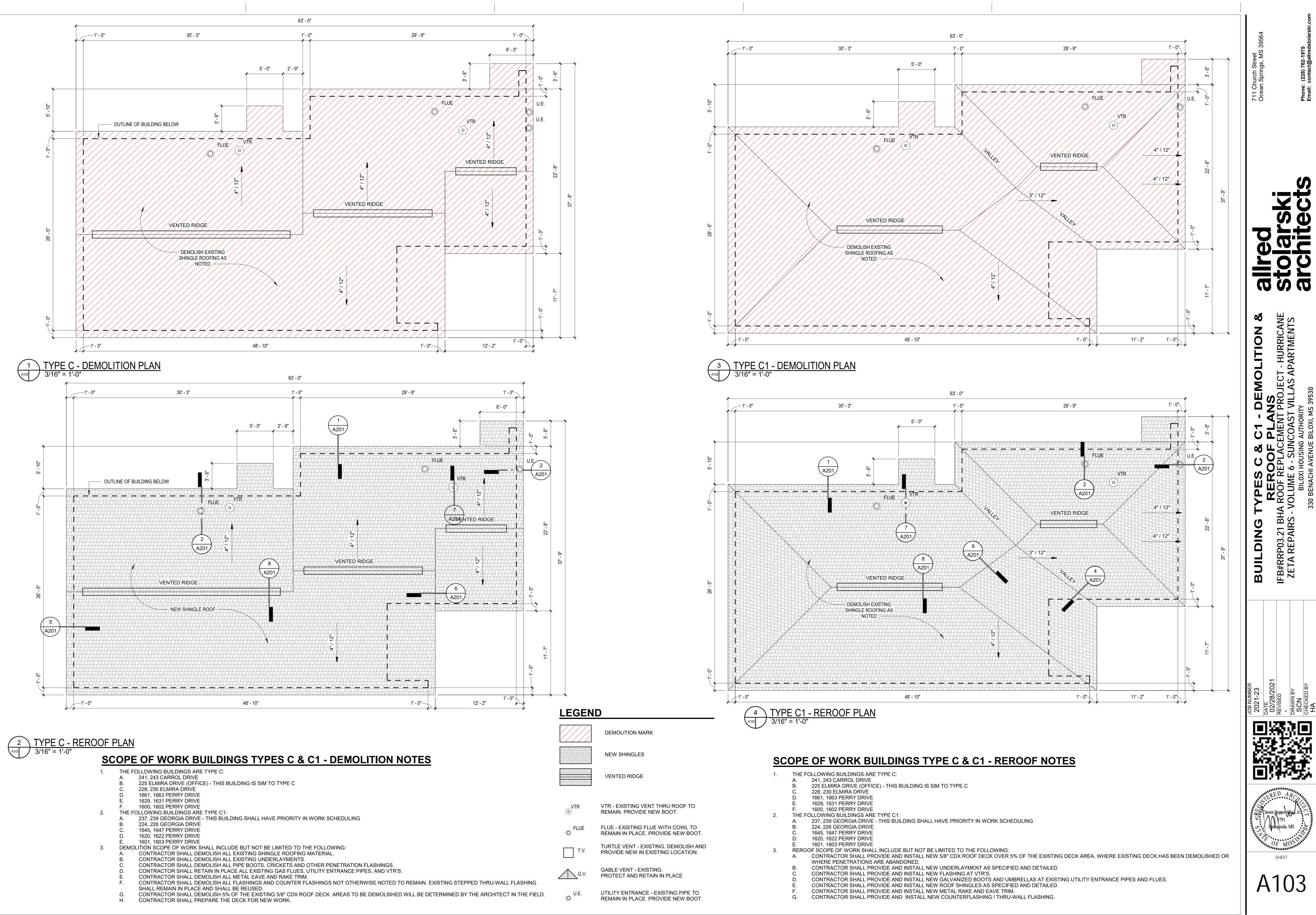
- 1605, 1607 PERRY DRIVE1605, 1607 PERRY DRIVEREROOF SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING: CONTRACTOR SHALL PROVIDE AND INSTALL Α. NEW 5/8" CDX ROOF DECK OVER 5% OF THE EXISTING DECK AREA, WHERE EXISTING DECK
- HAS BEEN DEMOLISHED OR WHERE PENETRATIONS ARE ABANDONED. CONTRACTOR SHALL PROVIDE AND INSTALL Β. NEW UNDERLAYMENT AS SPECIFIED AND
- DETAILED. CONTRACTOR SHALL PROVIDE AND INSTALL C. NEW FLASHING AT VTR'S.
- CONTRACTOR SHALL PROVIDE AND INSTALL NEW GALVANIZED BOOTS AND UMBRELLAS AT EXISTING UTILITY ENTRANCE PIPES AND FLUES.
- CONTRACTOR SHALL PROVIDE AND INSTALL E. NEW ROOF SHINGLES AS SPECIFIED AND DETAILED.
- CONTRACTOR SHALL PROVIDE AND INSTALL NEW METAL RAKE AND EAVE TRIM. CONTRACTOR SHALL PROVIDE AND INSTALL NEW COUNTERFLASHING / THRU-WALL FLASHING.



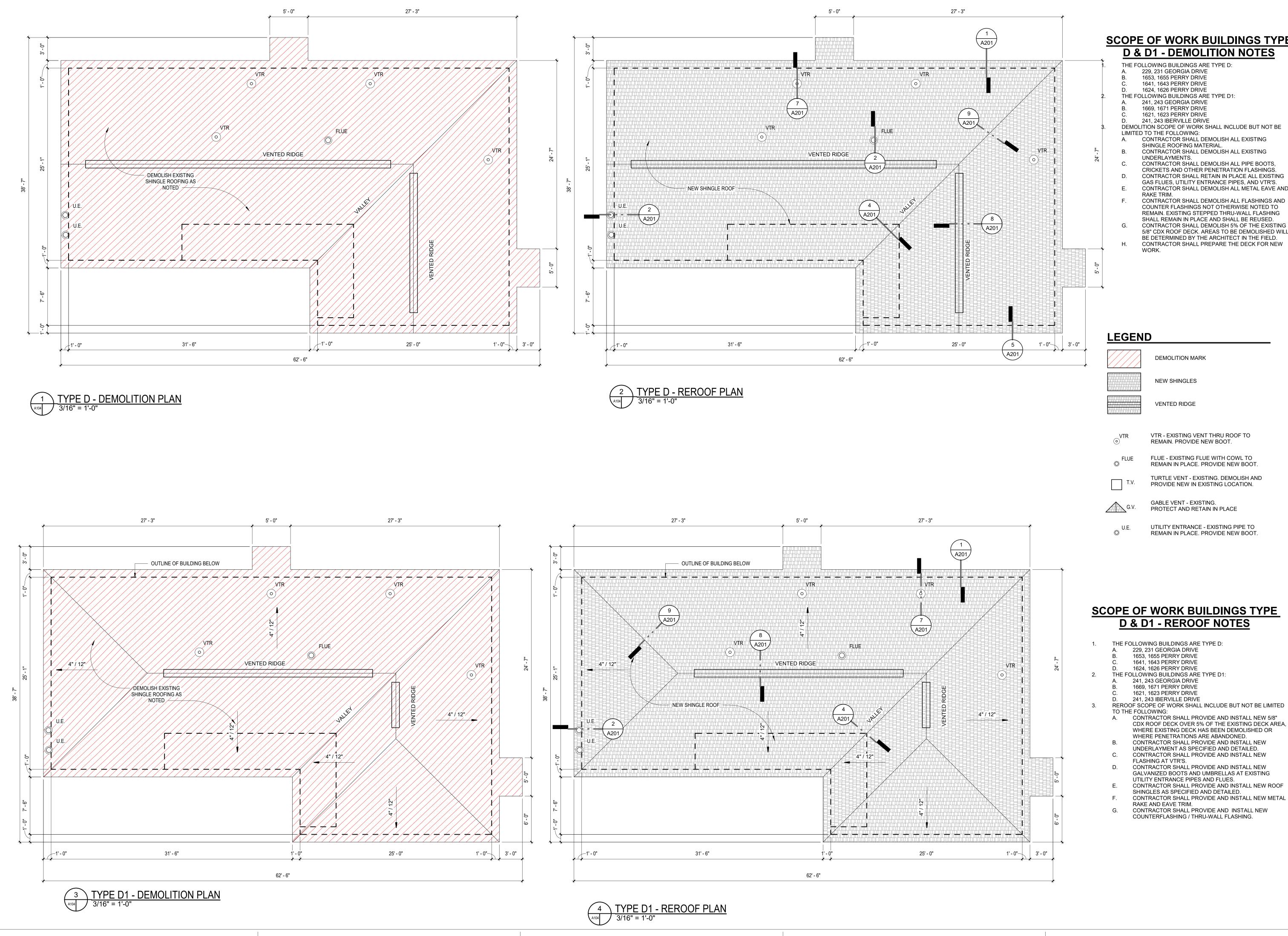
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1.	THE FOLLOWING BUILDINGS ARE TYPE C:
	A. 241, 243 CARROL DRIVE
	B. 225 ELMIRA DRIVE (OFFICE) - THIS BUIL
	C. 228, 230 ELMIRA DRIVE
	D. 1661, 1663 PERRY DRIVE
	E. 1629, 1631 PERRY DRIVE
	F. 1600, 1602 PERRY DRIVE
2.	THE FOLLOWING BUILDINGS ARE TYPE C1:
	A. 237, 239 GEORGIA DRIVE - THIS BUILDIN
	B. 224, 226 GEORGIA DRIVE
	C. 1645, 1647 PERRY DRIVE
	D. 1620, 1622 PERRY DRIVE
	E. 1601, 1603 PERRY DRIVE
3.	REROOF SCOPE OF WORK SHALL INCLUDE BU
0.	A. CONTRACTOR SHALL PROVIDE AND IN
	WHERE PENETRATIONS ARE ABANDON
	B. CONTRACTOR SHALL PROVIDE AND IN
	C. CONTRACTOR SHALL PROVIDE AND IN
	D. CONTRACTOR SHALL PROVIDE AND IN
	E. CONTRACTOR SHALL PROVIDE AND IN
	F. CONTRACTOR SHALL PROVIDE AND IN
	G. CONTRACTOR SHALL PROVIDE AND IN



<u>C</u>	OF	PE OF WORK BUILDINGS TYPE
	D	& D1 - DEMOLITION NOTES
	THE	FOLLOWING BUILDINGS ARE TYPE D:
	Α.	229, 231 GEORGIA DRIVE
	В.	1653, 1655 PERRY DRIVE
	C.	1641, 1643 PERRY DRIVE
	D.	1624, 1626 PERRY DRIVE
		FOLLOWING BUILDINGS ARE TYPE D1:
	Α.	241, 243 GEORGIA DRIVE
	B.	
	C.	- ,
	D.	241, 243 IBERVILLE DRIVE
		OLITION SCOPE OF WORK SHALL INCLUDE BUT NOT BE
	Α.	CONTRACTOR SHALL DEMOLISH ALL EXISTING
	Б	SHINGLE ROOFING MATERIAL
	В.	CONTRACTOR SHALL DEMOLISH ALL EXISTING UNDERLAYMENTS.
	C.	CONTRACTOR SHALL DEMOLISH ALL PIPE BOOTS,
	U.	CRICKETS AND OTHER PENETRATION FLASHINGS.
	D.	CONTRACTOR SHALL RETAIN IN PLACE ALL EXISTING
	D.	GAS FLUES, UTILITY ENTRANCE PIPES, AND VTR'S.
	F	CONTRACTOR SHALL DEMOLISH ALL METAL EAVE AND
	∟.	RAKE TRIM.
	F.	CONTRACTOR SHALL DEMOLISH ALL FLASHINGS AND
	••	COUNTER FLASHINGS NOT OTHERWISE NOTED TO
		REMAIN. EXISTING STEPPED THRU-WALL FLASHING
		SHALL REMAIN IN PLACE AND SHALL BE REUSED.
	G.	CONTRACTOR SHALL DEMOLISH 5% OF THE EXISTING
	0.	5/8" CDX ROOF DECK. AREAS TO BE DEMOLISHED WILL
		BE DETERMINED BY THE ARCHITECT IN THE FIELD.

CONTRACTOR SHALL PREPARE THE DECK FOR NEW

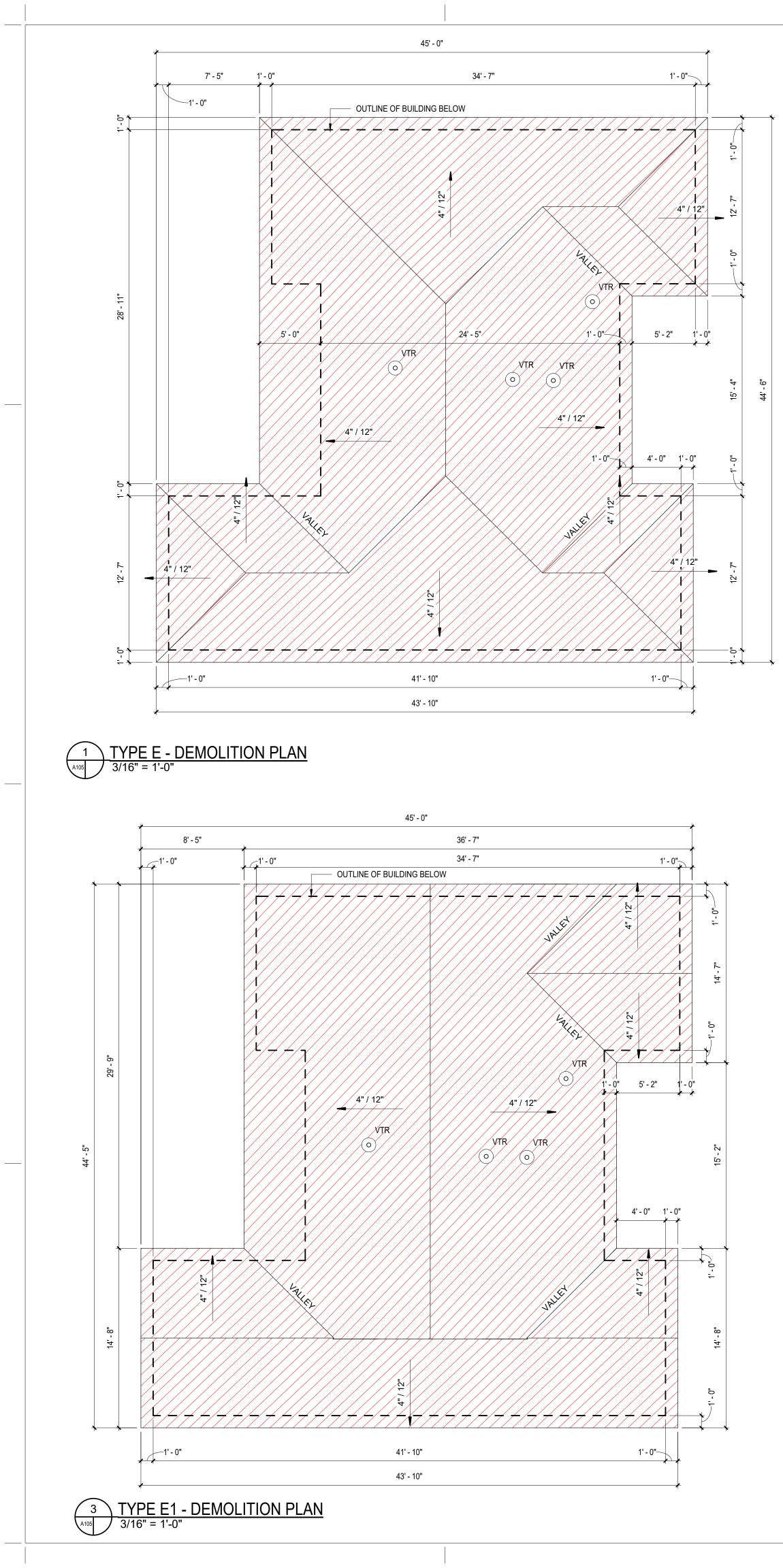
	DEMOLITION MARK
	NEW SHINGLES
	VENTED RIDGE
VTR ③	VTR - EXISTING VENT THRU ROOF TO REMAIN. PROVIDE NEW BOOT.
© FLUE	FLUE - EXISTING FLUE WITH COWL TO REMAIN IN PLACE. PROVIDE NEW BOOT.
T.V.	TURTLE VENT - EXISTING. DEMOLISH AND PROVIDE NEW IN EXISTING LOCATION.
G.V.	GABLE VENT - EXISTING. PROTECT AND RETAIN IN PLACE
U.E.	UTILITY ENTRANCE - EXISTING PIPE TO

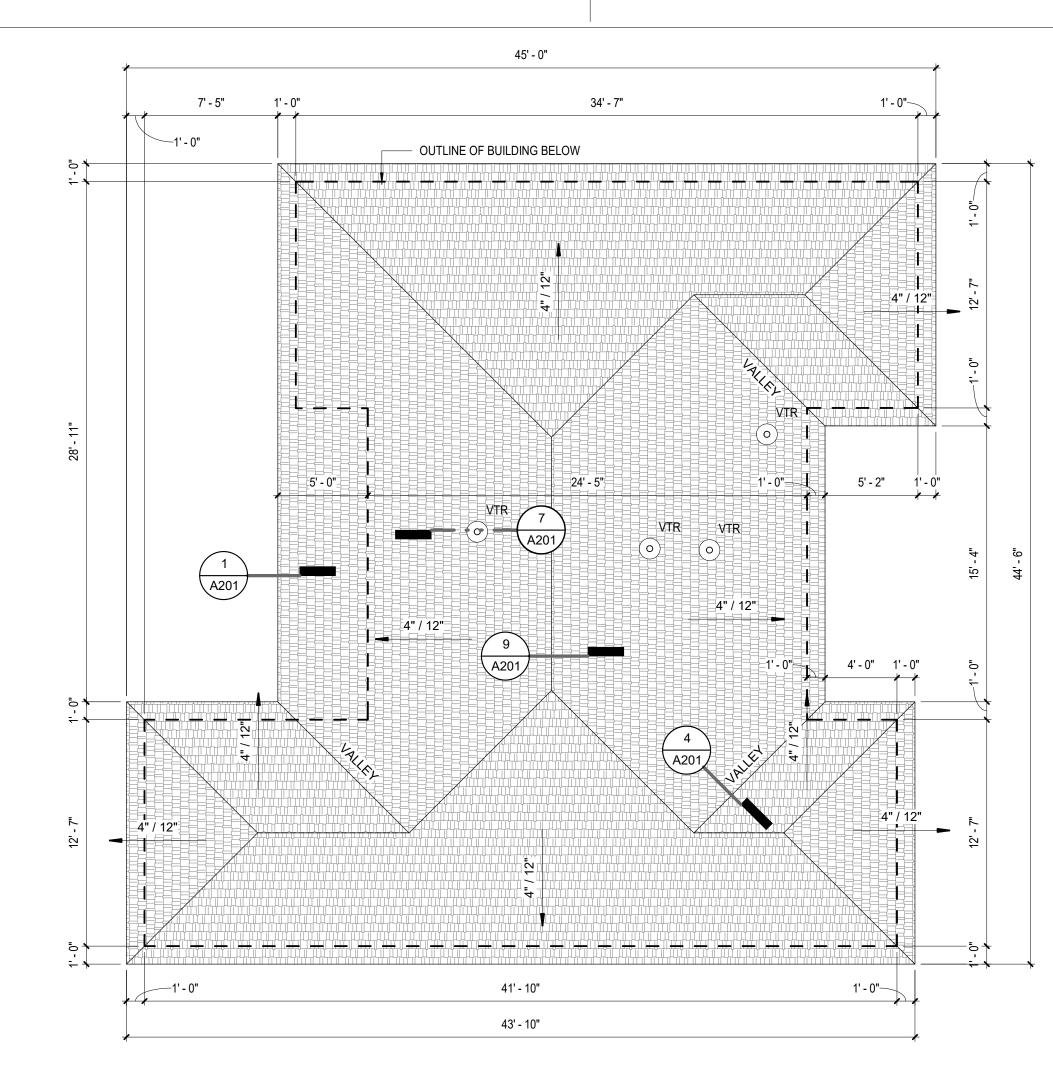
- CONTRACTOR SHALL PROVIDE AND INSTALL NEW METAL

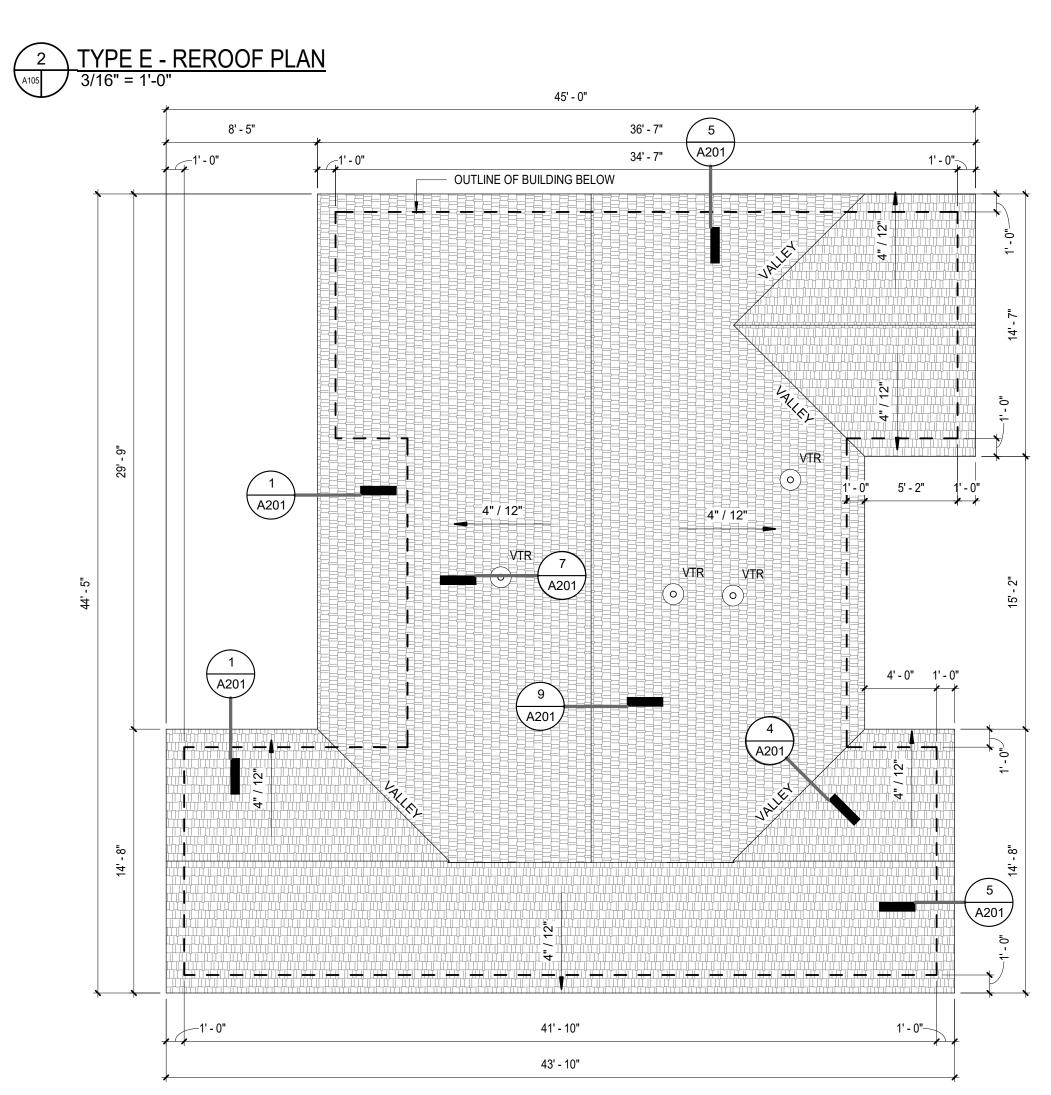


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4 <u>TYPE E1 - REROOF PLAN</u> 3/16" = 1'-0"

SCOPE OF WORK BUILDINGS TYPE E & E1 -DEMOLITION NOTES

- 1. THE FOLLWING BUILDINGS ARE TYPE E: A. 233, 235 ELMIRA DRIVE
- B. 1628, 1630 PERRY DRIVEC. 1609, 1611 PERRY DRIVE
- THE FOLLOWING BUILDINGS ARE TYPE E1: A. 228, 230 GEORGIA DRIVE
 - B.
 1636, 1628 PERRY DRIVE

 C.
 1612, 1614 PERRY DRIVE
 - D. 1625, 1627 PERRY DRIVE
- 3. DEMOLITION SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
 - A. CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE ROOFING MATERIAL.
 - B. CONTRACTOR SHALL DEMOLISH ALL EXISTING UNDERLAYMENTS.C. CONTRACTOR SHALL DEMOLISH ALL PIPE BOOTS, CRICKETS AND
 - OTHER PENETRATION FLASHINGS.
 - CONTRACTOR SHALL RETAIN IN PLACE ALL EXISTING VTR'S.CONTRACTOR SHALL DEMOLISH ALL METAL EAVE AND RAKE
 - TRIM.F. CONTRACTOR SHALL DEMOLISH ALL FLASHINGS AND COUNTER
 - FLASHINGS NOT OTHERWISE NOTED TO REMAIN. G. CONTRACTOR SHALL DEMOLISH 5% OF THE EXISTING 5/8" CDX
 - G. CONTRACTOR SHALL DEMOLISH 5% OF THE EXISTING 5/8" CDX ROOF DECK. AREAS TO BE DEMOLISHED WILL BE DETERMINED
 - BY THE ARCHITECT IN THE FIELD.H. CONTRACTOR SHALL PREPARE THE DECK FOR NEW WORK.

LEGENI	EGEND	
	DEMOLITION MARK	
	NEW SHINGLES	
	VENTED RIDGE	
VTR ③	VTR - EXISTING VENT THRU ROOF TO REMAIN. PROVIDE NEW BOOT.	
© FLUE	FLUE - EXISTING FLUE WITH COWL TO REMAIN IN PLACE. PROVIDE NEW BOOT.	
T.V.	TURTLE VENT - EXISTING. DEMOLISH AND PROVIDE NEW IN EXISTING LOCATION.	
G.V.	GABLE VENT - EXISTING. PROTECT AND RETAIN IN PLACE	
O U.E.	UTILITY ENTRANCE - EXISTING PIPE TO REMAIN IN PLACE. PROVIDE NEW BOOT.	

SCOPE OF WORK BUILDINGS TYPE E & E1 -REROOF NOTES

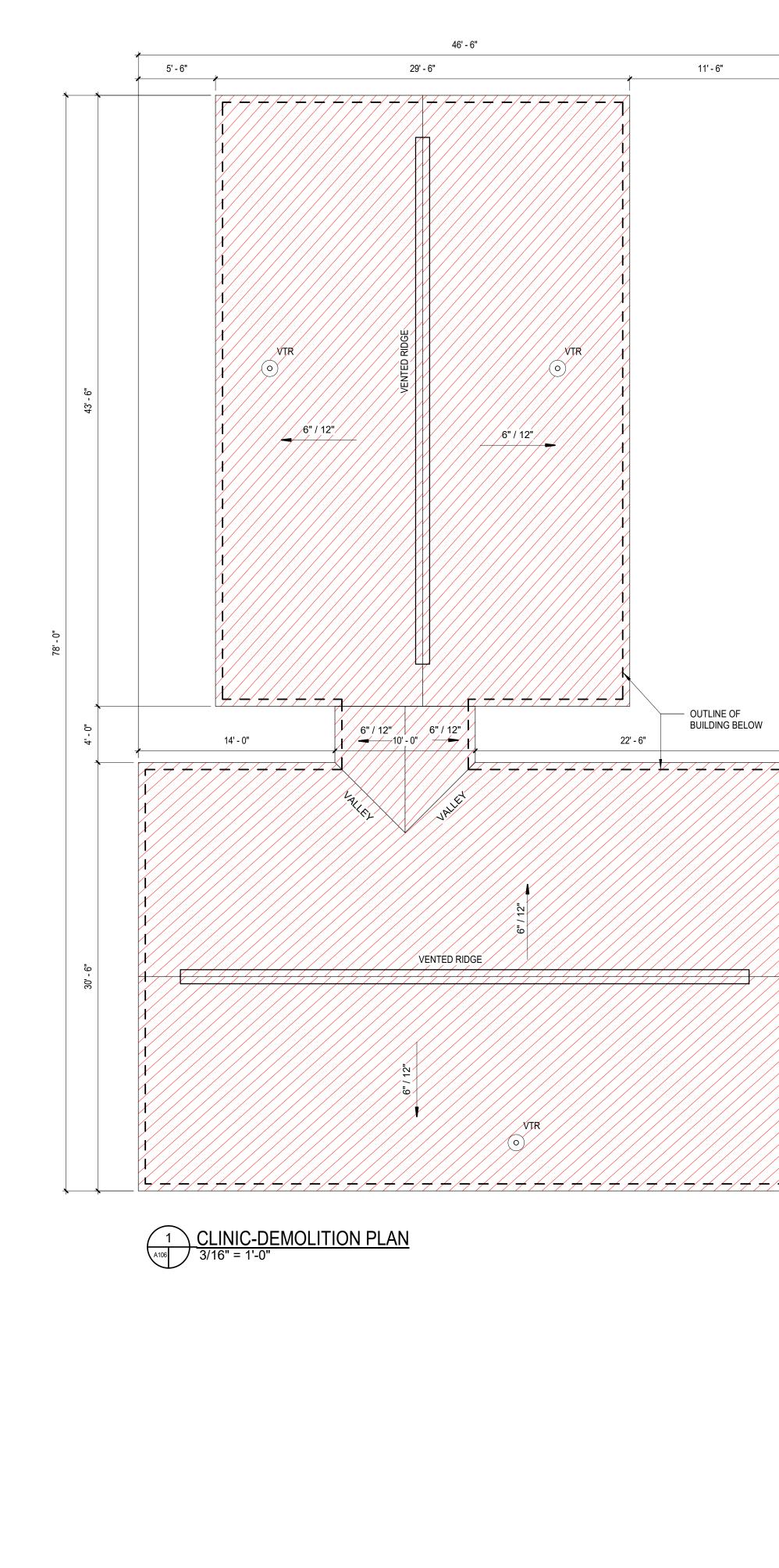
- 1. THE FOLLWING BUILDINGS ARE TYPE E: A. 233, 235 ELMIRA DRIVE
- A. 233, 235 ELMIRA DRIVE B. 1628, 1630 PERRY DRIVE
- C. 1609, 1611 PERRY DRIVE THE FOLLOWING BUILDINGS ARE TYPE E1:
- THE FOLLOWING BUILDINGS ARE TYPE E1: A. 228, 230 GEORGIA DRIVE
- B. 1636, 1628 PERRY DRIVE
- 1612, 1614 PERRY DRIVE
 1625, 1627 PERRY DRIVE

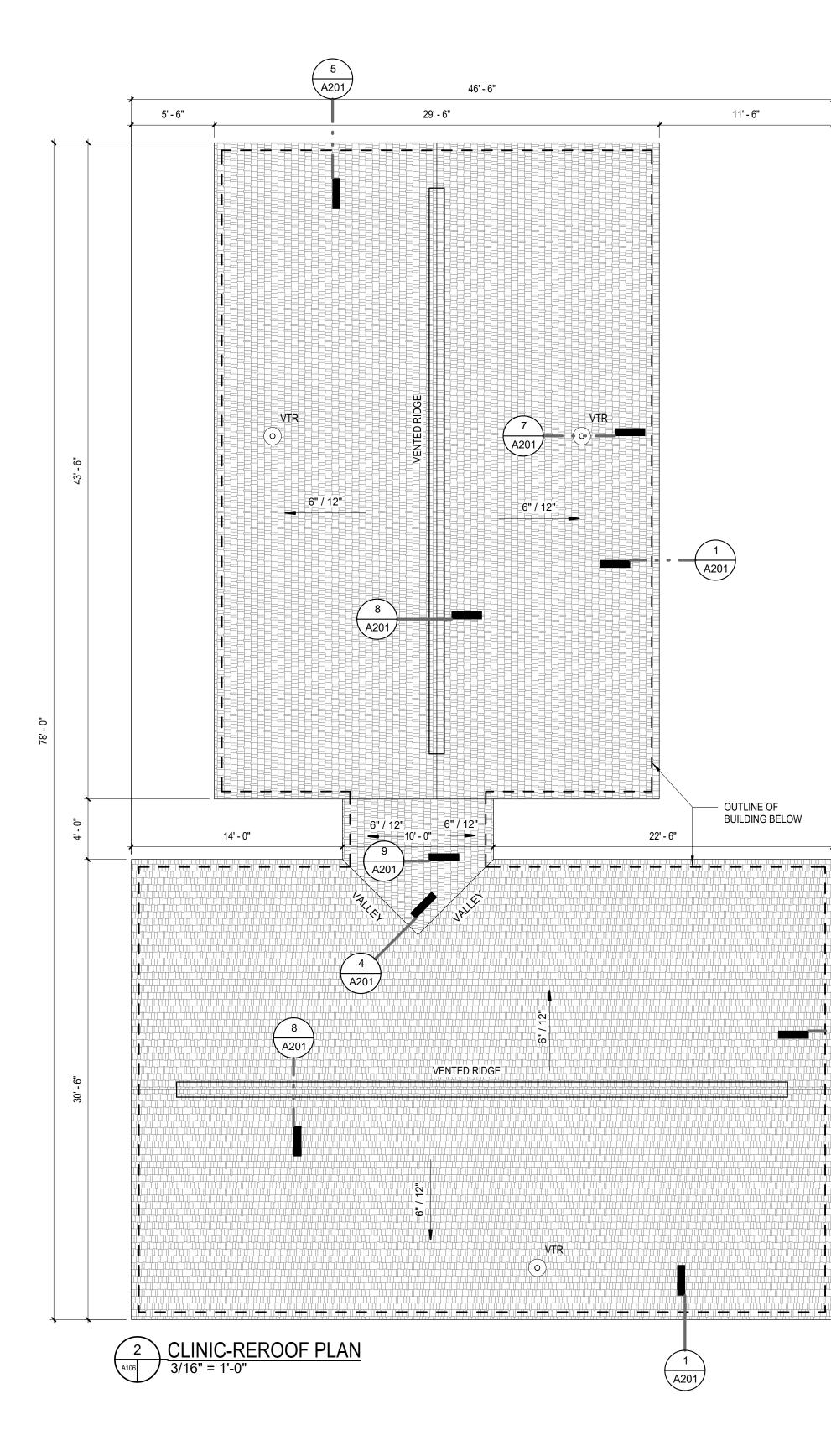
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- REROOF SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
 A. CONTRACTOR SHALL PROVIDE AND INSTALL NEW 5/8" CDX ROOF DECK OVER 5% OF THE EXISTING DECK AREA, WHERE EXISTING DECK HAS BEEN DEMOLISHED OR WHERE PENETRATIONS ARE
- ABANDONED.
- B. CONTRACTOR SHALL PROVIDE AND INSTALL NEW UNDERLAYMENT AS SPECIFIED AND DETAILED.
- C. CONTRACTOR SHALL PROVIDE AND INSTALL NEW FLASHING AT GAS FLUES AND VTR'S.
- D. CONTRACTOR SHALL PROVIDE AND INSTALL NEW ROOF SHINGLES
- AS SPECIFIED AND DETAILED. CONTRACTOR SHALL PROVIDE AND INSTALL NEW METAL RAKE AND EAVE TRIM.
- F. CONTRACTOR SHALL PROVIDE AND INSTALL NEW COUNTERFLASHING / THRU-WALL FLASHING.



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SCOPE OF WORK CLINIC-DEMOLITION NOTES

- DEMOLITION SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING: 1. CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE ROOFING MATERIAL. Α.
 - Β. C.
 - CONTRACTOR SHALL DEMOLISH ALL EXISTING UNDERLAYMENTS. CONTRACTOR SHALL DEMOLISH ALL PIPE BOOTS, CRICKETS AND OTHER PENETRATION FLASHINGS. CONTRACTOR SHALL RETAIN IN PLACE ALL EXISTING VTR'S. CONTRACTOR SHALL DEMOLISH ALL METAL EAVE AND RAKE D
 - TRIM
 - CONTRACTOR SHALL DEMOLISH ALL FLASHINGS AND COUNTER FLASHINGS NOT OTHERWISE NOTED TO REMAIN. EXISTING STEPPED THRU-WALL FLASHING SHALL REMAIN IN PLACE AND F
 - SHALL BE REUSED. CONTRACTOR SHALL DEMOLISH 5% OF THE EXISTING 5/8" CDX ROOF DECK. AREAS TO BE DEMOLISHED WILL BE DETERMINED G. BY THE ARCHITECT IN THE FIELD. CONTRACTOR SHALL PREPARE THE DECK FOR NEW WORK.
- Н. NOTE: ALL CURBS IN GOOD CONTITION SHALL REMAIN IN PLACE AND SHALL BE REUSED 2

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	DEMOLITION MARK
	NEW SHINGLES
	VENTED RIDGE
VTR ③	VTR - EXISTING VENT THRU ROOF TO REMAIN. PROVIDE NEW BOOT.
© FLUE	FLUE - EXISTING FLUE WITH COWL TO REMAIN IN PLACE. PROVIDE NEW BOOT.
T.V.	TURTLE VENT - EXISTING. DEMOLISH AND PROVIDE NEW IN EXISTING LOCATION.
G.V.	GABLE VENT - EXISTING. PROTECT AND RETAIN IN PLACE
U.E.	UTILITY ENTRANCE - EXISTING PIPE TO

REMAIN IN PLACE. PROVIDE NEW BOOT.

SCOPE OF WORK CLINIC -REROOF NOTES

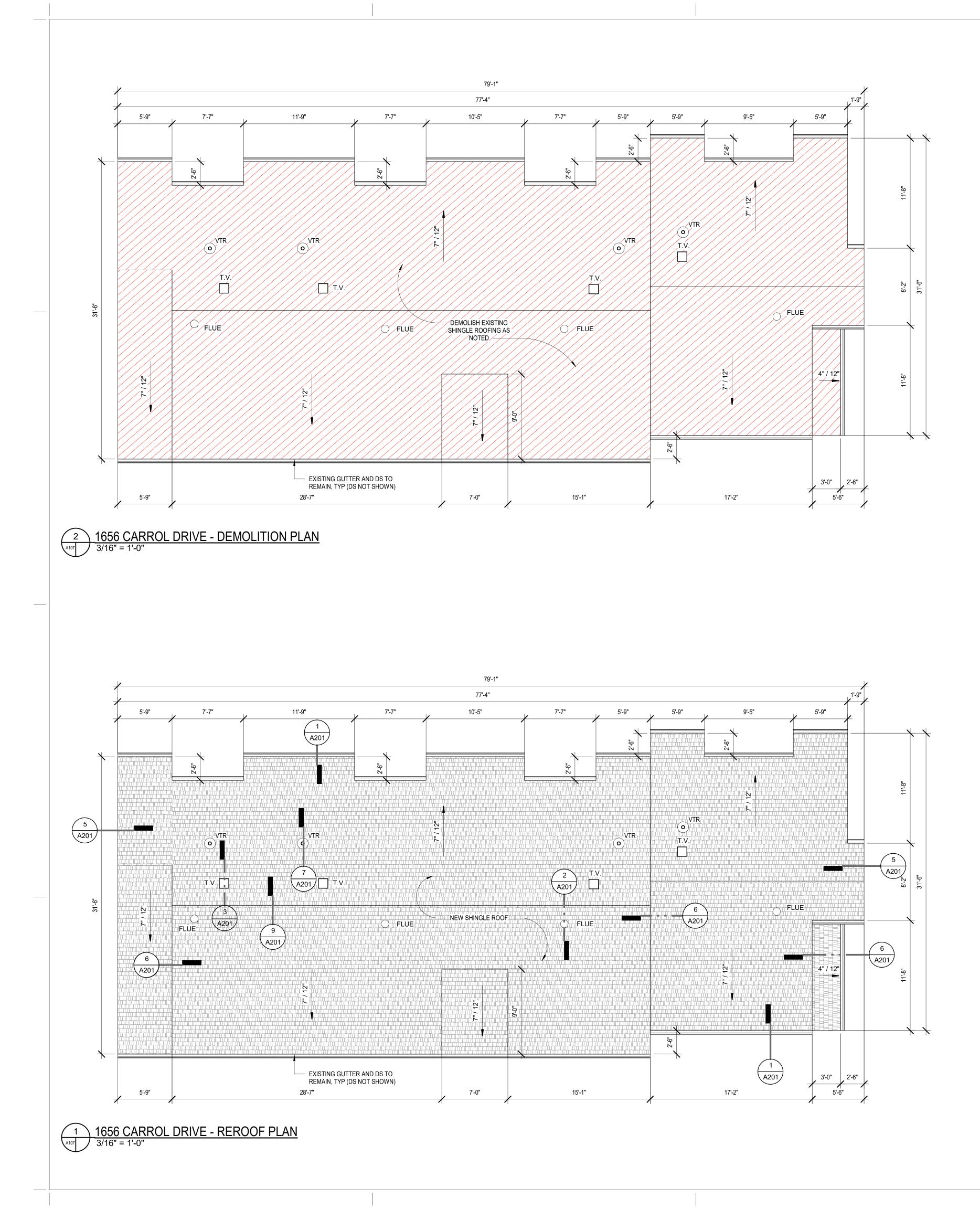
REROOF SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING: A. CONTRACTOR SHALL PROVIDE AND INSTALL NEW 5/8" CDX ROOF DECK OVER 5% OF THE EXISTING DECK AREA, WHERE EXISTING DECK HAS BEEN DEMOLISHED OR WHERE PENETRATIONS ARE

- ABANDONED.
- CONTRACTOR SHALL PROVIDE AND INSTALL NEW UNDERLAYMENT В. AS SPECIFIED AND DETAILED. CONTRACTOR SHALL PROVIDE AND INSTALL NEW FLASHING AT
- C. VTR'S.
- CONTRACTOR SHALL PROVIDE AND INSTALL NEW ROOF SHINGLES D. AS SPECIFIED AND DETAILED.
- CONTRACTOR SHALL PROVIDE AND INSTALL NEW METAL RAKE AND EAVE TRIM.
- CONTRACTOR SHALL PROVIDE AND INSTALL NEW COUNTERFLASHING / THRU-WALL FLASHING. F

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DPE OF WORK 1656 CARROL DRIVE - DEMOLITION NOTES

- DEMOLITION SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING: A. CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE ROOFING MATERIAL.
- CONTRACTOR SHALL DEMOLISH ALL EXISTING UNDERLAYMENTS.
- . CONTRACTOR SHALL DEMOLISH ALL PIPE BOOTS, CRICKETS AND OTHER PENETRATION FLASHINGS. . CONTRACTOR SHALL DEMOLISH ALL TURTLE VENTS, THEN PREP THE ROOF OPENING FOR A NEW VENT.
- CONTRACTOR SHALL RETAIN IN PLACE ALL EXISTING GAS FLUES AND VTR'S.
- CONTRACTOR SHALL REMOVE AND SALVAGE FOR REINSTALLATION ALL EXISTING GUTTERS AND DOWNSPOUTS, INCLUDING STRAPS, MOUNTINGS, AND OTHER ACCESSORIES. CLEAN THE GUTTERS OF TRASH AND DEBRIS.
- CONTRACTOR SHALL DEMOLISH ALL METAL EAVE AND RAKE TRIM.
 CONTRACTOR SHALL DEMOLISH ALL FLASHINGS AND COUNTER FLASHINGS NOT OTHERWISE NOTED TO REMAIN.
 EXISTING STEPPED THRU-WALL FLASHING SHALL REMAIN IN PLACE AND SHALL BE REUSED.
 CONTRACTOR SHALL DEMOLISH 5% OF THE EXISTING 5/8" CDX ROOF DECK. AREAS TO BE DEMOLISHED WILL BE DETERMINED BY THE ARCHITECT IN THE FIELD.
- J. CONTRACTOR SHALL PREPARE THE DECK FOR NEW WORK.
 2. NOTE: ALL CURBS IN GOOD CONTITION SHALL REMAIN IN PLACE AND SHALL BE REUSED

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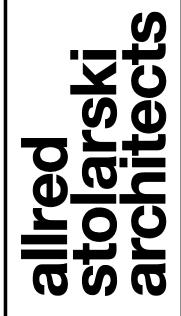
	DEMOLITION MARK
	NEW SHINGLES
	VENTED RIDGE
VTR ③	VTR - EXISTING VENT THRU ROOF TO REMAIN. PROVIDE NEW BOOT.
© FLUE	FLUE - EXISTING FLUE WITH COWL TO REMAIN IN PLACE. PROVIDE NEW BOOT.
T.V.	TURTLE VENT - EXISTING. DEMOLISH AND PROVIDE NEW IN EXISTING LOCATION.
G.V.	GABLE VENT - EXISTING. PROTECT AND RETAIN IN PLACE
© U.E.	UTILITY ENTRANCE - EXISTING PIPE TO REMAIN IN PLACE. PROVIDE NEW BOOT.

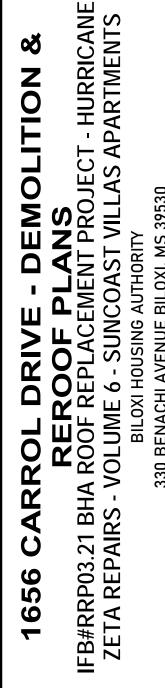
SCOPE OF WORK 1656 CARROL DRIVE - REROOF NOTES

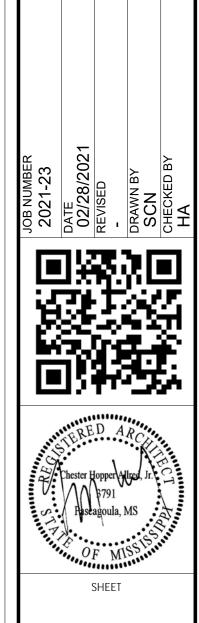
- REROOF SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING: A. CONTRACTOR SHALL PROVIDE AND INSTALL NEW 5/8" CDX ROOF DECK OVER 5% OF THE EXISTING DECK AREA, WHERE EXISTING DECK HAS BEEN DEMOLISHED OR WHERE PENETRATIONS ARE ABANDONED.
- CONTRACTOR SHALL PROVIDE AND INSTALL NEW UNDERLAYMENT AS SPECIFIED AND DETAILED.
 CONTRACTOR SHALL PROVIDE AND INSTALL NEW TURTLE VENTS IN LOCATIONS DRAWN.
- D. CONTRACTOR SHALL PROVIDE AND INSTALL NEW FLASHING AT GAS FLUES AND VTR'S.
- CONTRACTOR SHALL PROVIDE AND INSTALL NEW ROOF SHINGLES AS SPECIFIED AND DETAILED.
 CONTRACTOR SHALL PROVIDE AND INSTALL NEW METAL RAKE AND EAVE TRIM.
- G. CONTRACTOR SHALL PROVIDE AND INSTALL NEW COUNTERFLASHING / THRU-WALL FLASHING.
 H. CONTRACTOR SHALL REINSTALL SALVAGED GUTTERS AND DOWNSPOUTS.

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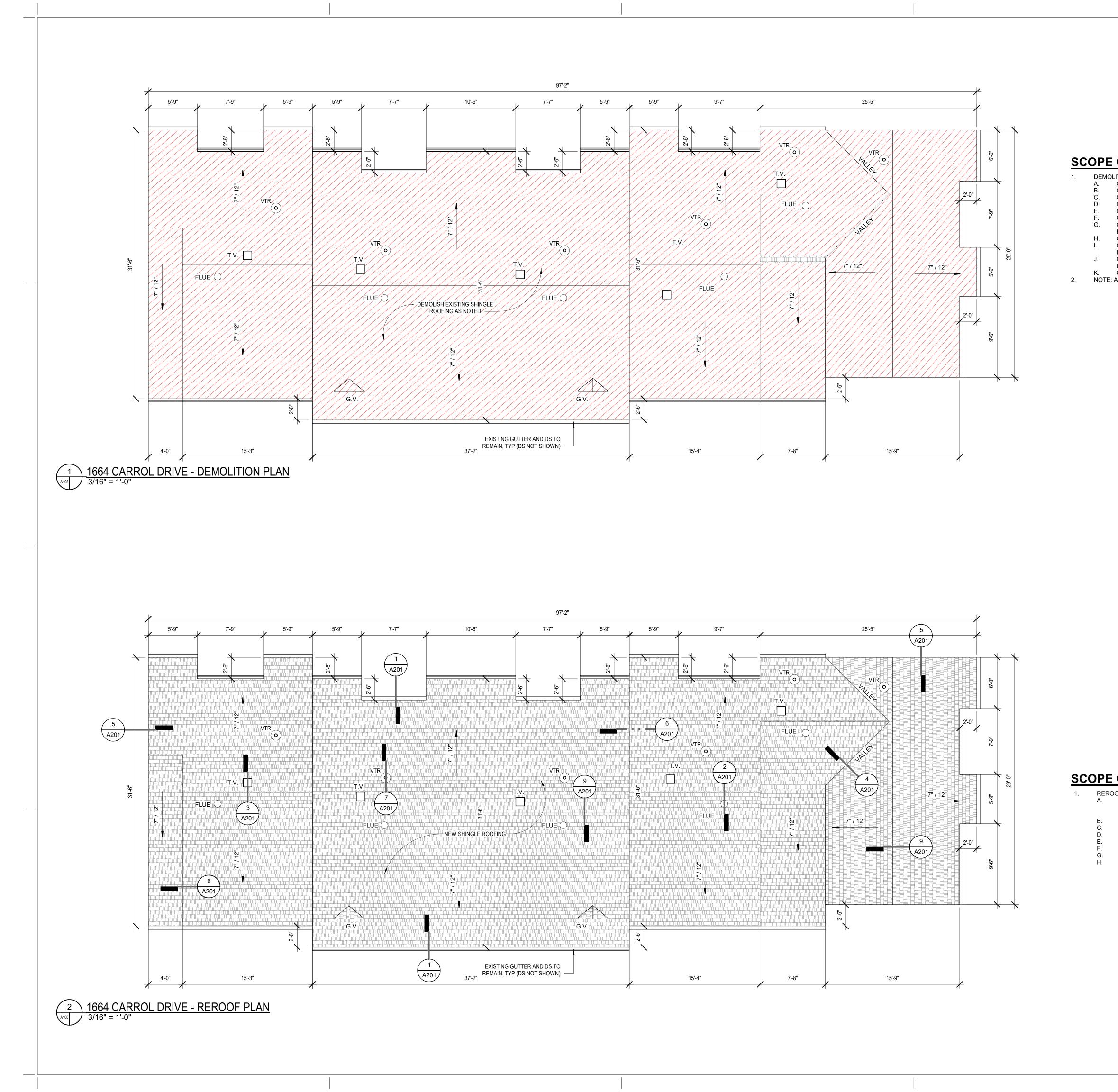
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SCOPE OF WORK 1664 CARROL DRIVE - DEMOLITION NOTES

- DEMOLITION SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING: A. CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE ROOFING MATERIAL.
 - CONTRACTOR SHALL DEMOLISH ALL EXISTING UNDERLAYMENTS. CONTRACTOR SHALL DEMOLISH ALL PIPE BOOTS, CRICKETS AND OTHER PENETRATION FLASHINGS.
 - CONTRACTOR SHALL DEMOLISH ALL TURTLE VENTS, THEN PREP THE ROOF OPENING FOR A NEW VENT.
 - CONTRACTOR SHALL RETAIN IN PLACE ALL EXISTING GAS FLUES AND VTR'S. CONTRACTOR SHALL RETAIN IN PLACE ALL GABLE VENTS.
 - CONTRACTOR SHALL REMOVE AND SALVAGE FOR REINSTALLATION ALL EXISTING GUTTERS AND DOWNSPOUTS, INCLUDING STRAPS, MOUNTINGS, AND OTHER ACCESSORIES. CLEAN THE GUTTERS OF TRASH AND DEBRIS.
 - CONTRACTOR SHALL DEMOLISH ALL METAL EAVE AND RAKE TRIM.

CONTRACTOR SHALL DEMOLISH ALL FLASHINGS AND COUNTER FLASHINGS NOT OTHERWISE NOTED TO REMAIN. EXISTING STEPPED THRU-WALL FLASHING SHALL REMAIN IN PLACE AND SHALL BE REUSED. CONTRACTOR SHALL DEMOLISH 5% OF THE EXISTING 5/8" CDX ROOF DECK. AREAS TO BE DEMOLISHED WILL BE

DETERMINED BY THE ARCHITECT IN THE FIELD. K. CONTRACTOR SHALL PREPARE THE DECK FOR NEW WORK. NOTE: ALL CURBS IN GOOD CONTITION SHALL REMAIN IN PLACE AND SHALL BE REUSED

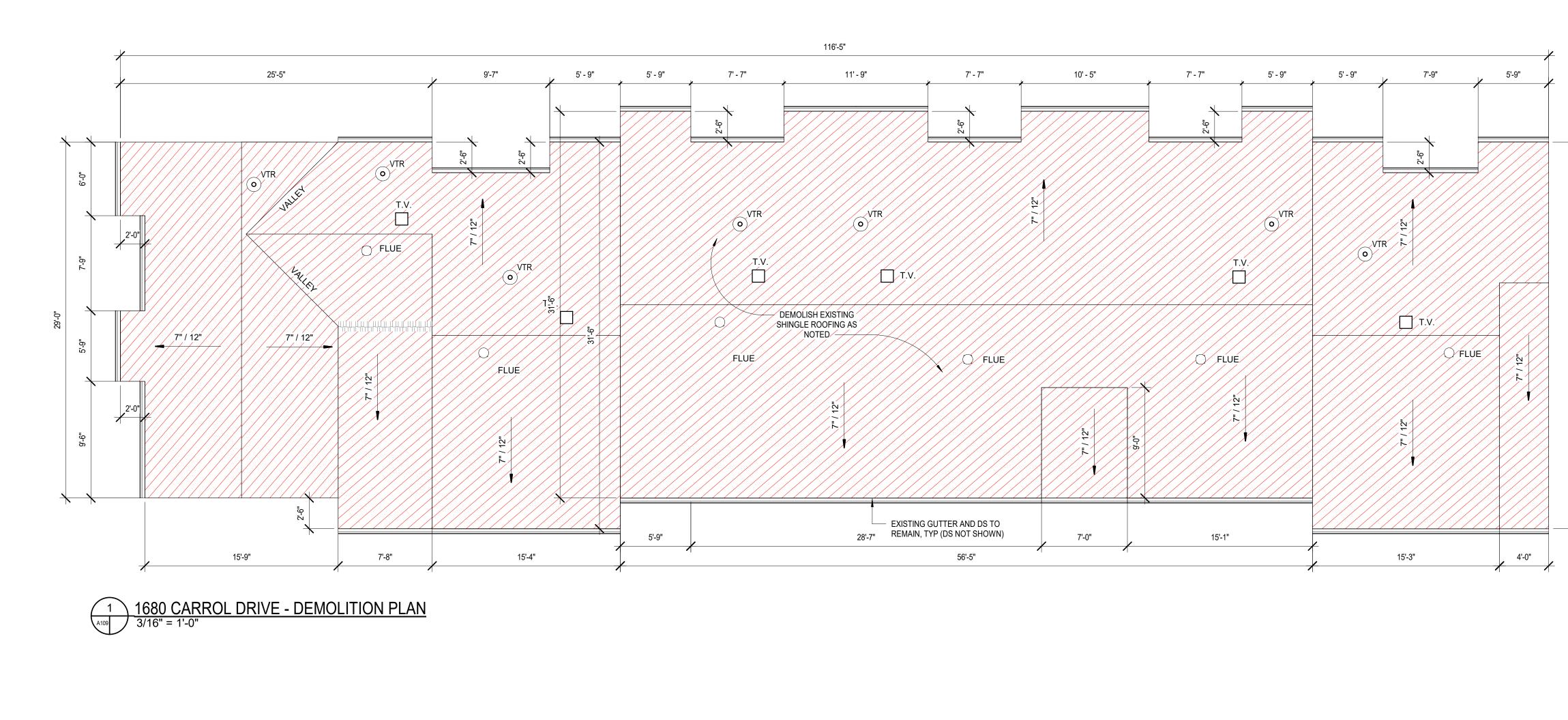
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	DEMOLITION MARK
	NEW SHINGLES
	VENTED RIDGE
VTR ()	VTR - EXISTING VENT THRU ROOF TO REMAIN. PROVIDE NEW BOOT.
© FLUE	FLUE - EXISTING FLUE WITH COWL TO REMAIN IN PLACE. PROVIDE NEW BOOT.
T.V.	TURTLE VENT - EXISTING. DEMOLISH AND PROVIDE NEW IN EXISTING LOCATION.
G.V.	GABLE VENT - EXISTING. PROTECT AND RETAIN IN PLACE
O U.E.	UTILITY ENTRANCE - EXISTING PIPE TO REMAIN IN PLACE. PROVIDE NEW BOOT.

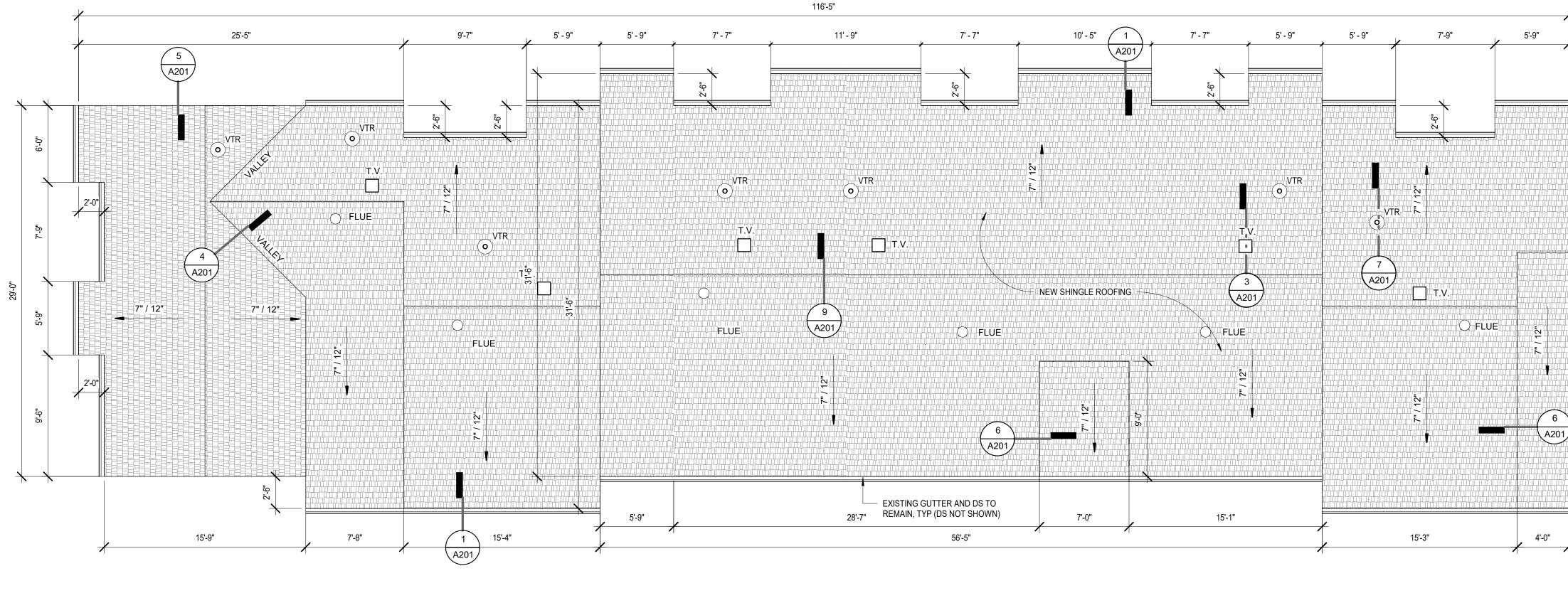
SCOPE OF WORK 1664 CARROL DRIVE - REROOF NOTES

OOF SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:	
CONTRACTOR SHALL PROVIDE AND INSTALL NEW 5/8" CDX ROOF DECK OVER 5% OF THE EXISTING	
DECK AREA, WHERE EXISTING DECK HAS BEEN DEMOLISHED OR WHERE PENETRATIONS ARE	
ABANDONED.	
CONTRACTOR SHALL PROVIDE AND INSTALL NEW UNDERLAYMENT AS SPECIFIED AND DETAILED.	
CONTRACTOR SHALL PROVIDE AND INSTALL NEW TURTLE VENTS IN LOCATIONS DRAWN.	
CONTRACTOR SHALL PROVIDE AND INSTALL NEW FLASHING AT GAS FLUES AND VTR'S.	
CONTRACTOR SHALL PROVIDE AND INSTALL NEW ROOF SHINGLES AS SPECIFIED AND DETAILED.	
CONTRACTOR SHALL PROVIDE AND INSTALL NEW METAL RAKE AND EAVE TRIM.	
CONTRACTOR SHALL PROVIDE AND INSTALL NEW COUNTERFLASHING / THRU-WALL FLASHING.	
CONTRACTOR SHALL REINSTALL SALVAGED GUTTERS AND DOWNSPOUTS.	

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2 1680 CARROL DRIVE - REROOF PLAN 3/16" = 1'-0"



SCOPE OF WORK 1680 CARROL DRIVE -DEMOLITION NOTES

1.

2.

- DEMOLITION SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
 A. CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE ROOFING MATERIAL.
- CONTRACTOR SHALL DEMOLISH ALL EXISTING UNDERLAYMENTS.
 CONTRACTOR SHALL DEMOLISH ALL PIPE BOOTS, CRICKETS AND
- OTHER PENETRATION FLASHINGS. D. CONTRACTOR SHALL DEMOLISH ALL TURBINE VENTS, ASSOCIAT
- CONTRACTOR SHALL DEMOLISH ALL TURBINE VENTS, ASSOCIATED CRICKETS AND CURBS, THEN ABANDON THE PENTRATION AND PATCH THE DECK.
- E. CONTRACTOR SHALL DEMOLISH ALL TURTLE VENTS, THEN PREP THE ROOF OPENING FOR A NEW VENT.
- CONTRACTOR SHALL RETAIN IN PLACE ALL EXISTING GAS FLUES AND VTR'S.
- G. CONTRACTOR SHALL REMOVE AND SALVAGE FOR REINSTALLATION ALL EXISTING GUTTERS AND DOWNSPOUTS, INCLUDING STRAPS, MOUNTINGS, AND OTHER ACCESSORIES. CLEAN THE GUTTERS OF TRASH AND DEBRIS.
- H. CONTRACTOR SHALL DEMOLISH ALL METAL EAVE AND RAKE TRIM.
 I. CONTRACTOR SHALL DEMOLISH ALL FLASHINGS AND COUNTER FLASHINGS NOT OTHERWISE NOTED TO REMAIN. EXISTING STEPPED THRU-WALL FLASHING SHALL REMAIN IN PLACE AND SHALL BE REUSED.
- J. CONTRACTOR SHALL DEMOLISH 5% OF THE EXISTING 5/8" CDX ROOF DECK. AREAS TO BE DEMOLISHED WILL BE DETERMINED BY THE ARCHITECT IN THE FIELD.

K. CONTRACTOR SHALL PREPARE THE DECK FOR NEW WORK. NOTE: ALL CURBS IN GOOD CONTITION SHALL REMAIN IN PLACE AND SHALL BE REUSED

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	DEMOLITION MARK
	NEW SHINGLES
	VENTED RIDGE
VTR ③	VTR - EXISTING VENT THRU ROOF TO REMAIN. PROVIDE NEW BOOT.
© FLUE	FLUE - EXISTING FLUE WITH COWL TO REMAIN IN PLACE. PROVIDE NEW BOOT.
T.V.	TURTLE VENT - EXISTING. DEMOLISH AND PROVIDE NEW IN EXISTING LOCATION.
G.V.	GABLE VENT - EXISTING. PROTECT AND RETAIN IN PLACE
U.E.	UTILITY ENTRANCE - EXISTING PIPE TO

REMAIN IN PLACE. PROVIDE NEW BOOT.

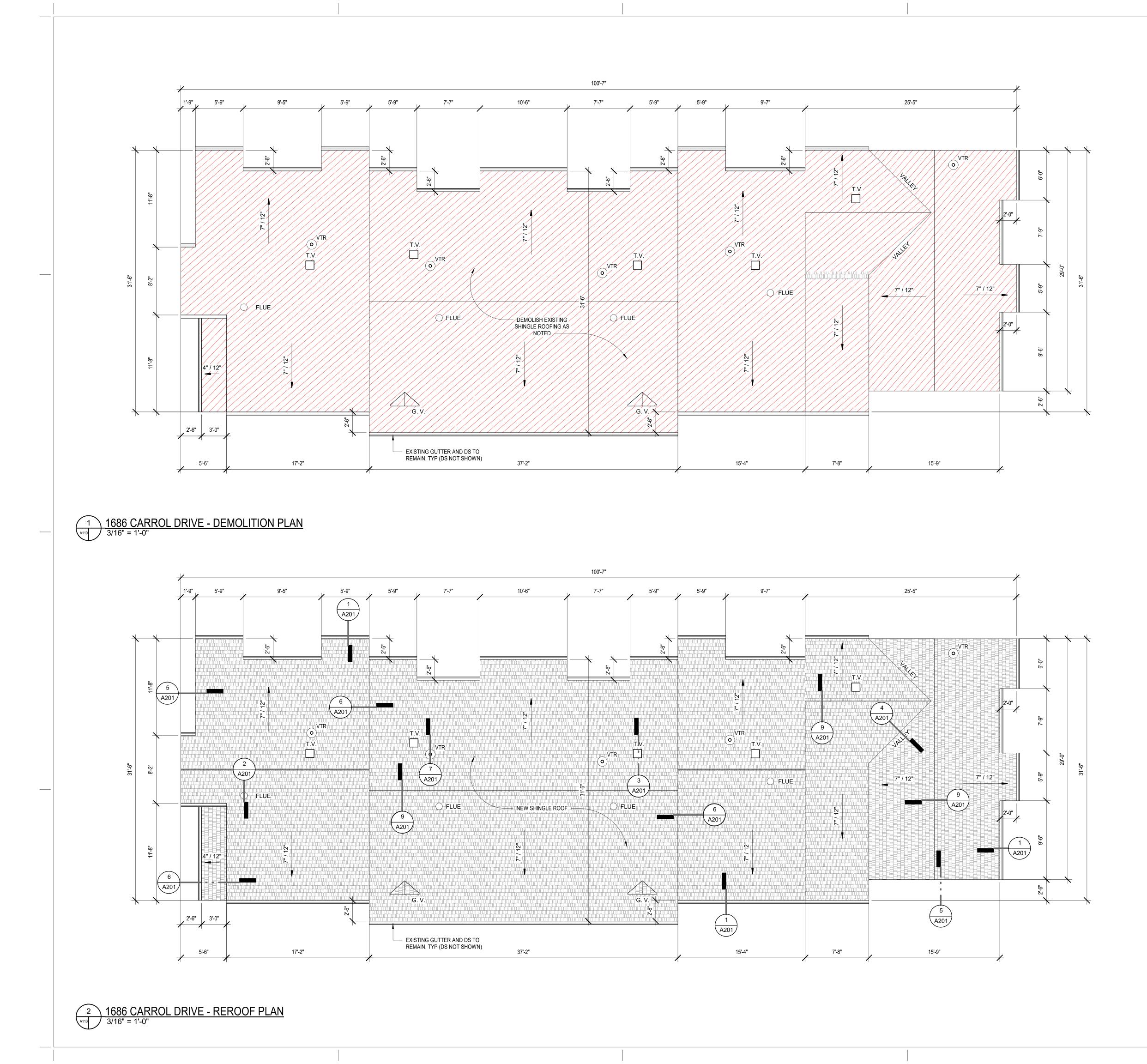
SCOPE OF WORK 1680 CARROL DRIVE -REROOF NOTES

- REROOF SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
 A. CONTRACTOR SHALL PROVIDE AND INSTALL NEW 5/8" CDX ROOF DECK OVER 5% OF THE EXISTING DECK AREA, WHERE EXISTING
 - DECK HAS BEEN DEMOLISHED OR WHERE PENETRATIONS ARE ABANDONED.
 - B. CONTRACTOR SHALL PROVIDE AND INSTALL NEW UNDERLAYMENT AS SPECIFIED AND DETAILED.
 - C. CONTRACTOR SHALL PROVIDE AND INSTALL NEW TURTLE VENTS
 - IN LOCATIONS DRAWN. D. CONTRACTOR SHALL PROVIDE AND INSTALL NEW FLASHING AT
 - GAS FLUES AND VTR'S. CONTRACTOR SHALL PROVIDE AND INSTALL NEW ROOF SHINGLES
 - AS SPECIFIED AND DETAILED. CONTRACTOR SHALL PROVIDE AND INSTALL NEW METAL RAKE
 - AND EAVE TRIM. G. CONTRACTOR SHALL PROVIDE AND INSTALL NEW
 - COUNTERFLASHING / THRU-WALL FLASHING.H. CONTRACTOR SHALL REINSTALL SALVAGED GUTTERS AND DOWNSPOUTS.

(228)

2 Q 1





SCOPE OF WORK 1686 CARROL DRIVE -**DEMOLITION NOTES**

- DEMOLITION SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE 1. FOLLOWING: CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE ROOFING Α.
 - MATERIAL
 - CONTRACTOR SHALL DEMOLISH ALL EXISTING UNDERLAYMENTS. CONTRACTOR SHALL DEMOLISH ALL PIPE BOOTS, CRICKETS AND
 - OTHER PENETRATION FLASHINGS. CONTRACTOR SHALL DEMOLISH ALL TURTLE VENTS, THEN PREP THE D.

2.

- ROOF OPENING FOR A NEW VENT. CONTRACTOR SHALL RETAIN IN PLACE ALL EXISTING GAS FLUES AND
- VTR'S.
- CONTRACTOR SHALL RETAIN IN PLACE ALL GABLE VENTS. CONTRACTOR SHALL REMOVE AND SALVAGE FOR REINSTALLATION G. ALL EXISTING GUTTERS AND DOWNSPOUTS, INCLUDING STRAPS, MOUNTINGS, AND OTHER ACCESSORIES. CLEAN THE GUTTERS OF TRASH AND DEBRIS
- CONTRACTOR SHALL DEMOLISH ALL METAL EAVE AND RAKE TRIM. н CONTRACTOR SHALL DEMOLISH ALL FLASHINGS AND COUNTER FLASHINGS NOT OTHERWISE NOTED TO REMAIN. EXISTING STEPPED THRU-WALL FLASHING SHALL REMAIN IN PLACE AND SHALL BE REUSED.
- CONTRACTOR SHALL DEMOLISH 5% OF THE EXISTING 5/8" CDX ROOF DECK. AREAS TO BE DEMOLISHED WILL BE DETERMINED BY THE ARCHITECT IN THE FIELD. J.
- CONTRACTOR SHALL PREPARE THE DECK FOR NEW WORK. к NOTE: ALL CURBS IN GOOD CONTITION SHALL REMAIN IN PLACE AND SHALL BE REUSED

LEGEND

	DEMOLITION MARK
	NEW SHINGLES
	VENTED RIDGE
vtr ⊚	VTR - EXISTING VENT THRU ROOF TO REMAIN. PROVIDE NEW BOOT.
© FLUE	FLUE - EXISTING FLUE WITH COWL TO REMAIN IN PLACE. PROVIDE NEW BOOT.
T.V.	TURTLE VENT - EXISTING. DEMOLISH AND PROVIDE NEW IN EXISTING LOCATION.
G.V.	GABLE VENT - EXISTING. PROTECT AND RETAIN IN PLACE
O U.E.	UTILITY ENTRANCE - EXISTING PIPE TO REMAIN IN PLACE. PROVIDE NEW BOOT.

SCOPE OF WORK 1686 CARROL DRIVE -**REROOF NOTES**

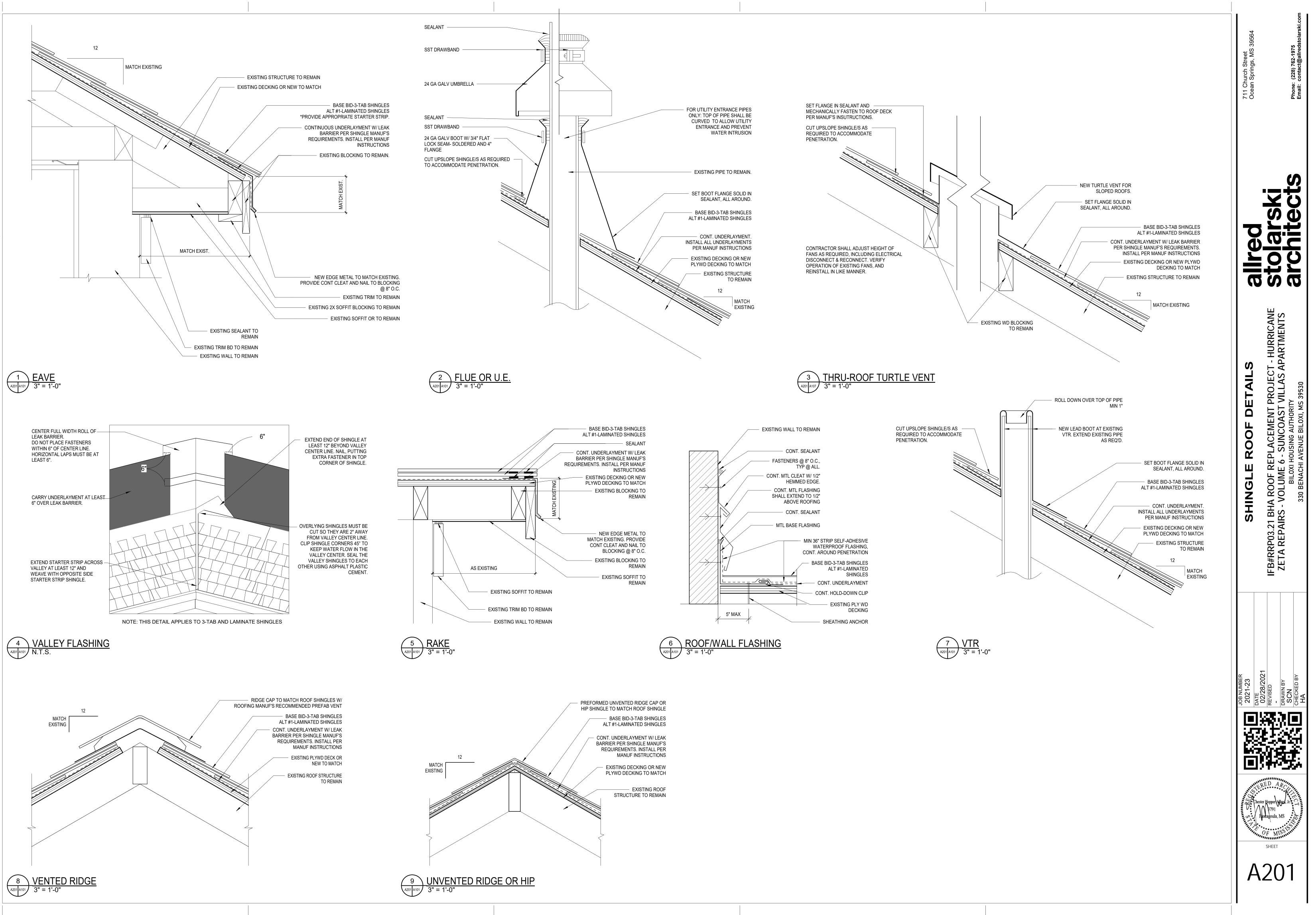
- REROOF SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE 1. FOLLOWING: CONTRACTOR SHALL PROVIDE AND INSTALL NEW 5/8" CDX ROOF Α. DECK OVER 5% OF THE EXISTING DECK AREA, WHERE EXISTING DECK HAS BEEN DEMOLISHED OR WHERE PENETRATIONS ARE ABANDONED.
 - CONTRACTOR SHALL PROVIDE AND INSTALL NEW UNDERLAYMENT Β.
 - AS SPECIFIED AND DETAILED. CONTRACTOR SHALL PROVIDE AND INSTALL NEW TURTLE VENTS C. IN LOCATIONS DRAWN.
 - CONTRACTOR SHALL PROVIDE AND INSTALL NEW FLASHING AT D.
 - GAS FLUES AND VTR'S. CONTRACTOR SHALL PROVIDE AND INSTALL NEW ROOF SHINGLES Ε.
 - AS SPECIFIED AND DETAILED. CONTRACTOR SHALL PROVIDE AND INSTALL NEW RAKE AND EAVE F. TRIM
 - G. CONTRACTOR SHALL PROVIDE AND INSTALL NEW
 - COUNTERFLASHING / THRU-WALL FLASHING. CONTRACTOR SHALL REINSTALL SALVAGED GUTTERS AND Η. DOWNSPOUTS.

203

(228)

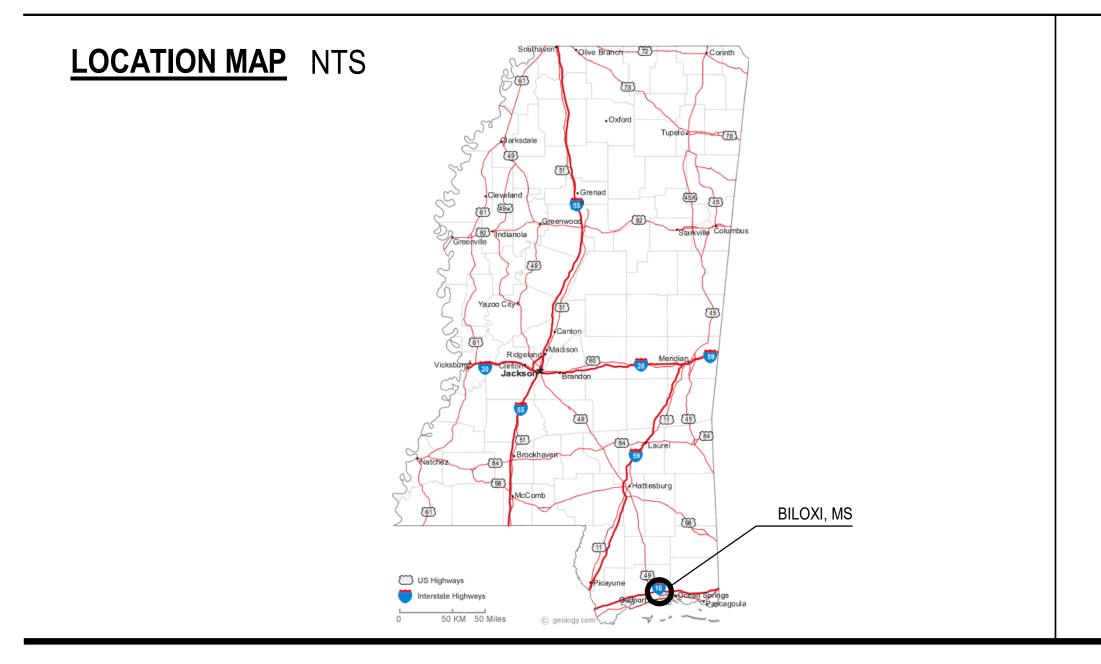
Phone: Email:





IFB#RRP03.21 BHA ROOF REPLACEMENT PROJECT - HURRICANE ZETA REPAIRS -VOLUME 7 - BAYVIEW OAKS

BILOXI HOUSING AUTHORITY 330 BENACHI AVENUE BILOXI, MS 39530



VOLUME 7 - DRAWING INDEX

INDEX - GENERAL

G000 TITLE SHEET

A100	REFERENCE SITE PLANS
A101	TYPE E1 - DEMOLITION AN
A102	TYPES F1 & F2 - DEMOLITIC
A103	TYPES F3 & F4 - DEMOLITIO
A104	TYPES G1 & G2- DEMOLITION
A201	SHINGLE ROOF DETAILS

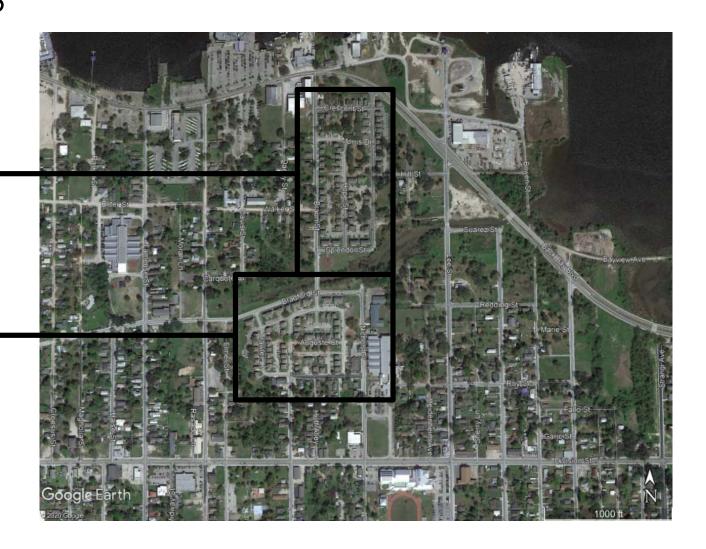
ALTERNATES

WITH THE SPECIFICATIONS.

VICINITY MAP NTS

BAYVIEW OAKS NORTH

BAYVIEW OAKS SOUTH





INDEX - ARCHITECTURAL

ANS ON AND REROOF PLANS OLITION AND REROOF PLANS OLITION AND REROOF PLANS OLITION AND REROOF PLANS <u>PROJ #:</u> 2021-23

IFB#RRP03.21 BHA ROOF REPLACEMENT PROJECT IURRICANE ZETA REPAIRS - VOLUME 7 - BAYVIEW OAKS

> BILOXI HOUSING AUTHORITY 330 BENACHI AVENUE BILOXI, MS 39530

DATE: 02/28/2021

<u>SET TYPE</u> **BID SET**

PROJECT TEAM ARCHITECT ALLRED STOLARSKI ARCHITECTS

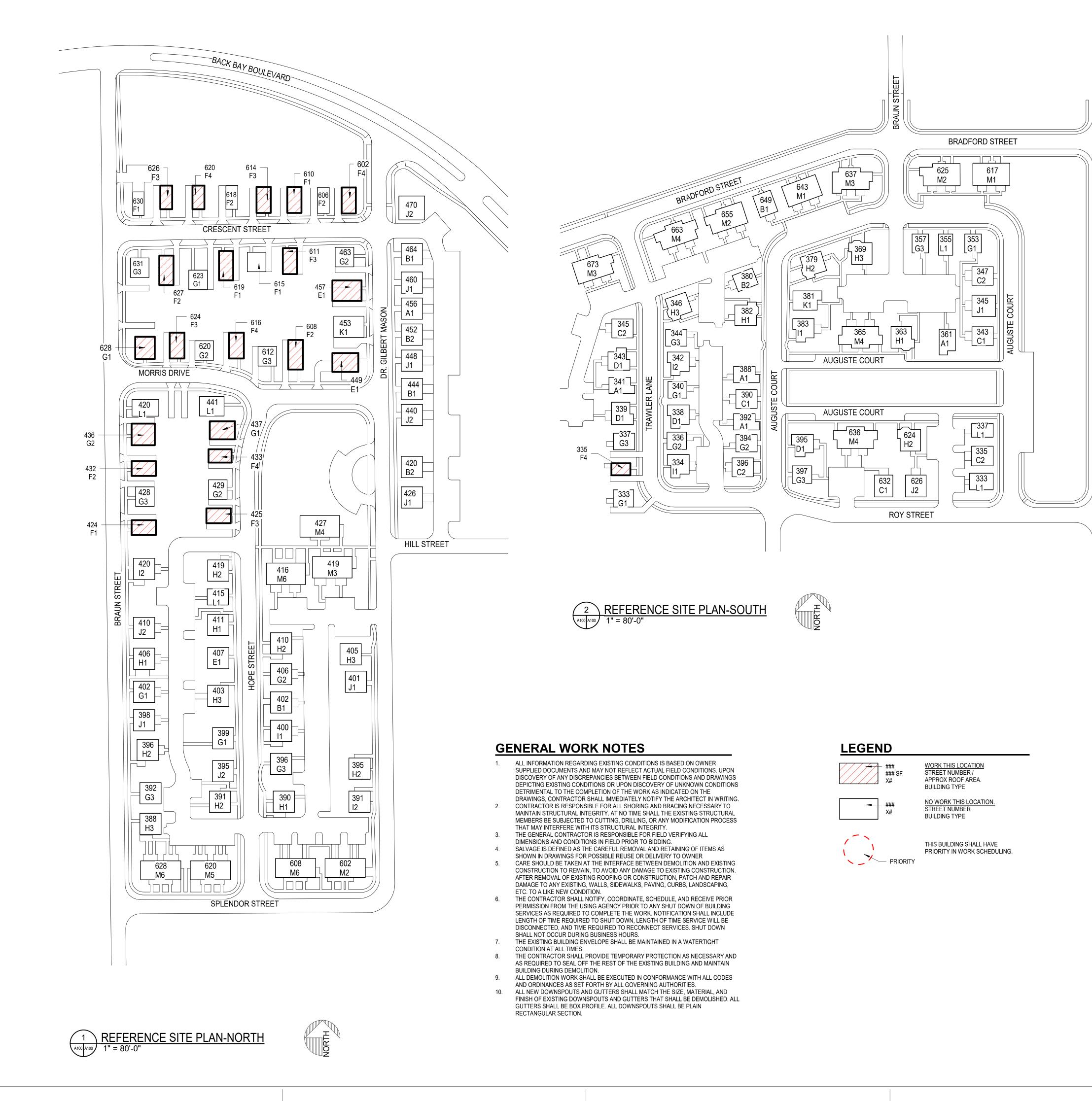
711 CHURCH STREET OCEAN SPRINGS, MS 39564 **T (**228) 762-1975 HÔPPÝ ALLRED, AIA, PRINCIPAL ARCHITECT hoppy@allredstolarski.com

ALTERNATE #1: AN ADDITIVE ALTERNATE FOR ALL LABOR, MATERIALS, AND EQUIPMENT NECESSARY TO REROOF BUILDINGS AT BAYVIEW OAKS, COMPLETE AS INDICATED ON THE DRAWINGS AND IN ACCORDANCE WITH THE SPECIFICATIONS. ALTERNATE #2: AN ADDITIVE ALTERNATE FOR ALL LABOR, MATERIALS, AND EQUIPMENT NECESSARY TO INSTALL A LAMINATED SHINGLE ROOF IN LIEU OF THE BASE BID 3-TAB SHINGLE ROOF, COMPLETE AS INDICATED ON THE DRAWINGS AND IN ACCORDANCE

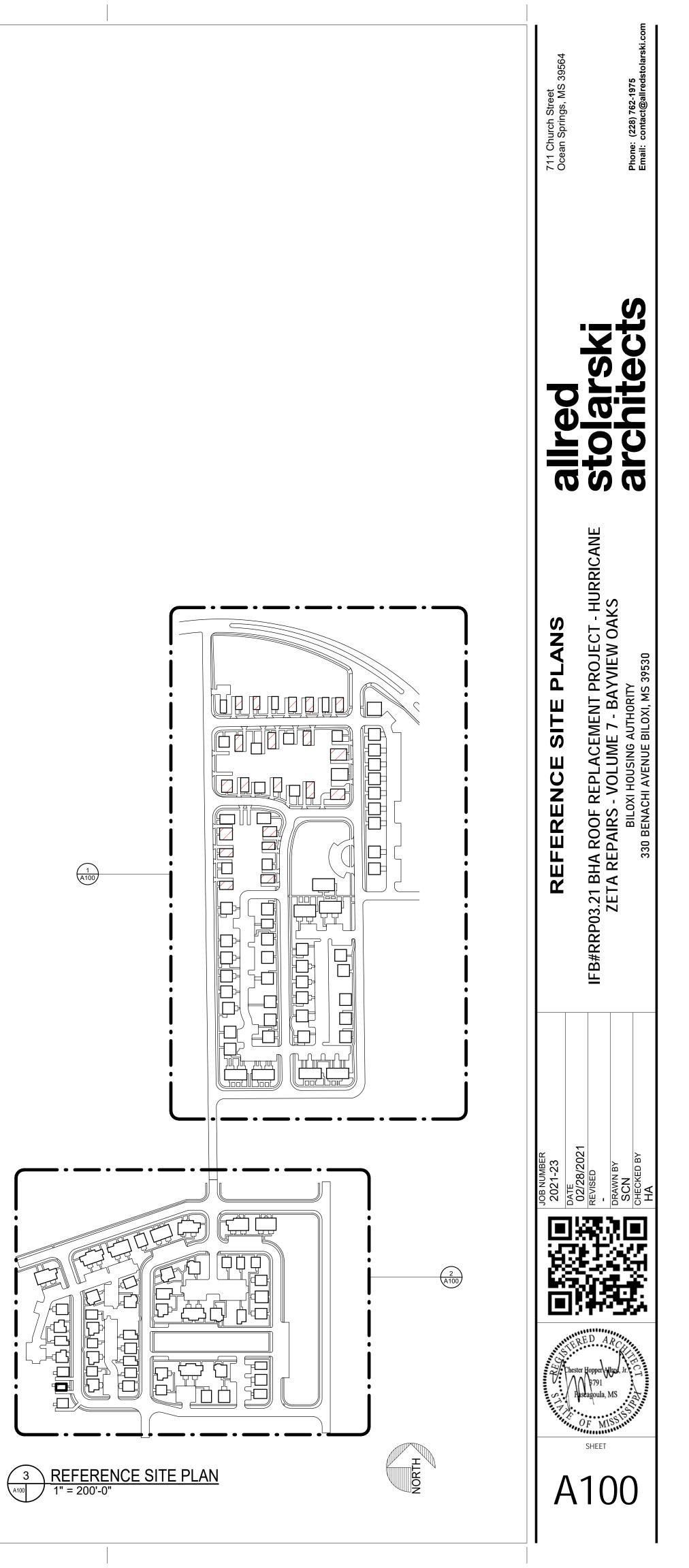
allred stolarski architects



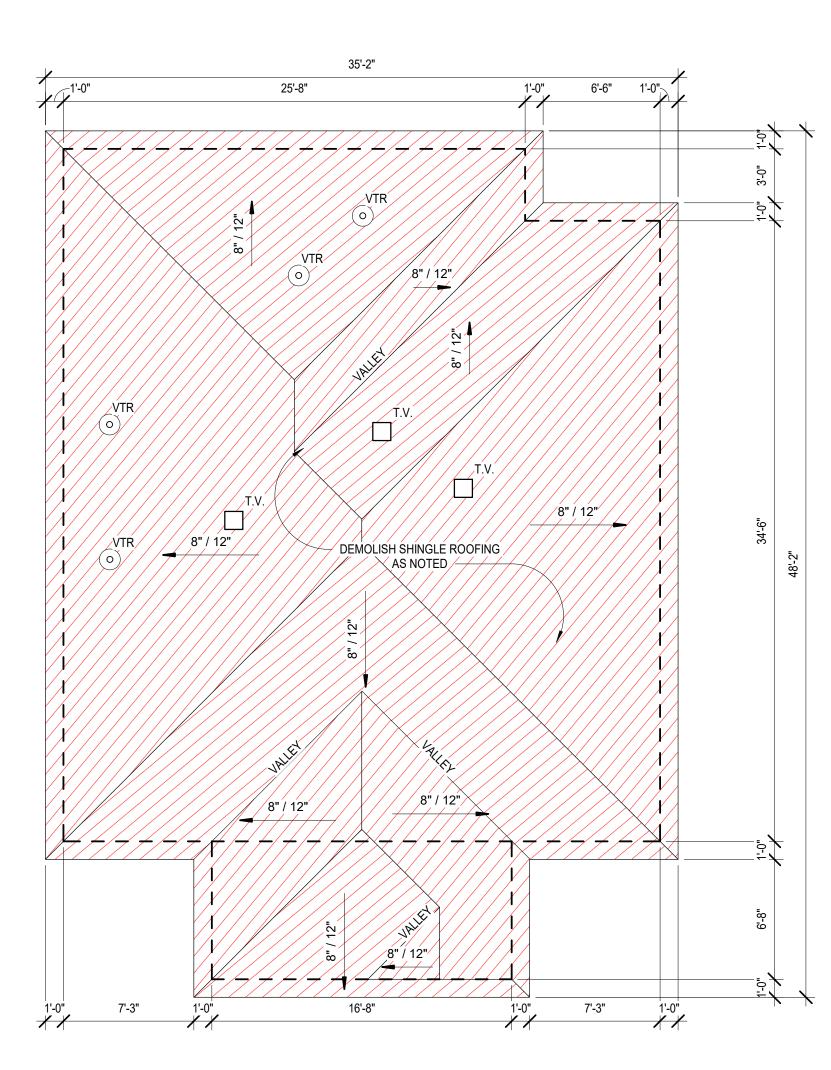
711 Church Street Ocean Springs, MS 39564



HOLS STREET





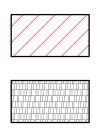


A201 1'-0" 4 E1-REROOF PLAN 3/16" = 1'-0"

E1-DEMOLITION PLAN

SCOPE OF WORK BUILDING TYPE E1 DEMOLITION NOTES

- 1. THE FOLLOWING BUILDINGS ARE TYPE E1: A. #457 DR. GILBERT MASON
- #449 DR. GILBERT MASON 2. DEMOLITION SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE
 - FOLLOWING:
 - CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE ROOFING MATERIAL. Α. CONTRACTOR SHALL DEMOLISH ALL EXISTING UNDERLAYMENTS. Β.
 - CONTRACTOR SHALL DEMOLISH ALL PIPE BOOTS, CRICKETS AND OTHER C.
 - PENETRATION FLASHINGS. CONTRACTOR SHALL DEMOLISH ALL TURTLE VENTS, THEN PREP THE ROOF D.
 - OPENING FOR NEW VENTS. CONTRACTOR SHALL RETAIN IN PLACE ALL EXISTING VTR'S.
 - CONTRACTOR SHALL DEMOLISH ALL EAVE AND RAKE TRIM.
 - CONTRACTOR SHALL DEMOLISH ALL FLASHINGS AND COUNTER FLASHINGS G. NOT OTHERWISE NOTED TO REMAIN.
 - CONTRACTOR SHALL DEMOLISH 5% OF THE EXISTING 5/8" CDX ROOF DECK. Η. AREAS TO BE DEMOLISHED WILL BE DETERMINED BY THE ARCHITECT IN THE
 - FIELD. I. CONTRACTOR SHALL PREPARE THE DECK FOR NEW WORK.





~VTR

 $\Box^{\mathsf{T},\mathsf{V}.}$

METAL ROOF TO REMAIN (TYP PORCH ROOF)

EXISTING STANDING SEAM

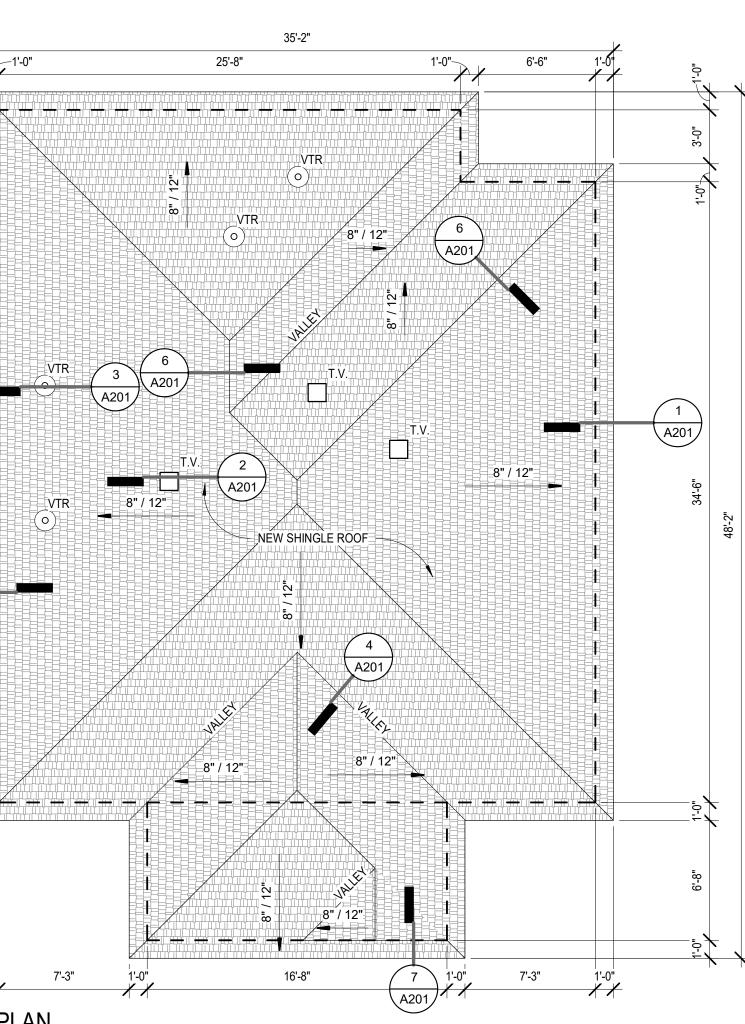
LEGEND

DEMOLITION MARK

NEW SHINGLES

VTR - EXISTING VENT THRU ROOF TO REMAIN. PROVIDE NEW BOOT.

TURTLE VENT - EXISTING VENT TO BE DEMOLISHED. INSTALL NEW SPECIFIED VENT IN EXISTING LOCATION.

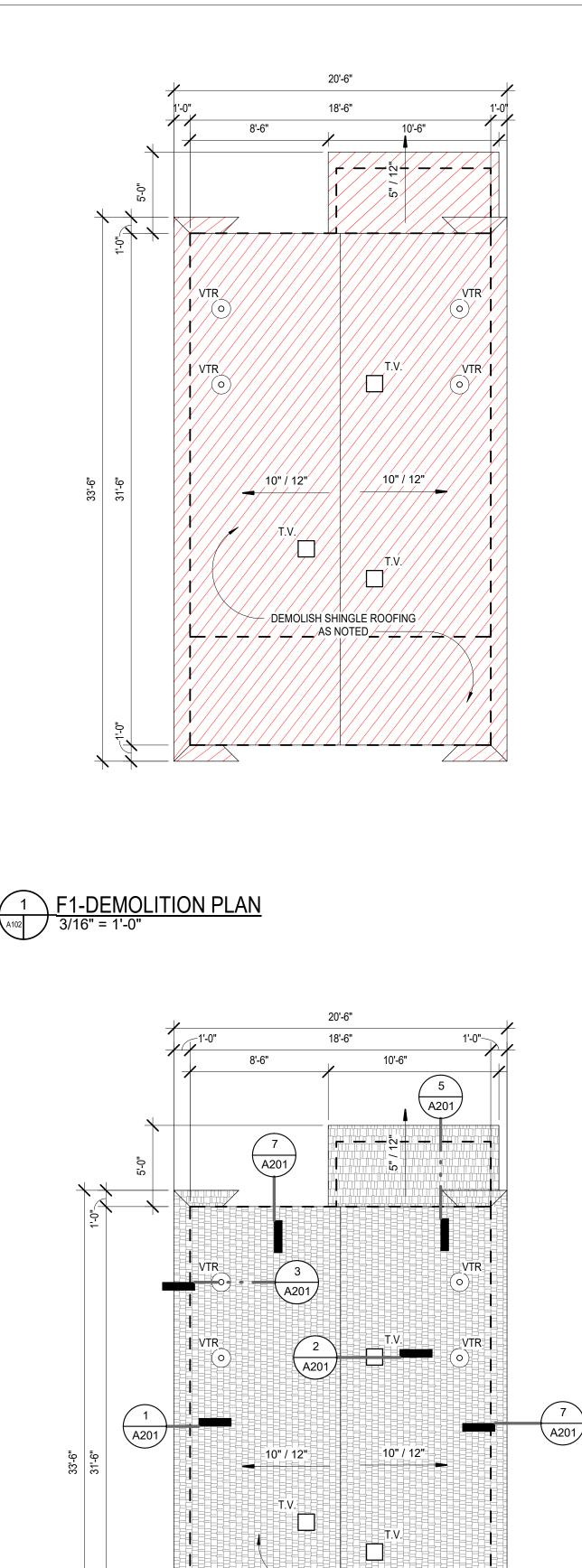


SCOPE OF WORK BUILDING TYPE E1 REROOF NOTES

- 1. THE FOLLOWING BUILDINGS ARE TYPE E1: A. #457 DR. GILBERT MASON
- #449 DR. GILBERT MASON B 2.
 - REROOF SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING: CONTRACTOR SHALL PROVIDE AND INSTALL NEW 5/8" CDX ROOF DECK OVER Α. 5% OF THE EXISTING DECK AREA, WHERE EXISTING DECK HAS BEEN
 - DEMOLISHED. CONTRACTOR SHALL PROVIDE AND INSTALL NEW UNDERLAYMENT AS В.
 - SPECIFIED AND DETAILED.
 - CONTRACTOR SHALL PROVIDE AND INSTALL NEW TURTLE VENTS IN C. LOCATIONS DRAWN.
 - CONTRACTOR SHALL PROVIDE AND INSTALL NEW FLASHING AT VTR'S. CONTRACTOR SHALL PROVIDE AND INSTALL NEW ROOF SHINGLES AS F
 - SPECIFIED AND DETAILED.
 - CONTRACTOR SHALL PROVIDE AND INSTALL NEW RAKE AND EAVE TRIM. F.



TYPE F1



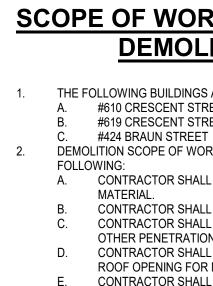
NEW SHINGLE ROOF

A20

(A201)

F1-REROOF PLAN

3/16" = 1'-0"



2

A. B. C.	DLLOWING BUILDINGS AR #610 CRESCENT STREET #619 CRESCENT STREET #424 BRAUN STREET DF SCOPE OF WORK SHAU WING:
A.	CONTRACTOR SHALL PF OVER 5% OF THE EXISTI DEMOLISHED.
В.	CONTRACTOR SHALL PF SPECIFIED AND DETAILE
C.	CONTRACTOR SHALL PR LOCATIONS DRAWN.
D. E.	CONTRACTOR SHALL PF CONTRACTOR SHALL PF SPECIFIED AND DETAILE
F. G.	CONTRACTOR SHALL PF CONTRACTOR SHALL PF THRU-WALL FLASHING.

SCOPE OF WORK BUILDING TYPE F1 **DEMOLITION NOTES**

THE FOLLOWING BUILDINGS ARE TYPE F1: #610 CRESCENT STREET #619 CRESCENT STREET

DEMOLITION SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE ROOFING

- CONTRACTOR SHALL DEMOLISH ALL EXISTING UNDERLAYMENTS. CONTRACTOR SHALL DEMOLISH ALL PIPE BOOTS, CRICKETS AND OTHER PENETRATION FLASHINGS.
- CONTRACTOR SHALL DEMOLISH ALL TURTLE VENTS, THEN PREP THE ROOF OPENING FOR NEW VENTS. CONTRACTOR SHALL RETAIN IN PLACE ALL EXISTING VTR'S.
- CONTRACTOR SHALL DEMOLISH ALL EAVE AND RAKE TRIM. CONTRACTOR SHALL DEMOLISH ALL FLASHINGS AND COUNTER FLASHINGS NOT OTHERWISE NOTED TO REMAIN. EXISTING THRU-WALL FLASHING SHALL REMAIN IN PLACE AND SHALL BE REUSED.
- CONTRACTOR SHALL DEMOLISH 5% OF THE EXISTING 5/8" CDX ROOF DECK. AREAS TO BE DEMOLISHED WILL BE DETERMINED BY THE ARCHITECT IN THE FIELD. CONTRACTOR SHALL PREPARE THE DECK FOR NEW WORK.

SCOPE OF WORK BUILDING TYPE F1 **REROOF NOTES**

WING BUILDINGS ARE TYPE F1:

0 CRESCENT STREET

COPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE NTRACTOR SHALL PROVIDE AND INSTALL NEW 5/8" CDX ROOF DECK

- ER 5% OF THE EXISTING DECK AREA, WHERE EXISTING DECK HAS BEEN MOLISHED. NTRACTOR SHALL PROVIDE AND INSTALL NEW UNDERLAYMENT AS
- ECIFIED AND DETAILED. NTRACTOR SHALL PROVIDE AND INSTALL NEW TURTLE VENTS IN
- CATIONS DRAWN. NTRACTOR SHALL PROVIDE AND INSTALL NEW FLASHING AT VTR'S.
- NTRACTOR SHALL PROVIDE AND INSTALL NEW ROOF SHINGLES AS ECIFIED AND DETAILED.
- NTRACTOR SHALL PROVIDE AND INSTALL NEW RAKE AND EAVE TRIM. NTRACTOR SHALL PROVIDE AND INSTALL NEW COUNTERFLASHING /

SCOPE OF WORK BUILDING TYPE F2 **DEMOLITION NOTES**

THE FOLLOWING BUILDINGS ARE TYPE F2: 1. #627 CRESCENT STREET

2.

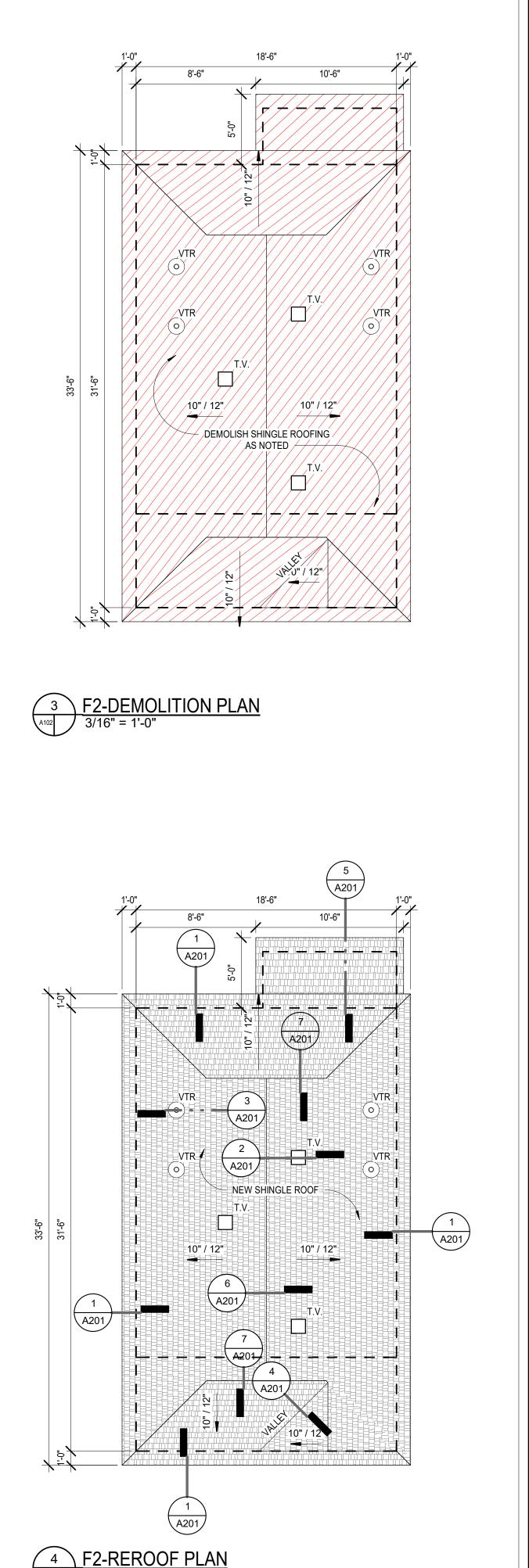
- #608 MORRIS DRIVE #432 BRAUN STREET
- DEMOLITION SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING
- CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE ROOFING MATERIAL. CONTRACTOR SHALL DEMOLISH ALL EXISTING UNDERLAYMENTS. CONTRACTOR SHALL DEMOLISH ALL PIPE BOOTS, CRICKETS AND
- OTHER PENETRATION FLASHINGS. CONTRACTOR SHALL DEMOLISH ALL TURTLE VENTS, THEN PREP THE
- ROOF OPENING FOR NEW VENTS. CONTRACTOR SHALL RETAIN IN PLACE ALL EXISTING VTR'S. CONTRACTOR SHALL DEMOLISH ALL EAVE AND RAKE TRIM.
- CONTRACTOR SHALL DEMOLISH ALL FLASHINGS AND COUNTER FLASHINGS NOT OTHERWISE NOTED TO REMAIN. EXISTING THRU-WALL FLASHING SHALL REMAIN IN PLACE AND SHALL BE REUSED.
- CONTRACTOR SHALL DEMOLISH 5% OF THE EXISTING 5/8" CDX ROOF DECK. AREAS TO BE DEMOLISHED WILL BE DETERMINED BY THE ARCHITECT IN THE FIELD.
- CONTRACTOR SHALL PREPARE THE DECK FOR NEW WORK.

SCOPE OF WORK BUILDING TYPE F2 REROOF NOTES

- 1. THE FOLLOWING BUILDINGS ARE TYPE F2: #627 CRESCENT STREET
- #608 MORRIS DRIVE
- #432 BRAUN STREET 2. REROOF SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
 - CONTRACTOR SHALL PROVIDE AND INSTALL NEW 5/8" CDX ROOF DECK Α. OVER 5% OF THE EXISTING DECK AREA, WHERE EXISTING DECK HAS BEEN DEMOLISHED.
 - CONTRACTOR SHALL PROVIDE AND INSTALL NEW UNDERLAYMENT AS Β. SPECIFIED AND DETAILED. CONTRACTOR SHALL PROVIDE AND INSTALL NEW TURTLE VENTS IN C.
 - LOCATIONS DRAWN. CONTRACTOR SHALL PROVIDE AND INSTALL NEW FLASHING AT VTR'S.
 - CONTRACTOR SHALL PROVIDE AND INSTALL NEW ROOF SHINGLES AS SPECIFIED AND DETAILED.
 - CONTRACTOR SHALL PROVIDE AND INSTALL NEW RAKE AND EAVE TRIM. CONTRACTOR SHALL PROVIDE AND INSTALL NEW COUNTERFLASHING / THRU-WALL FLASHING.

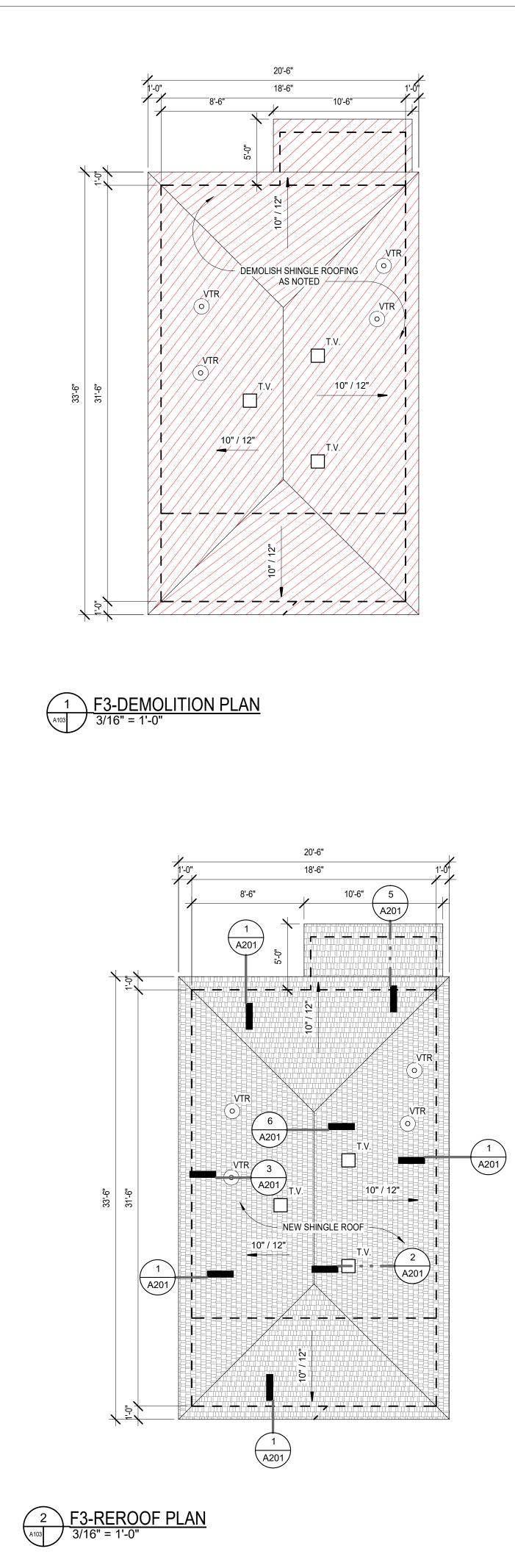
LEGEND		
	DEMOLITION MARK	
	NEW SHINGLES	
	EXISTING STANDING SEAM METAL ROOF TO REMAIN (TYP PORCH ROOF)	
©VTR	VTR - EXISTING VENT THRU ROOF TO REMAIN. PROVIDE NEW BOOT.	
	TURTLE VENT - EXISTING VENT TO BE DEMOLISHED. INSTALL NEW SPECIFIED VENT IN EXISTING LOCATION.	

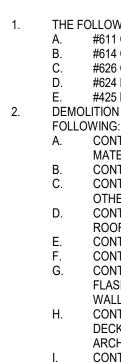
TYPE F2



(228) ۲ŏ a PROJECT - HURRICANE VYVIEW OAKS 0 RERO AND ITION. NT N 2 BHA ROOI A REPAIR N L Š $- \vdash$ $\overline{}$ 3.2¹ ZE ш Õ ິ RRI Δ B# Ц SHEET A102

TYPE F3





FOLLOWING: Α. DEMOLISHED. В. C. D G

SCOPE OF WORK BUILDING TYPE F3 **DEMOLITION NOTES**

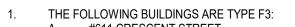
1. THE FOLLOWING BUILDINGS ARE TYPE F3: #611 CRESCENT STREET

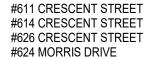
#614 CRESCENT STREET #626 CRESCENT STREET #624 MORRIS DRIVE

#425 HOPE STREET DEMOLITION SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE ROOFING

- MATERIAL. CONTRACTOR SHALL DEMOLISH ALL EXISTING UNDERLAYMENTS. CONTRACTOR SHALL DEMOLISH ALL PIPE BOOTS, CRICKETS AND OTHER PENETRATION FLASHINGS.
- CONTRACTOR SHALL DEMOLISH ALL TURTLE VENTS, THEN PREP THE ROOF OPENING FOR NEW VENTS. CONTRACTOR SHALL RETAIN IN PLACE ALL EXISTING VTR'S.
- CONTRACTOR SHALL DEMOLISH ALL EAVE AND RAKE TRIM. CONTRACTOR SHALL DEMOLISH ALL FLASHINGS AND COUNTER FLASHINGS NOT OTHERWISE NOTED TO REMAIN. EXISTING THRU-WALL FLASHING SHALL REMAIN IN PLACE AND SHALL BE REUSED. CONTRACTOR SHALL DEMOLISH 5% OF THE EXISTING 5/8" CDX ROOF
- DECK. AREAS TO BE DEMOLISHED WILL BE DETERMINED BY THE ARCHITECT IN THE FIELD. CONTRACTOR SHALL PREPARE THE DECK FOR NEW WORK.

SCOPE OF WORK BUILDING TYPE F3 REROOF NOTES





#425 HOPE STREET 2. REROOF SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE

> CONTRACTOR SHALL PROVIDE AND INSTALL NEW 5/8" CDX ROOF DECK OVER 5% OF THE EXISTING DECK AREA, WHERE EXISTING DECK HAS BEEN

- CONTRACTOR SHALL PROVIDE AND INSTALL NEW UNDERLAYMENT AS
- SPECIFIED AND DETAILED. CONTRACTOR SHALL PROVIDE AND INSTALL NEW TURTLE VENTS IN LOCATIONS DRAWN.
- CONTRACTOR SHALL PROVIDE AND INSTALL NEW FLASHING AT VTR'S. CONTRACTOR SHALL PROVIDE AND INSTALL NEW ROOF SHINGLES AS
- SPECIFIED AND DETAILED. CONTRACTOR SHALL PROVIDE AND INSTALL NEW RAKE AND EAVE TRIM.
- CONTRACTOR SHALL PROVIDE AND INSTALL NEW COUNTERFLASHING / THRU-WALL FLASHING.

SCOPE OF WORK BUILDING TYPE F4 DEMOLITION NOTES

- 1. THE FOLLOWING BUILDINGS ARE TYPE F4: #601 CRESCENT STREET
- #616 CRESCENT STREET
- #620 CRESCENT STREET #433 HOPE STREET

2

- #335 TRAWLER LANE DEMOLITION SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
- CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE ROOFING MATERIAL
- CONTRACTOR SHALL DEMOLISH ALL EXISTING UNDERLAYMENTS. CONTRACTOR SHALL DEMOLISH ALL PIPE BOOTS, CRICKETS AND
- OTHER PENETRATION FLASHINGS. CONTRACTOR SHALL DEMOLISH ALL TURTLE VENTS, THEN PREP THE ROOF OPENING FOR NEW VENTS.
- CONTRACTOR SHALL RETAIN IN PLACE ALL EXISTING VTR'S.
- CONTRACTOR SHALL DEMOLISH ALL EAVE AND RAKE TRIM. CONTRACTOR SHALL DEMOLISH ALL FLASHINGS AND COUNTER
- FLASHINGS NOT OTHERWISE NOTED TO REMAIN. EXISTING THRU WALL FLASHING SHALL REMAIN IN PLACE AND SHALL BE REUSED CONTRACTOR SHALL DEMOLISH 5% OF THE EXISTING 5/8" CDX ROOF DECK. AREAS TO BE DEMOLISHED WILL BE DETERMINED BY THE
- ARCHITECT IN THE FIELD. CONTRACTOR SHALL PREPARE THE DECK FOR NEW WORK.

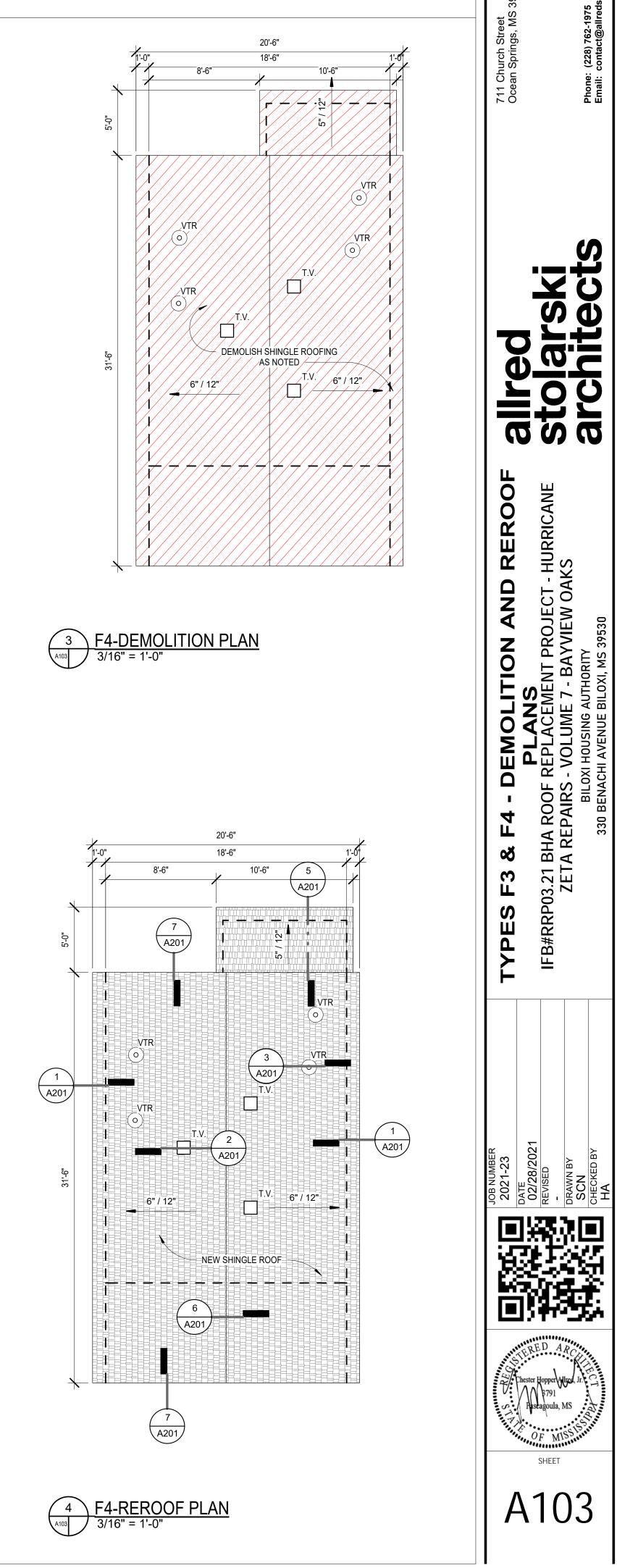
SCOPE OF WORK BUILDING TYPE F4 REROOF NOTES

1. THE FOLLOWING BUILDINGS ARE TYPE F4:

THRU-WALL FLASHING.

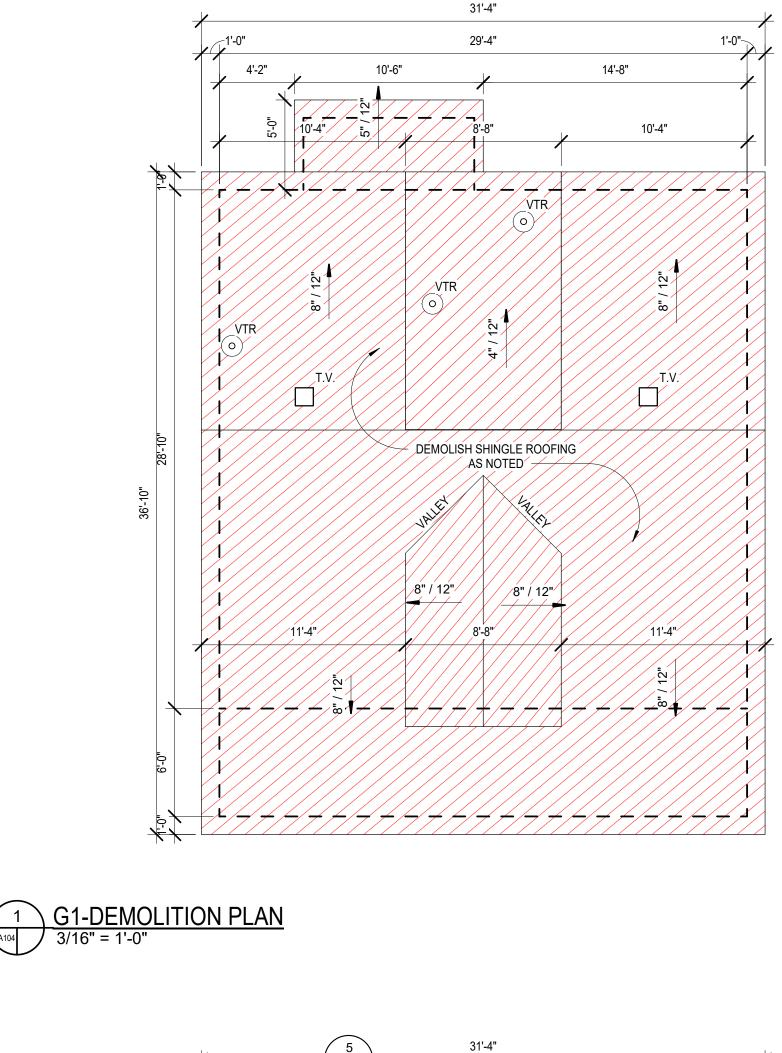
- #601 CRESCENT STREET #616 CRESCENT STREET
- #620 CRESCENT STREET #433 HOPE STREET
- #335 TRAWLER LANE
- 2. REROOF SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
 - CONTRACTOR SHALL PROVIDE AND INSTALL NEW 5/8" CDX ROOF DECK Α. OVER 5% OF THE EXISTING DECK AREA, WHERE EXISTING DECK HAS BEEN DEMOLISHED.
 - CONTRACTOR SHALL PROVIDE AND INSTALL NEW UNDERLAYMENT AS В. SPECIFIED AND DETAILED.
 - CONTRACTOR SHALL PROVIDE AND INSTALL NEW TURTLE VENTS IN C. LOCATIONS DRAWN.
 - CONTRACTOR SHALL PROVIDE AND INSTALL NEW FLASHING AT VTR'S. CONTRACTOR SHALL PROVIDE AND INSTALL NEW ROOF SHINGLES AS
 - SPECIFIED AND DETAILED. CONTRACTOR SHALL PROVIDE AND INSTALL NEW RAKE AND EAVE TRIM. CONTRACTOR SHALL PROVIDE AND INSTALL NEW COUNTERFLASHING /

LEGEND		
	DEMOLITION MARK	
	NEW SHINGLES	
	EXISTING STANDING SEAM METAL ROOF TO REMAIN (TYP PORCH ROOF)	
VTR	VTR - EXISTING VENT THRU ROOF TO REMAIN. PROVIDE NEW BOOT.	
	TURTLE VENT - EXISTING VENT TO BE DEMOLISHED. INSTALL NEW SPECIFIED VENT IN EXISTING LOCATION.	

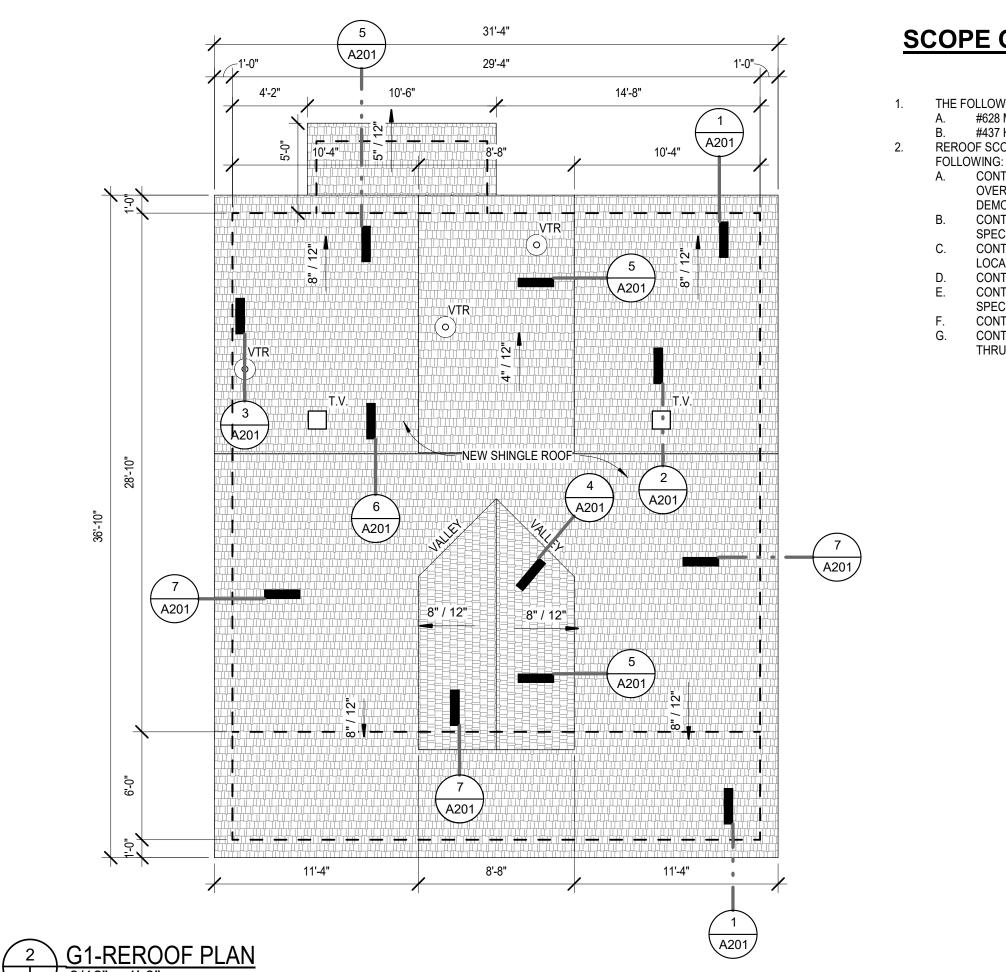


TYPE F4

TYPE G1



1.	THE A.	#
2.	B. DEM FOLL A.	
	В. С.	
	D.	
	E. F. G.	R C C F T
	H.	R C D
	I.	A C



SCOPE OF WORK BUILDING TYPE G1 DEMOLITION NOTES

LLOWING BUILDINGS ARE TYPE G1:

#628 MORRIS DRIVE

- #437 HOPE STREET
- TION SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE ING: CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE ROOFING
- MATERIAL. CONTRACTOR SHALL DEMOLISH ALL EXISTING UNDERLAYMENTS. CONTRACTOR SHALL DEMOLISH ALL PIPE BOOTS, CRICKETS AND
- OTHER PENETRATION FLASHINGS. CONTRACTOR SHALL DEMOLISH ALL TURTLE VENTS, THEN PREP THE ROOF OPENING FOR NEW VENTS.
- CONTRACTOR SHALL RETAIN IN PLACE ALL EXISTING VTR'S.
- CONTRACTOR SHALL DEMOLISH ALL EAVE AND RAKE TRIM.
- CONTRACTOR SHALL DEMOLISH ALL FLASHINGS AND COUNTER FLASHINGS NOT OTHERWISE NOTED TO REMAIN. EXISTING STEPPED
- THRU-WALL FLASHING SHALL REMAIN IN PLACE AND SHALL BE
- REUSED. CONTRACTOR SHALL DEMOLISH 5% OF THE EXISTING 5/8" CDX ROOF DECK. AREAS TO BE DEMOLISHED WILL BE DETERMINED BY THE
- ARCHITECT IN THE FIELD. CONTRACTOR SHALL PREPARE THE DECK FOR NEW WORK.

SCOPE OF WORK BUILDING TYPE G1 REROOF NOTES

1. THE FOLLOWING BUILDINGS ARE TYPE G1:

#628 MORRIS DRIVE #437 HOPE STREET

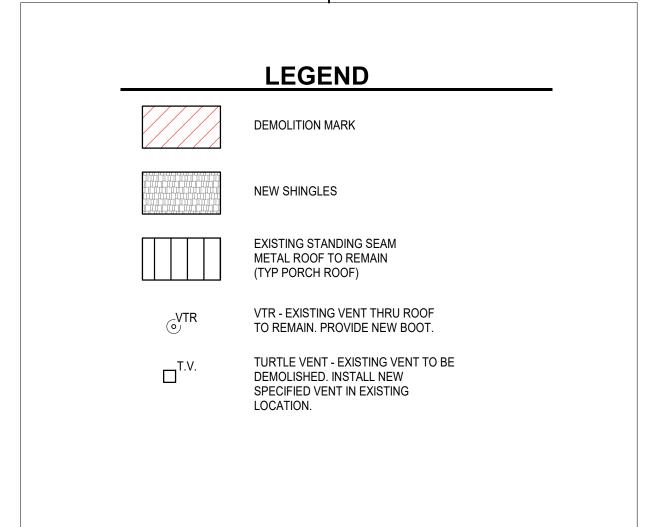
- REROOF SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE
 - CONTRACTOR SHALL PROVIDE AND INSTALL NEW 5/8" CDX ROOF DECK OVER 5% OF THE EXISTING DECK AREA, WHERE EXISTING DECK HAS BEEN
 - DEMOLISHED. CONTRACTOR SHALL PROVIDE AND INSTALL NEW UNDERLAYMENT AS
 - SPECIFIED AND DETAILED. CONTRACTOR SHALL PROVIDE AND INSTALL NEW TURTLE VENTS IN
 - LOCATIONS DRAWN.
 - CONTRACTOR SHALL PROVIDE AND INSTALL NEW FLASHING AT VTR'S. CONTRACTOR SHALL PROVIDE AND INSTALL NEW ROOF SHINGLES AS
 - SPECIFIED AND DETAILED. CONTRACTOR SHALL PROVIDE AND INSTALL NEW RAKE AND EAVE TRIM.
 - CONTRACTOR SHALL PROVIDE AND INSTALL NEW COUNTERFLASHING / THRU-WALL FLASHING.

SCOPE OF WORK BUILDING TYPE G2 DEMOLITION NOTES

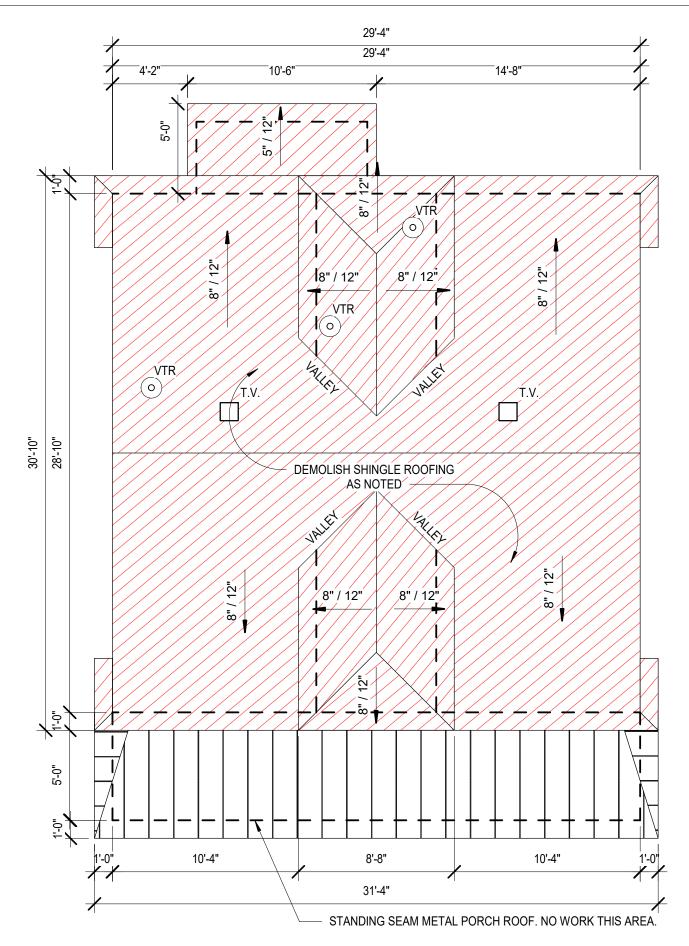
- THE FOLLOWING BUILDINGS ARE TYPE G2:
- #436 BRAUN STREET THE FOLLOWING SCOPE OF WORK APPLIES ONLY TO AREAS WITH SHINGLE ROOFING. THE STANDING SEAM METAL PORCH ROOF, INCLUDING ALL EXISTING TRIM, FLASHING, UNDERLAYMENTS AND ACCESSORIES, IS EXISTING AND SHALL REMAIN
- DEMOLITION SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING: Α. CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE ROOFING
- MATERIAL CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE UNDERLAYMENTS
- CONTRACTOR SHALL DEMOLISH ALL PIPE BOOTS, CRICKETS AND OTHER PENETRATION FLASHINGS.
- CONTRACTOR SHALL DEMOLISH ALL TURTLE VENTS, THEN PREP THE ROOF OPENING FOR NEW VENTS.
- CONTRACTOR SHALL RETAIN IN PLACE ALL EXISTING VTR'S. CONTRACTOR SHALL DEMOLISH ALL EAVE AND RAKE TRIM.
- CONTRACTOR SHALL DEMOLISH ALL FLASHINGS AND COUNTER FLASHINGS NOT OTHERWISE NOTED TO REMAIN. EXISTING THRU-WALL FLASHING SHALL REMAIN IN PLACE AND SHALL BE REUSED.
- CONTRACTOR SHALL DEMOLISH 5% OF THE EXISTING 5/8" CDX ROOF DECK. AREAS TO BE DEMOLISHED WILL BE DETERMINED BY THE ARCHITECT IN THE FIELD.
- CONTRACTOR SHALL PREPARE THE DECK FOR NEW WORK.

SCOPE OF WORK BUILDING TYPE G2 **REROOF NOTES**

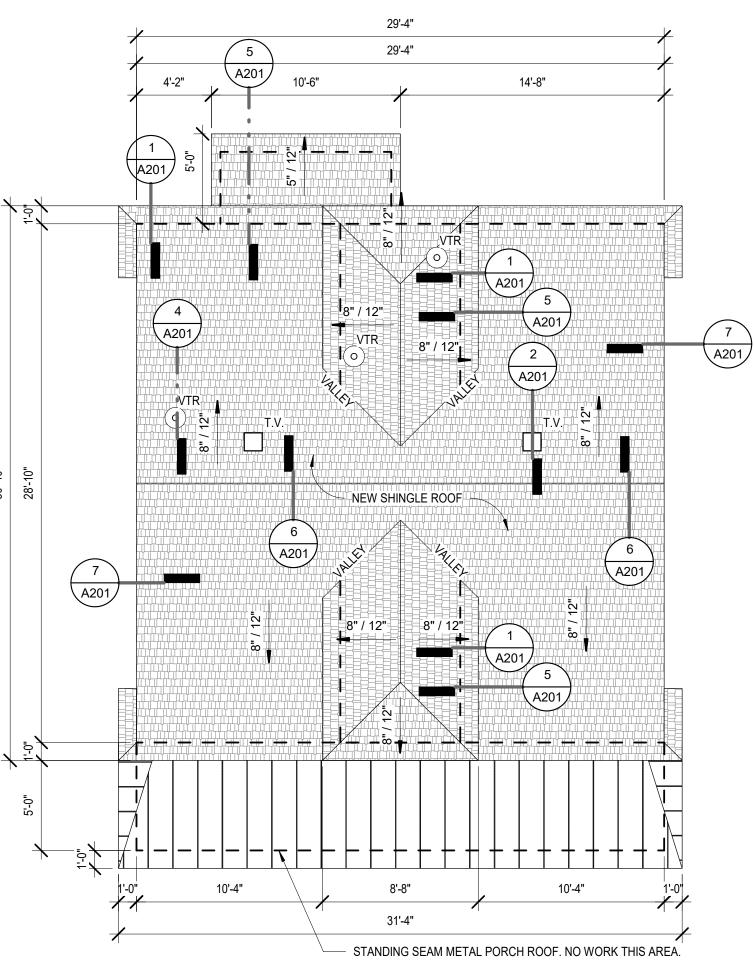
- 1. THE FOLLOWING BUILDINGS ARE TYPE G2:
- A. #436 BRAUN STREET
- THE FOLLOWING SCOPE OF WORK APPLIES ONLY TO AREAS WITH SHINGLE ROOFING. THE STANDING SEAM METAL PORCH ROOF, INCLUDING ALL EXISTING TRIM, FLASHING, UNDERLAYMENTS AND ACCESSORIES, IS EXISTING AND SHALL REMAIN 3.
 - REROOF SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING: CONTRACTOR SHALL PROVIDE AND INSTALL NEW 5/8" CDX ROOF DECK Α. OVER 5% OF THE EXISTING DECK AREA, WHERE EXISTING DECK HAS
 - BEEN DEMOLISHED OR WHERE PENETRATIONS ARE ABANDONED. CONTRACTOR SHALL PROVIDE AND INSTALL NEW UNDERLAYMENT AS Β. SPECIFIED AND DETAILED.
 - CONTRACTOR SHALL PROVIDE AND INSTALL NEW TURTLE VENTS IN C. LOCATIONS DRAWN.
 - CONTRACTOR SHALL PROVIDE AND INSTALL NEW FLASHING AT VTR'S. CONTRACTOR SHALL PROVIDE AND INSTALL NEW ROOF SHINGLES AS SPECIFIED AND DETAILED.
 - CONTRACTOR SHALL PROVIDE AND INSTALL NEW RAKE AND EAVE TRIM. CONTRACTOR SHALL PROVIDE AND INSTALL NEW COUNTERFLASHING / G THRU-WALL FLASHING.



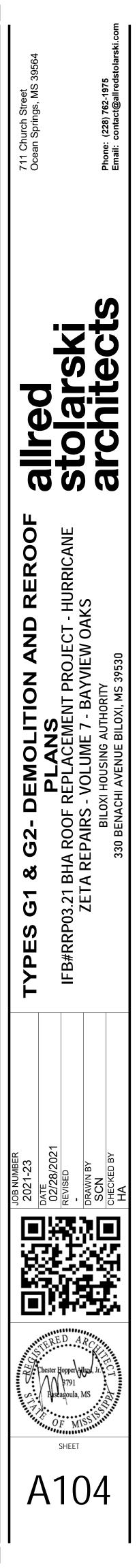
TYPE G2

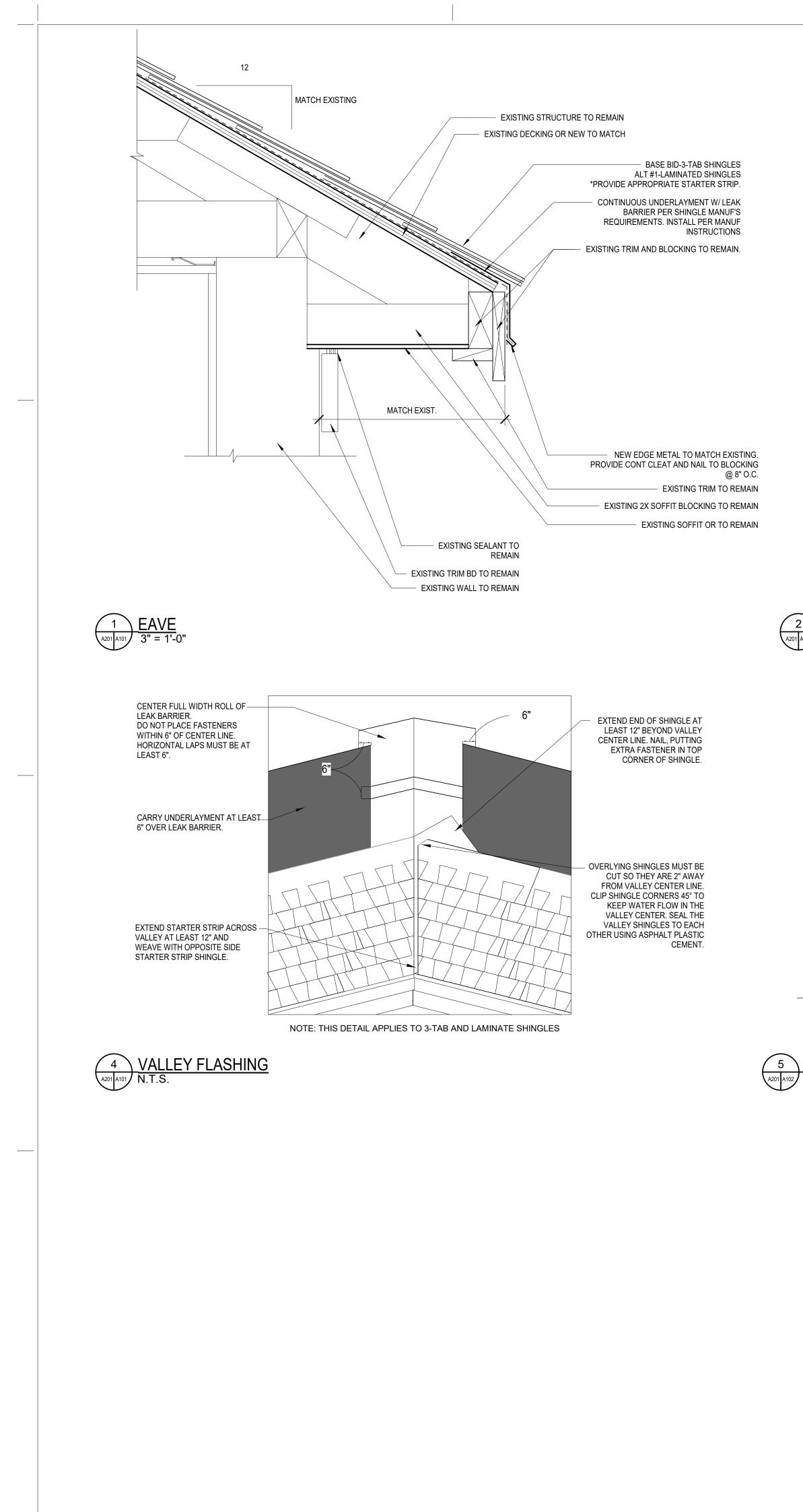


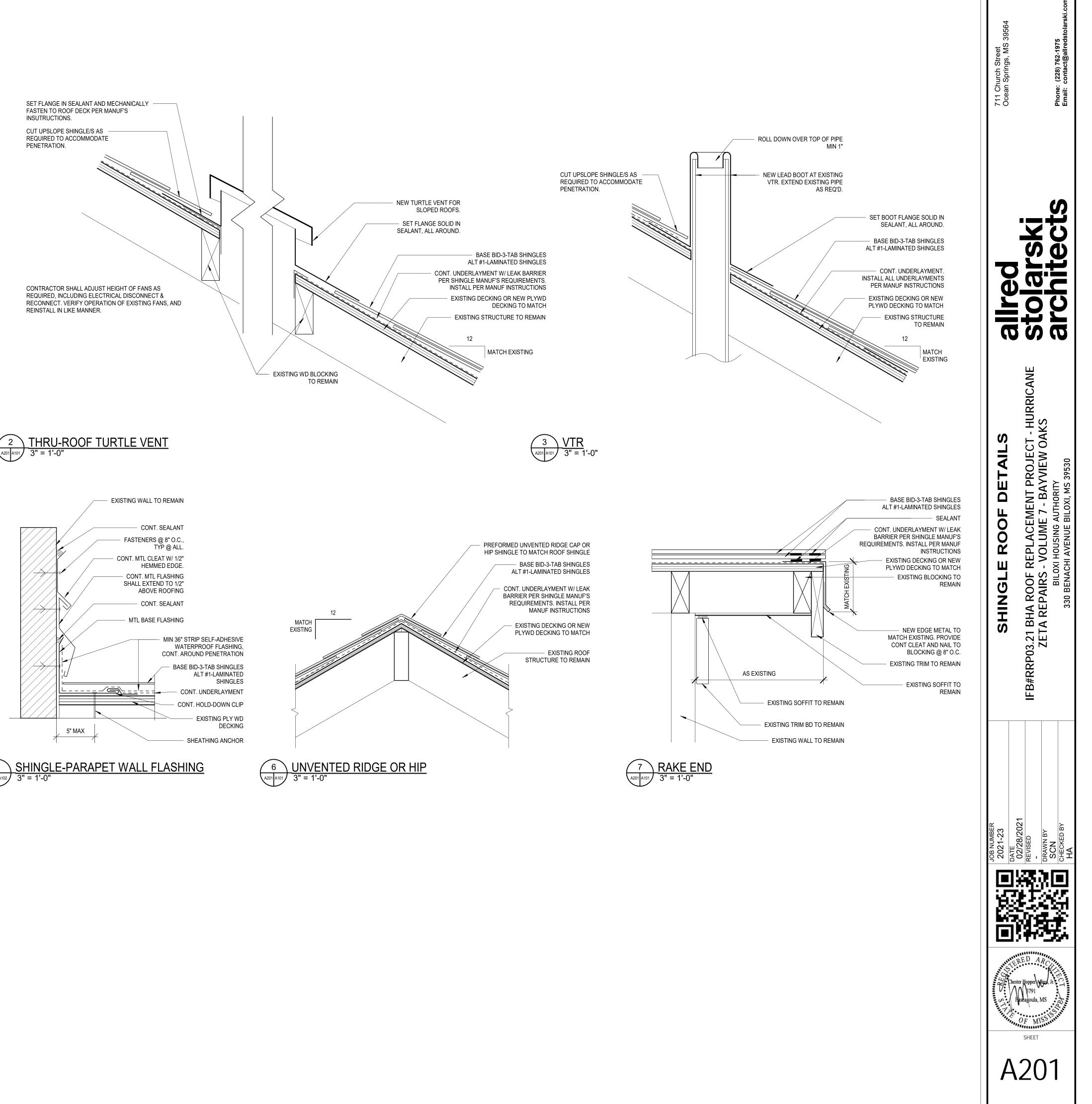
<u>3</u> G2-DEMOLITION PLAN



4 G2-REROOF PLAN



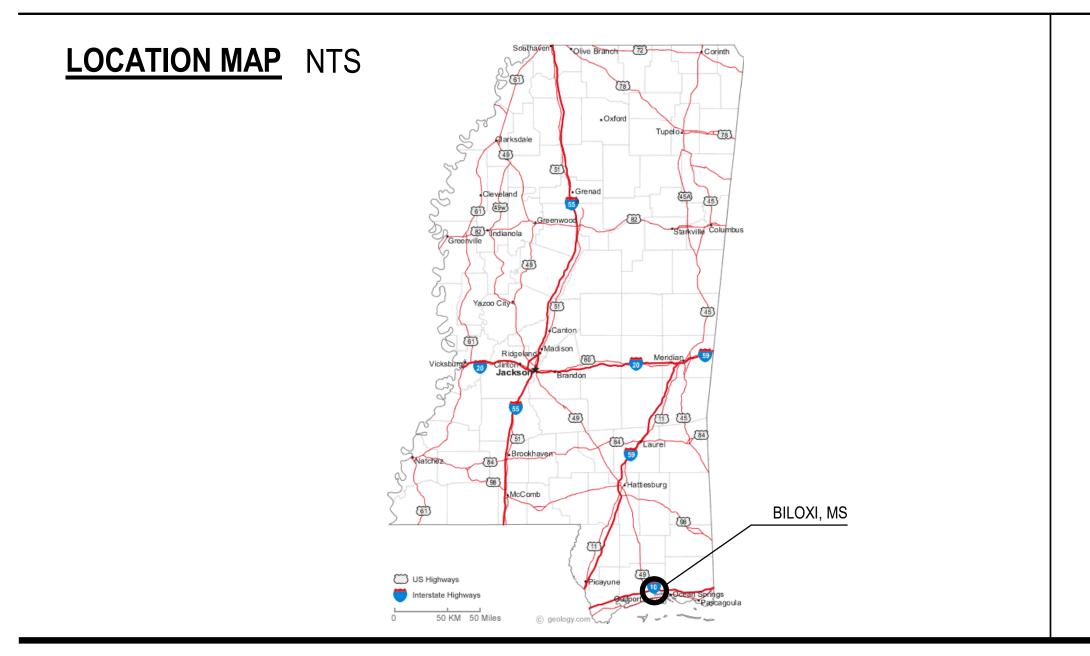




IFB#RRP03.21 BHA ROOF REPLACEMENT PROJECT - HURRICANE ZETA REPAIRS -VOLUME 8 - BAYVIEW PLACE

330 BENACHI AVENUE BILOXI, MS 39530

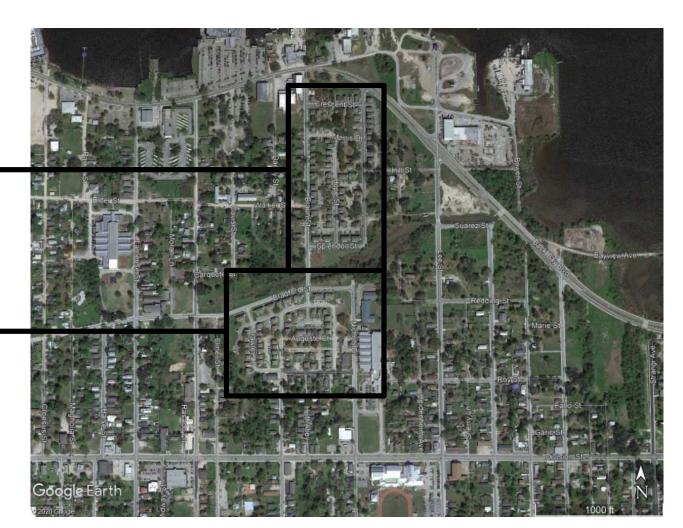
BILOXI HOUSING AUTHORITY



VICINITY MAP NTS

BAYVIEW PLACE NORTH

BAYVIEW PLACE



VOLUME 8 - DRAWING INDEX

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G000 TITLE SHEET

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A101	TYPES A1 & B1 - DEMOLITI
A102	TYPES B2 & C1 - DEMOLITI
A103	TYPES C2 & D1 - DEMOLITI
A104	TYPES E1 & G1 - DEMOLITI
A105	TYPES G2 & G3- DEMOLITI
A106	TYPES H1 & H2 - DEMOLITI
A107	TYPES H3 & I1 DEMOLITIO
A108	TYPES I2 & J1 - DEMOLITIC
A109	TYPES J2 & K1 - DEMOLITIO
A110	TYPES L1 & M1 - DEMOLITI
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ALTERNATES

WITH THE SPECIFICATIONS.

PRIORITY WORK 416 HOPE STREET 380 AUGUSTE COURT 337 AUGUSTE COURT

allred stolarski architects

INDEX - ARCHITECTURAL

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N AND REROOF PLANS

PROJ #: 2021-23

IFB#RRP03.21 BHA ROOF REPLACEMENT PROJECT HURRICANE ZETA REPAIRS - VOLUME 8 - BAYVIEW PLACE

> **BILOXI HOUSING AUTHORITY** 330 BENACHI AVENUE BILOXI, MS 39530

DATE: 02/28/2021

<u>SET TYPE</u> **BID SET**

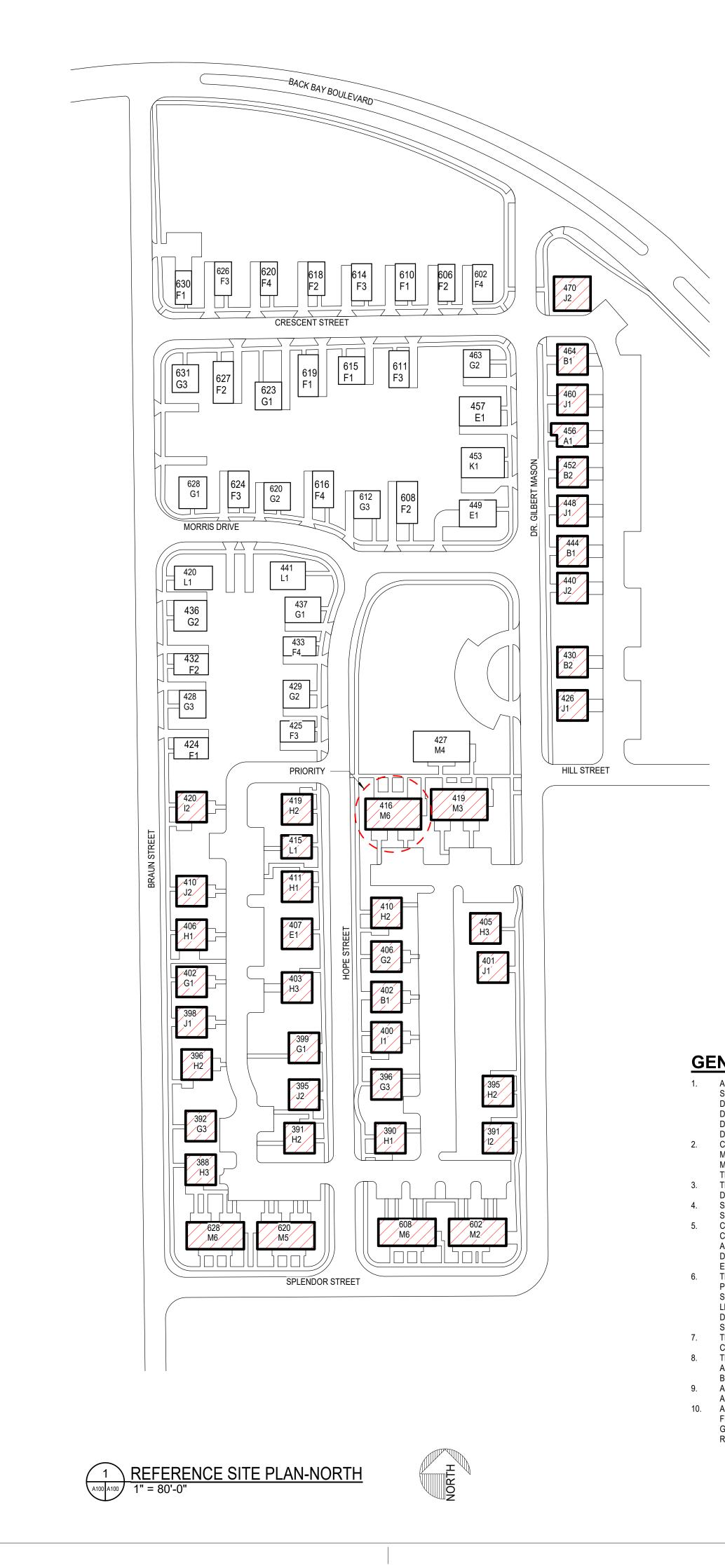
PROJECT TEAM ARCHITECT ALLRED STOLARSKI ARCHITECTS

711 CHURCH STREET OCEAN SPRINGS, MS 39564 **T** (228) 762-1975 HÔPPÝ ALLRED, AIA, PRINCIPAL ARCHITECT hoppy@allredstolarski.com

ALTERNATE #1: AN ADDITIVE ALTERNATE FOR ALL LABOR, MATERIALS, AND EQUIPMENT NECESSARY TO REROOF BUILDINGS AT BAYVIEW OAKS, COMPLETE AS INDICATED ON THE DRAWINGS AND IN ACCORDANCE WITH THE SPECIFICATIONS. ALTERNATE #2: AN ADDITIVE ALTERNATE FOR ALL LABOR, MATERIALS, AND EQUIPMENT NECESSARY TO INSTALL A LAMINATED SHINGLE ROOF IN LIEU OF THE BASE BID 3-TAB SHINGLE ROOF, COMPLETE AS INDICATED ON THE DRAWINGS AND IN ACCORDANCE

THE FOLLOWING LOCATIONS SHALL HAVE PRIORITY IN SCHEDULING:

711 Church Street Ocean Springs, MS 39564





2 A100 A100 T" = 80'-0"



GENERAL WORK NOTES

ALL INFORMATION REGARDING EXISTING CONDITIONS IS BASED ON OWNER SUPPLIED DOCUMENTS AND MAY NOT REFLECT ACTUAL FIELD CONDITIONS. UPON DISCOVERY OF ANY DISCREPANCIES BETWEEN FIELD CONDITIONS AND DRAWINGS DEPICTING EXISTING CONDITIONS OR UPON DISCOVERY OF UNKNOWN CONDITIONS DETRIMENTAL TO THE COMPLETION OF THE WORK AS INDICATED ON THE DRAWINGS, CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT IN WRITING. CONTRACTOR IS RESPONSIBLE FOR ALL SHORING AND BRACING NECESSARY TO MAINTAIN STRUCTURAL INTEGRITY. AT NO TIME SHALL THE EXISTING STRUCTURAL MEMBERS BE SUBJECTED TO CUTTING, DRILLING, OR ANY MODIFICATION PROCESS THAT MAY INTERFERE WITH ITS STRUCTURAL INTEGRITY.

THE GENERAL CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL DIMENSIONS AND CONDITIONS IN FIELD PRIOR TO BIDDING.

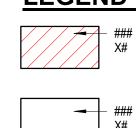
SALVAGE IS DEFINED AS THE CAREFUL REMOVAL AND RETAINING OF ITEMS AS SHOWN IN DRAWINGS FOR POSSIBLE REUSE OR DELIVERY TO OWNER CARE SHOULD BE TAKEN AT THE INTERFACE BETWEEN DEMOLITION AND EXISTING CONSTRUCTION TO REMAIN, TO AVOID ANY DAMAGE TO EXISTING CONSTRUCTION. AFTER REMOVAL OF EXISTING ROOFING OR CONSTRUCTION, PATCH AND REPAIR DAMAGE TO ANY EXISTING, WALLS, SIDEWALKS, PAVING, CURBS, LANDSCAPING, ETC. TO A LIKE NEW CONDITION.

THE CONTRACTOR SHALL NOTIFY, COORDINATE, SCHEDULE, AND RECEIVE PRIOR PERMISSION FROM THE USING AGENCY PRIOR TO ANY SHUT DOWN OF BUILDING SERVICES AS REQUIRED TO COMPLETE THE WORK. NOTIFICATION SHALL INCLUDE LENGTH OF TIME REQUIRED TO SHUT DOWN, LENGTH OF TIME SERVICE WILL BE DISCONNECTED, AND TIME REQUIRED TO RECONNECT SERVICES. SHUT DOWN SHALL NOT OCCUR DURING BUSINESS HOURS. THE EXISTING BUILDING ENVELOPE SHALL BE MAINTAINED IN A WATERTIGHT

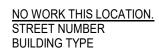
CONDITION AT ALL TIMES. THE CONTRACTOR SHALL PROVIDE TEMPORARY PROTECTION AS NECESSARY AND AS REQUIRED TO SEAL OFF THE REST OF THE EXISTING BUILDING AND MAINTAIN BUILDING DURING DEMOLITION.

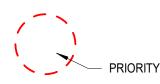
ALL DEMOLITION WORK SHALL BE EXECUTED IN CONFORMANCE WITH ALL CODES AND ORDINANCES AS SET FORTH BY ALL GOVERNING AUTHORITIES. ALL NEW DOWNSPOUTS AND GUTTERS SHALL MATCH THE SIZE, MATERIAL, AND FINISH OF EXISTING DOWNSPOUTS AND GUTTERS THAT SHALL BE DEMOLISHED. ALL GUTTERS SHALL BE BOX PROFILE. ALL DOWNSPOUTS SHALL BE PLAIN RECTANGULAR SECTION.

LEGEND

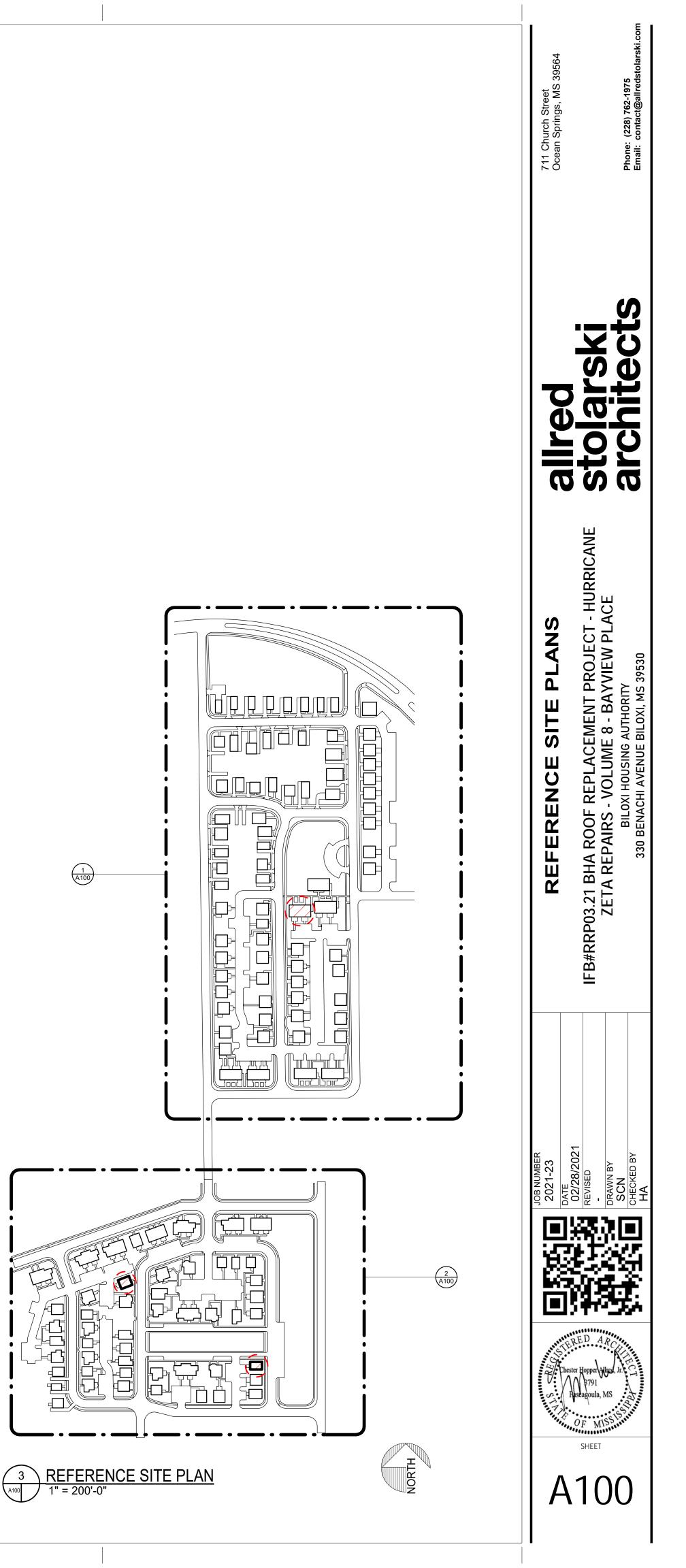


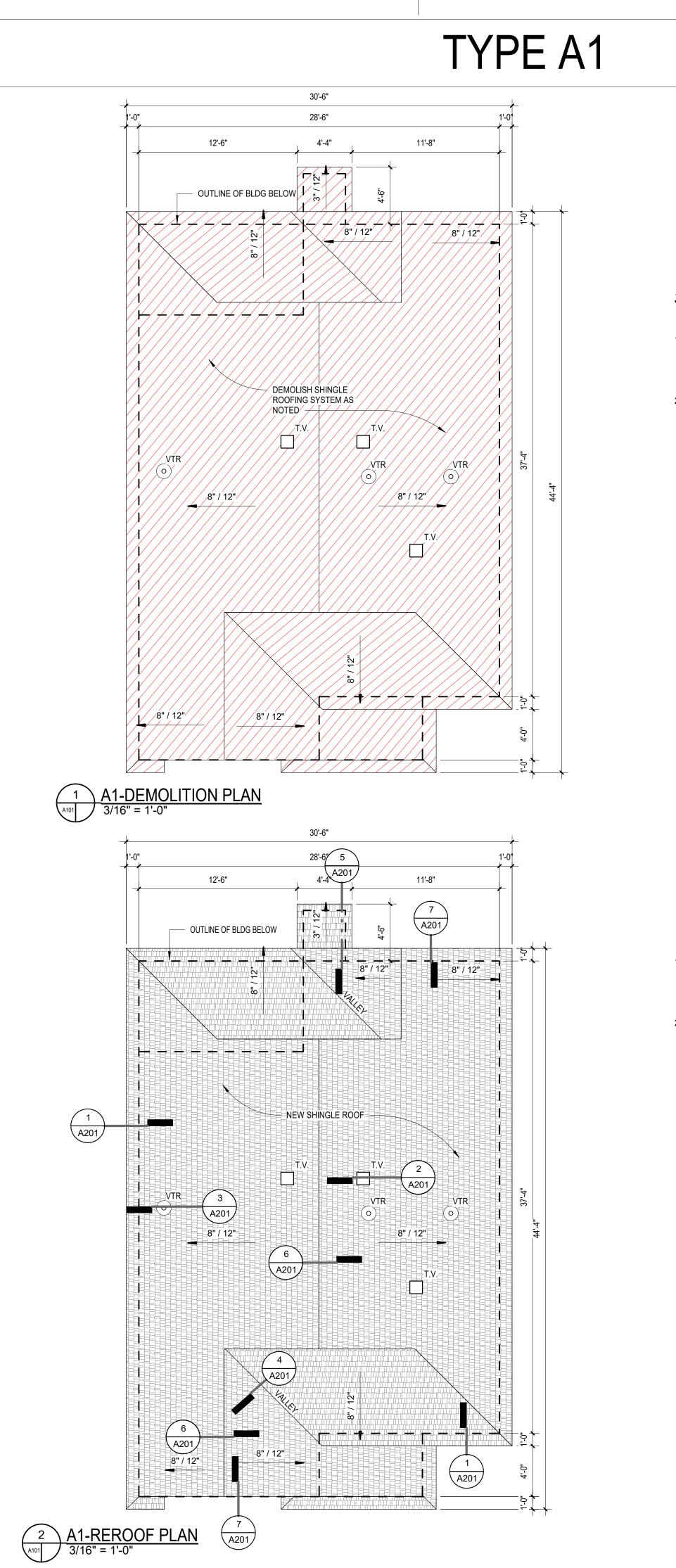
WORK THIS LOCATION STREET NUMBER BUILDING TYPE

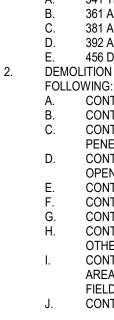




THIS BUILDING SHALL HAVE PRIORITY IN WORK SCHEDULING.







Α. C. D. G.

SCOPE OF WORK BUILDING TYPE A1

DEMOLITION NOTES

- 1. THE FOLLOWING BUILDINGS ARE TYPE A1: 341 TRAWLER LANE
 - 361 AUGUSTE COURT
 - 381 AUGUSTE COURT 392 AUGUSTE COURT
 - 456 DR. GILBERT MASON DEMOLITION SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE
 - CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE ROOFING MATERIAL CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE UNDERLAYMENTS.
 - CONTRACTOR SHALL DEMOLISH ALL PIPE BOOTS, CRICKETS AND OTHER PENETRATION FLASHINGS. CONTRACTOR SHALL DEMOLISH ALL TURTLE VENTS. THEN PREP THE ROOF
 - OPENING FOR A NEW VENT. CONTRACTOR SHALL RETAIN IN PLACE ALL EXISTING VTR'S.
 - CONTRACTOR SHALL RETAIN IN PLACE ALL GABLE VENTS.
 - CONTRACTOR SHALL DEMOLISH ALL EAVE AND RAKE TRIM. CONTRACTOR SHALL DEMOLISH ALL FLASHINGS AND COUNTER FLASHINGS NOT
 - OTHERWISE NOTED TO REMAIN. CONTRACTOR SHALL DEMOLISH 5% OF THE EXISTING 5/8" CDX ROOF DECK. AREAS TO BE DEMOLISHED WILL BE DETERMINED BY THE ARCHITECT IN THE
 - FIELD. CONTRACTOR SHALL PREPARE THE DECK FOR NEW WORK.

SCOPE OF WORK BUILDING TYPE A1 **REROOF NOTES**

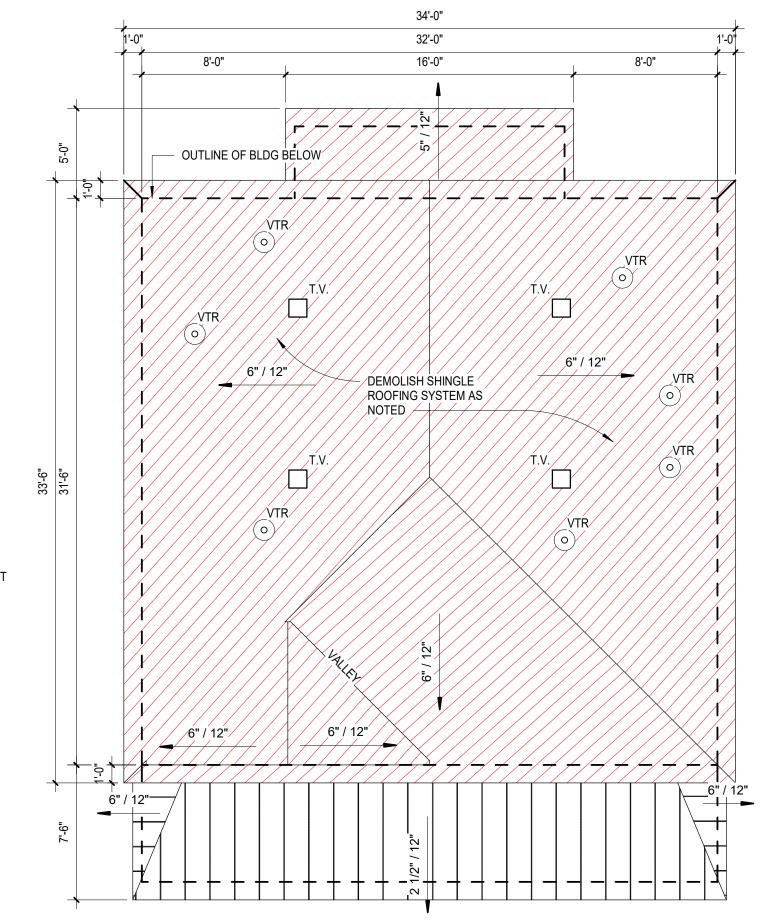
- THE FOLLOWING BUILDINGS ARE TYPE A1: 341 TRAWLER LANE
 - 361 AUGUSTE COURT
 - 381 AUGUSTE COURT 392 AUGUSTE COURT
 - 456 DR. GILBERT MASON
- REROOF SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING: CONTRACTOR SHALL PROVIDE AND INSTALL NEW 5/8" CDX ROOF DECK OVER 5% OF THE EXISTING DECK AREA, WHERE EXISTING DECK HAS BEEN
 - DEMOLISHED. CONTRACTOR SHALL PROVIDE AND INSTALL NEW UNDERLAYMENT AS
 - SPECIFIED AND DETAILED. CONTRACTOR SHALL PROVIDE AND INSTALL NEW TURTLE VENTS IN
 - LOCATIONS DRAWN. CONTRACTOR SHALL PROVIDE AND INSTALL NEW FLASHING AT GAS FLUES
 - AND VTR'S. CONTRACTOR SHALL PROVIDE AND INSTALL NEW ROOF SHINGLES AS SPECIFIED AND DETAILED.
 - CONTRACTOR SHALL PROVIDE AND INSTALL NEW RAKE AND EAVE TRIM. CONTRACTOR SHALL PROVIDE AND INSTALL NEW COUNTERFLASHING / THRU-WALL FLASHING.

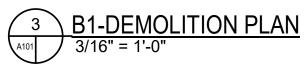
SCOPE OF WORK BUILDING TYPE B1 DEMOLITION NOTES

- THE FOLLOWING BUILDINGS ARE TYPE B1:
- 464 DR GILBERT MASON
- 444 DR GILBERT MASON 402 HOPE STREET
- 649 BRADFORD STREET

1.

- THE FOLLOWING SCOPE OF WORK APPLIES ONLY TO AREAS WITH SHINGLE ROOFING. THE STANDING SEAM METAL PORCH ROOF, INCLUDING ALL EXISTING TRIM, FLASHING, UNDERLAYMENTS AND ACCESSORIES, IS EXISTING AND SHALL REMAIN. DEMOLITION SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE
- FOLLOWING
- CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE ROOFING MATERIAL CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE UNDERLAYMENTS.
- CONTRACTOR SHALL DEMOLISH ALL PIPE BOOTS, CRICKETS AND OTHER PENETRATION FLASHINGS
- CONTRACTOR SHALL DEMOLISH ALL TURTLE VENTS, THEN PREP THE ROOF OPENING FOR A NEW VENT.
- CONTRACTOR SHALL RETAIN IN PLACE ALL EXISTING VTR'S.
- CONTRACTOR SHALL RETAIN IN PLACE ALL GABLE VENTS. CONTRACTOR SHALL DEMOLISH ALL EAVE AND RAKE TRIM.
- CONTRACTOR SHALL DEMOLISH ALL FLASHINGS AND COUNTER FLASHINGS NOT OTHERWISE NOTED TO REMAIN. CONTRACTOR SHALL DEMOLISH 5% OF THE EXISTING 5/8" CDX ROOF DECK.
- AREAS TO BE DEMOLISHED WILL BE DETERMINED BY THE ARCHITECT IN THE FIELD, U.N.O. CONTRACTOR SHALL PREPARE THE DECK FOR NEW WORK.
- 4. AT 649 BRADFORD STREET ONLY, CONTRACTOR SHALL DEMOLISH 100% OF THE EXISTING 5/8" CDX ROOF DECK.





SCOPE OF WORK BUILDING TYPE B1 **REROOF NOTES**

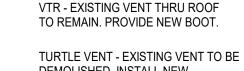
- THE FOLLOWING BUILDINGS ARE TYPE B1:
- 464 DR GILBERT MASON 444 DR GILBERT MASON
- 402 HOPE STREET
- 649 BRADFORD STREET
- THE FOLLOWING SCOPE OF WORK APPLIES ONLY TO AREAS WITH SHINGLE ROOFING. THE STANDING SEAM METAL PORCH ROOF, INCLUDING ALL EXISTING TRIM, FLASHING,
- UNDERLAYMENTS AND ACCESSORIES, IS EXISTING AND SHALL REMAIN. REROOF SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING: CONTRACTOR SHALL PROVIDE AND INSTALL NEW 5/8" CDX ROOF DECK OVER
- 5% OF THE EXISTING DECK AREA, WHERE EXISTING DECK HAS BEEN
- DEMOLISHED, U.N.O. CONTRACTOR SHALL PROVIDE AND INSTALL NEW UNDERLAYMENT AS
- SPECIFIED AND DETAILED.
- CONTRACTOR SHALL PROVIDE AND INSTALL NEW TURTLE VENTS IN LOCATIONS DRAWN.
- CONTRACTOR SHALL PROVIDE AND INSTALL NEW FLASHING AT GAS FLUES AND VTR'S.
- CONTRACTOR SHALL PROVIDE AND INSTALL NEW ROOF SHINGLES AS SPECIFIED AND DETAILED.
- CONTRACTOR SHALL PROVIDE AND INSTALL NEW RAKE AND EAVE TRIM.
- CONTRACTOR SHALL PROVIDE AND INSTALL NEW COUNTERFLASHING / THRU-WALL FLASHING. 4. AT 649 BRADFORD STREET ONLY, CONTRACTOR SHALL PROVIDE AND INSTALL NEW

_5/8" CDX ROOF DECK OVER 100% OF THE ROOF AREA.

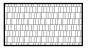
∖ A201 6" / 12 -

**** 5





DEMOLISHED. INSTALL NEW SPECIFIED VENT IN EXISTING LOCATION.



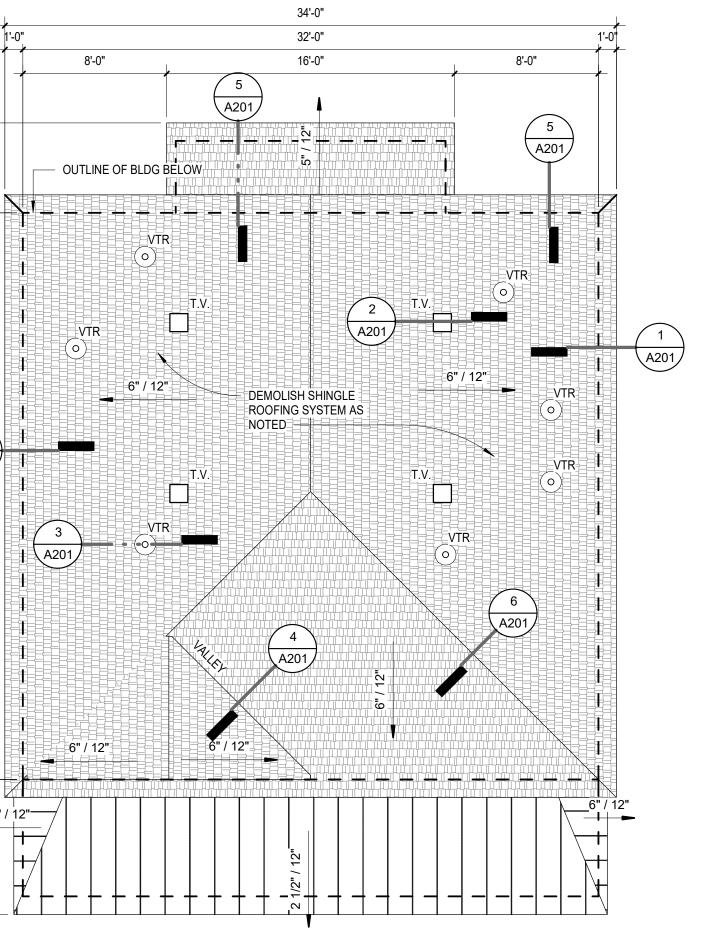


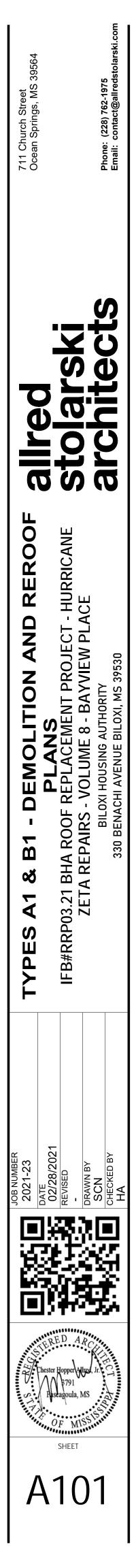
- VTR
- $\Box^{\mathsf{T}.\mathsf{V}.}$

- LEGEND
- DEMOLITION MARK

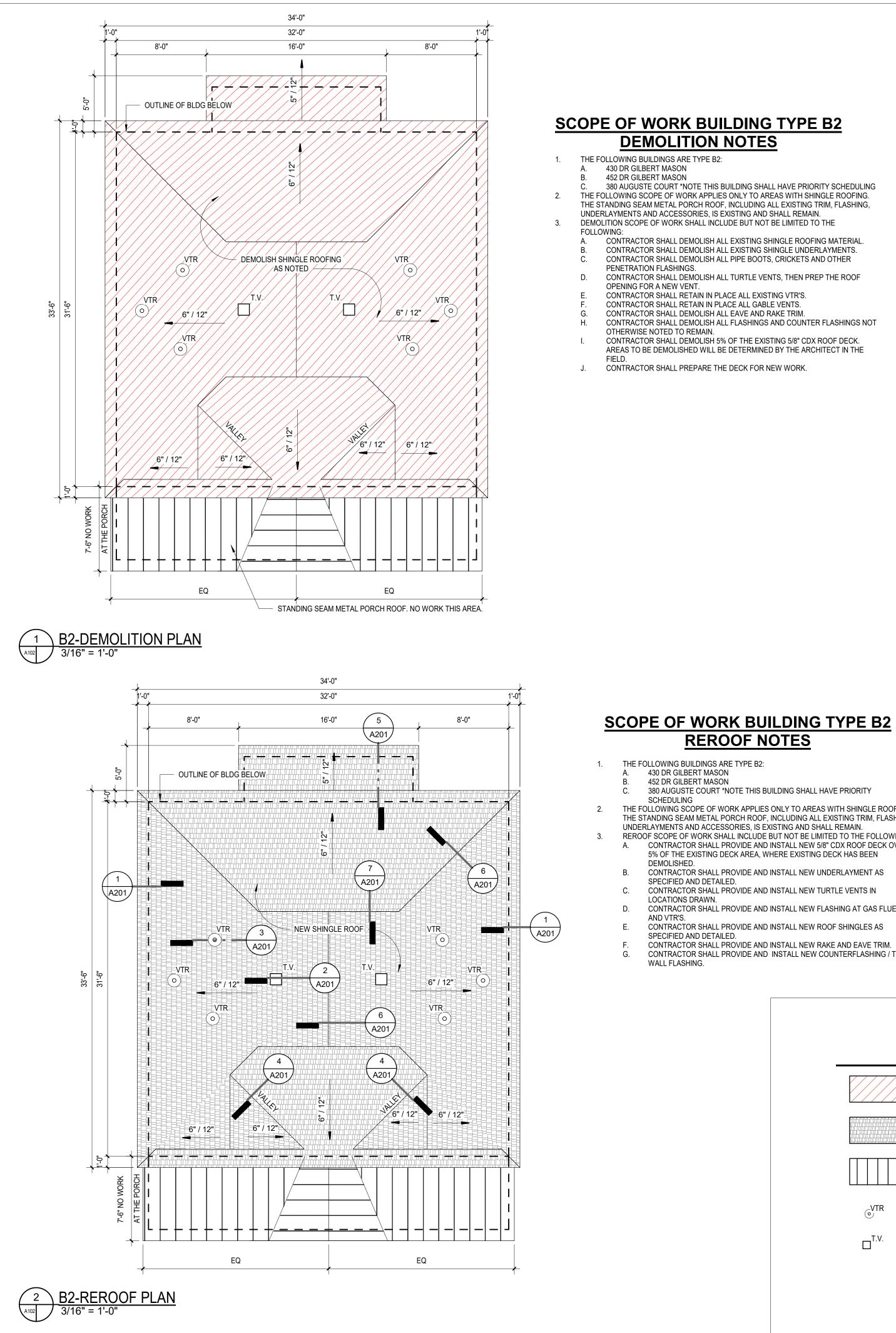
- - NEW SHINGLES EXISTING STANDING SEAM
 - METAL ROOF TO REMAIN (TYP PORCH ROOF)











380 AUGUSTE COURT *NOTE THIS BUILDING SHALL HAVE PRIORITY SCHEDULING THE FOLLOWING SCOPE OF WORK APPLIES ONLY TO AREAS WITH SHINGLE ROOFING. THE STANDING SEAM METAL PORCH ROOF, INCLUDING ALL EXISTING TRIM, FLASHING,

- CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE ROOFING MATERIAL CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE UNDERLAYMENTS. CONTRACTOR SHALL DEMOLISH ALL PIPE BOOTS, CRICKETS AND OTHER
- CONTRACTOR SHALL DEMOLISH ALL FLASHINGS AND COUNTER FLASHINGS NOT CONTRACTOR SHALL DEMOLISH 5% OF THE EXISTING 5/8" CDX ROOF DECK.

SCOPE OF WORK BUILDING TYPE C1 DEMOLITION NOTES

- THE FOLLOWING BUILDINGS ARE TYPE C1: 1 343 AUGUSTE COURT
- 390 AUGUSTE COURT 632 ROY STREET
- THE FOLLOWING SCOPE OF WORK APPLIES ONLY TO AREAS WITH SHINGLE ROOFING THE STANDING SEAM METAL PORCH ROOF, INCLUDING ALL EXISTING TRIM, FLASHING, UNDERLAYMENTS AND ACCESSORIES, IS EXISTING AND SHALL REMAIN. DEMOLITION SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE
- FOLLOWING CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE ROOFING MATERIAL.
- CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE UNDERLAYMENTS. CONTRACTOR SHALL DEMOLISH ALL PIPE BOOTS, CRICKETS AND OTHER PENETRATION FLASHINGS
- CONTRACTOR SHALL DEMOLISH ALL TURTLE VENTS, THEN PREP THE ROOF OPENING FOR A NEW VENT.
- CONTRACTOR SHALL RETAIN IN PLACE ALL EXISTING VTR'S. CONTRACTOR SHALL RETAIN IN PLACE ALL GABLE VENTS.
- CONTRACTOR SHALL DEMOLISH ALL EAVE AND RAKE TRIM.
- CONTRACTOR SHALL DEMOLISH ALL FLASHINGS AND COUNTER FLASHINGS NOT OTHERWISE NOTED TO REMAIN.
- CONTRACTOR SHALL DEMOLISH 5% OF THE EXISTING 5/8" CDX ROOF DECK. AREAS TO BE DEMOLISHED WILL BE DETERMINED BY THE ARCHITECT IN THE FIELD.
- J. CONTRACTOR SHALL PREPARE THE DECK FOR NEW WORK.



SCOPE OF WORK BUILDING TYPE C1 REROOF NOTES

- THE FOLLOWING BUILDINGS ARE TYPE C1:
- 343 AUGUSTE COURT 390 AUGUSTE COURT
- 632 ROY STREET

2.

- THE FOLLOWING SCOPE OF WORK APPLIES ONLY TO AREAS WITH SHINGLE ROOFING. THE STANDING SEAM METAL PORCH ROOF, INCLUDING ALL EXISTING TRIM, FLASHING,
- UNDERLAYMENTS AND ACCESSORIES, IS EXISTING AND SHALL REMAIN. REROOF SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING CONTRACTOR SHALL PROVIDE AND INSTALL NEW 5/8" CDX ROOF DECK OVER
- 5% OF THE EXISTING DECK AREA, WHERE EXISTING DECK HAS BEEN DEMOLISHED.
- CONTRACTOR SHALL PROVIDE AND INSTALL NEW UNDERLAYMENT AS SPECIFIED AND DETAILED.
- CONTRACTOR SHALL PROVIDE AND INSTALL NEW TURTLE VENTS IN LOCATIONS DRAWN.
- CONTRACTOR SHALL PROVIDE AND INSTALL NEW FLASHING AT GAS FLUES
- AND VTR'S. CONTRACTOR SHALL PROVIDE AND INSTALL NEW ROOF SHINGLES AS
- SPECIFIED AND DETAILED.
- CONTRACTOR SHALL PROVIDE AND INSTALL NEW RAKE AND EAVE TRIM. CONTRACTOR SHALL PROVIDE AND INSTALL NEW COUNTERFLASHING / THRU-WALL FLASHING.

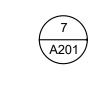
REROOF NOTES

- 380 AUGUSTE COURT *NOTE THIS BUILDING SHALL HAVE PRIORITY
- THE FOLLOWING SCOPE OF WORK APPLIES ONLY TO AREAS WITH SHINGLE ROOFING. THE STANDING SEAM METAL PORCH ROOF, INCLUDING ALL EXISTING TRIM, FLASHING, UNDERLAYMENTS AND ACCESSORIES, IS EXISTING AND SHALL REMAIN. REROOF SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING: CONTRACTOR SHALL PROVIDE AND INSTALL NEW 5/8" CDX ROOF DECK OVER
 - CONTRACTOR SHALL PROVIDE AND INSTALL NEW UNDERLAYMENT AS
 - CONTRACTOR SHALL PROVIDE AND INSTALL NEW TURTLE VENTS IN
 - CONTRACTOR SHALL PROVIDE AND INSTALL NEW FLASHING AT GAS FLUES
 - CONTRACTOR SHALL PROVIDE AND INSTALL NEW ROOF SHINGLES AS
 - CONTRACTOR SHALL PROVIDE AND INSTALL NEW RAKE AND EAVE TRIM. CONTRACTOR SHALL PROVIDE AND INSTALL NEW COUNTERFLASHING / THRU-

LEGEND DEMOLITION MARK NEW SHINGLES EXISTING STANDING SEAM METAL ROOF TO REMAIN (TYP PORCH ROOF) VTR - EXISTING VENT THRU ROOF ~VTR TO REMAIN. PROVIDE NEW BOOT.

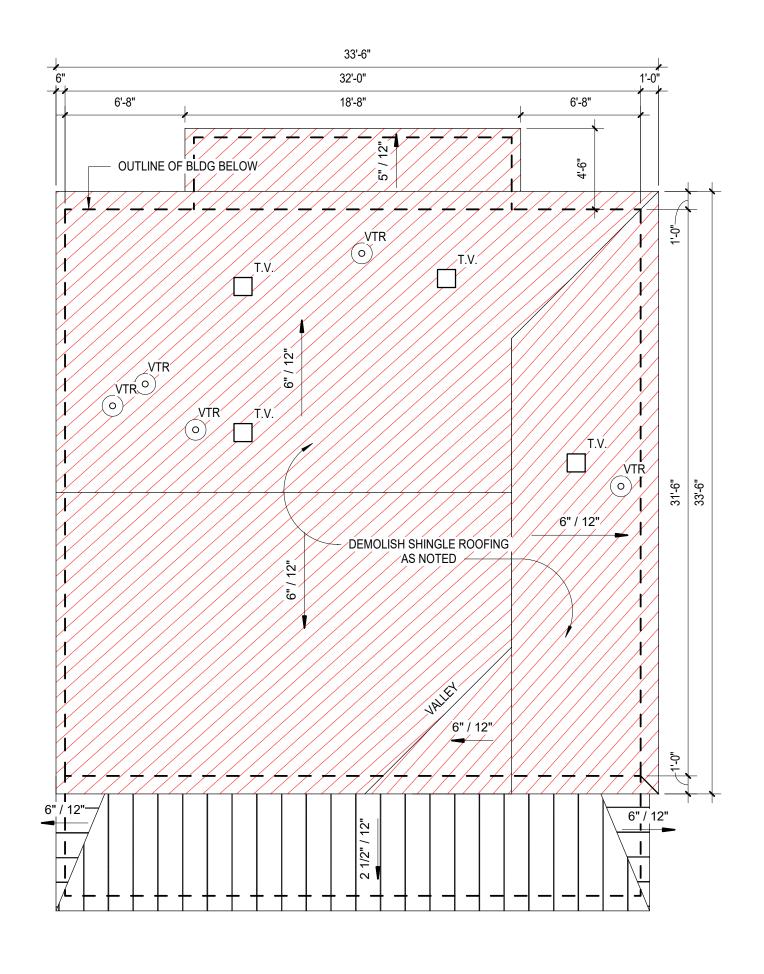
TURTLE VENT - EXISTING VENT TO BE

DEMOLISHED. INSTALL NEW SPECIFIED VENT IN EXISTING LOCATION.

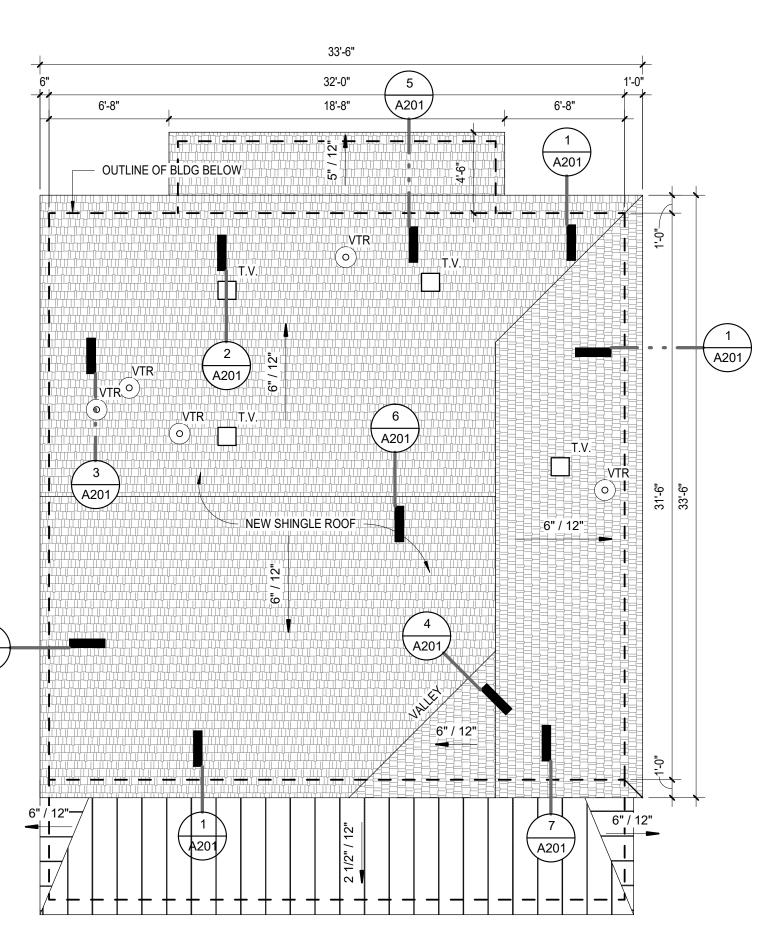




TYPE C1

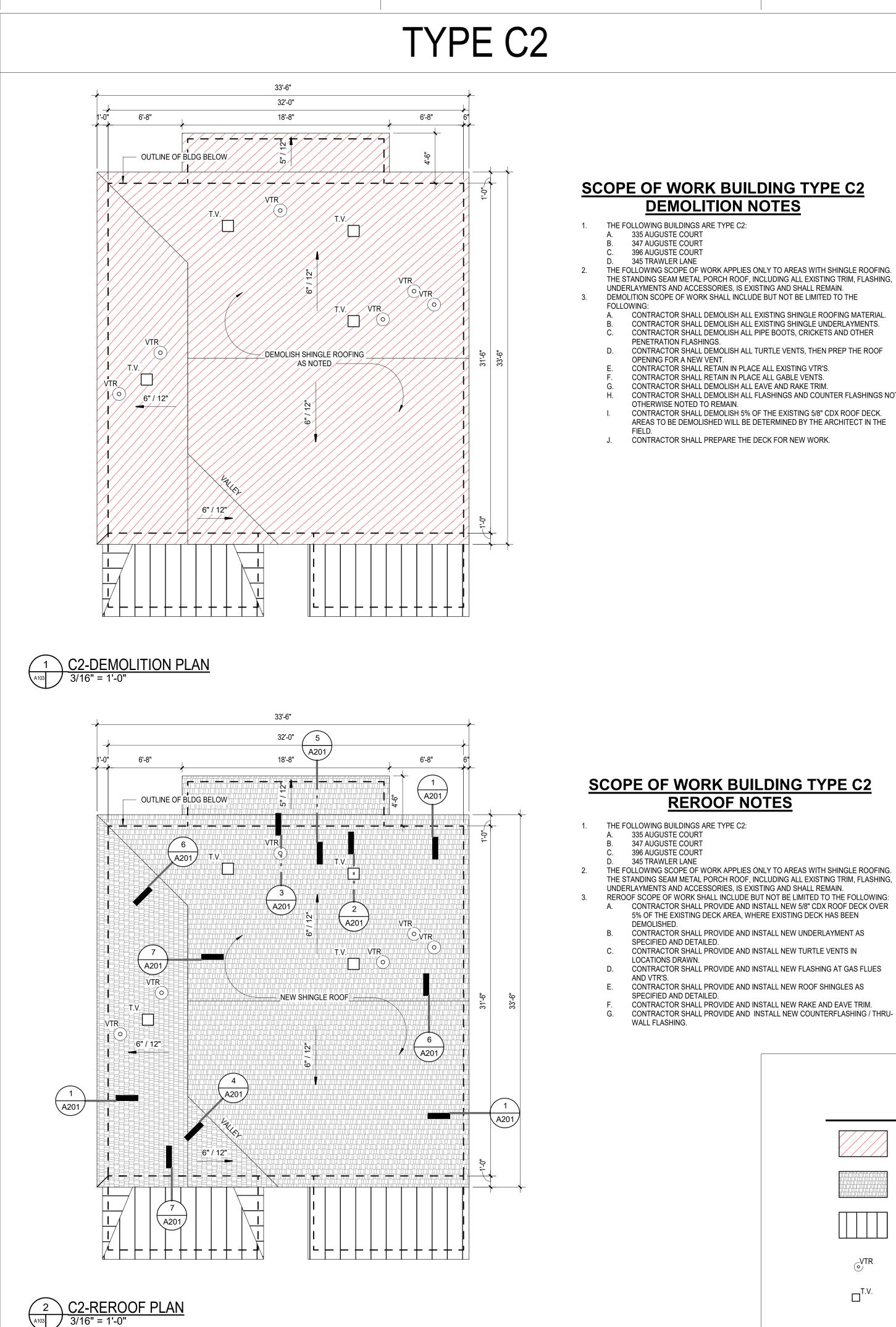


$\frac{1}{3/16"} = 1'-0"$



 $\frac{4}{3/16"} = 1'-0"$

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SCOPE OF WORK BUILDING TYPE C2 DEMOLITION NOTES

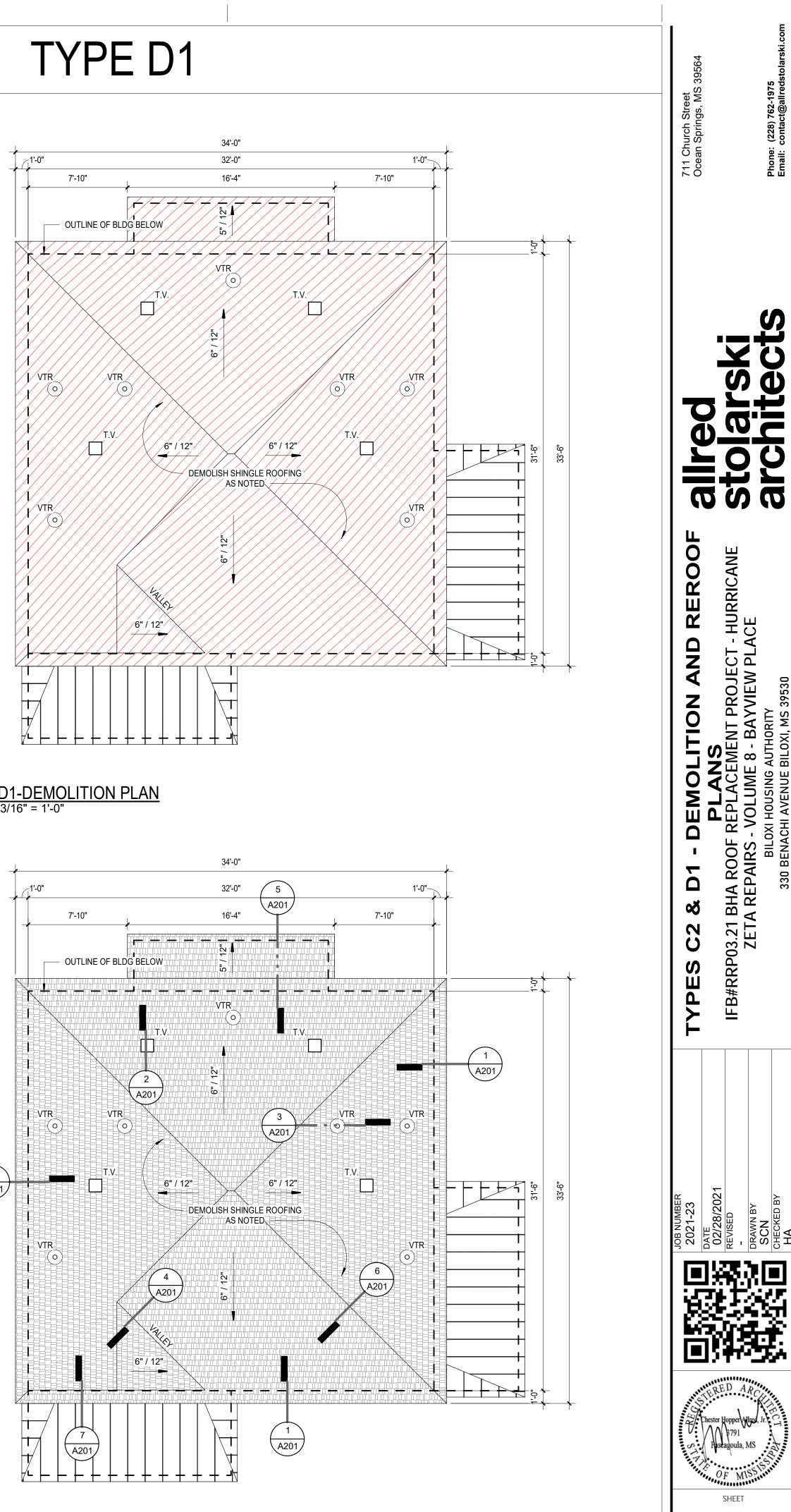
- THE FOLLOWING BUILDINGS ARE TYPE C2: 335 AUGUSTE COURT
 - 396 AUGUSTE COURT 345 TRAWLER LANE
- THE FOLLOWING SCOPE OF WORK APPLIES ONLY TO AREAS WITH SHINGLE ROOFING. THE STANDING SEAM METAL PORCH ROOF, INCLUDING ALL EXISTING TRIM, FLASHING, UNDERLAYMENTS AND ACCESSORIES, IS EXISTING AND SHALL REMAIN. DEMOLITION SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE
 - CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE ROOFING MATERIAL CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE UNDERLAYMENTS.
 - CONTRACTOR SHALL DEMOLISH ALL PIPE BOOTS, CRICKETS AND OTHER PENETRATION FLASHINGS
 - CONTRACTOR SHALL DEMOLISH ALL TURTLE VENTS, THEN PREP THE ROOF
 - OPENING FOR A NEW VENT. CONTRACTOR SHALL RETAIN IN PLACE ALL EXISTING VTR'S.
 - CONTRACTOR SHALL RETAIN IN PLACE ALL GABLE VENTS. CONTRACTOR SHALL DEMOLISH ALL EAVE AND RAKE TRIM.
 - CONTRACTOR SHALL DEMOLISH ALL FLASHINGS AND COUNTER FLASHINGS NOT OTHERWISE NOTED TO REMAIN.
 - CONTRACTOR SHALL DEMOLISH 5% OF THE EXISTING 5/8" CDX ROOF DECK. AREAS TO BE DEMOLISHED WILL BE DETERMINED BY THE ARCHITECT IN THE

J. CONTRACTOR SHALL PREPARE THE DECK FOR NEW WORK.

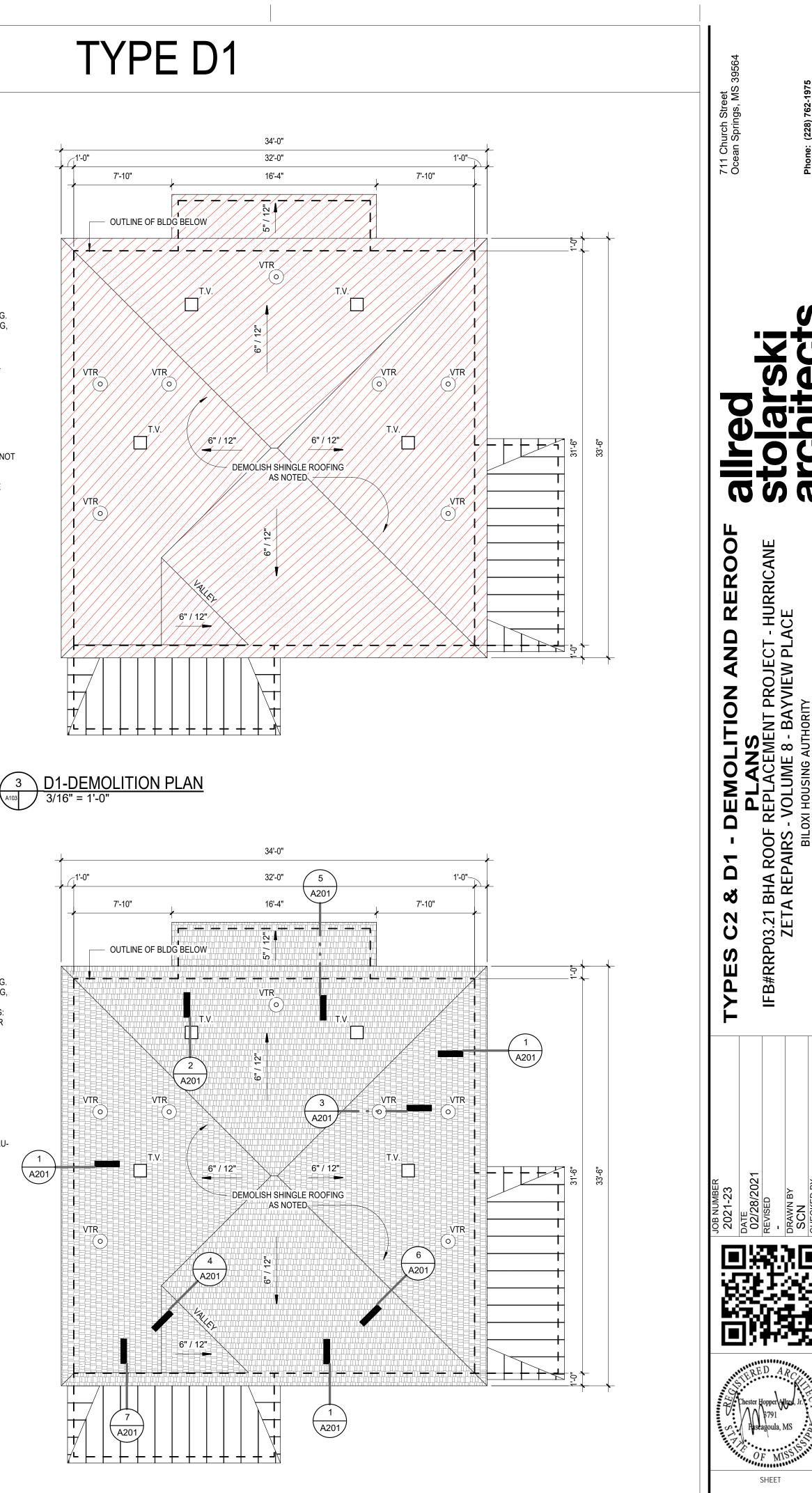
REROOF NOTES

SCOPE OF WORK BUILDING TYPE D1 **DEMOLITION NOTES**

- THE FOLLOWING BUILDINGS ARE TYPE D1:
- 343 TRAWLER LANE 339 TRAWLER LANE
- 338 TRAWLER LANE 395 AUGUSTE COURT
- THE FOLLOWING SCOPE OF WORK APPLIES ONLY TO AREAS WITH SHINGLE ROOFING. THE STANDING SEAM METAL PORCH ROOF, INCLUDING ALL EXISTING TRIM, FLASHING, UNDERLAYMENTS AND ACCESSORIES, IS EXISTING AND SHALL REMAIN.
- DEMOLITION SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING
- CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE ROOFING MATERIAL CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE UNDERLAYMENTS. CONTRACTOR SHALL DEMOLISH ALL PIPE BOOTS, CRICKETS AND OTHER PENETRATION FLASHINGS
- CONTRACTOR SHALL DEMOLISH ALL TURTLE VENTS, THEN PREP THE ROOF
- OPENING FOR A NEW VENT. CONTRACTOR SHALL RETAIN IN PLACE ALL EXISTING VTR'S.
- CONTRACTOR SHALL RETAIN IN PLACE ALL GABLE VENTS.
- CONTRACTOR SHALL DEMOLISH ALL EAVE AND RAKE TRIM. CONTRACTOR SHALL DEMOLISH ALL FLASHINGS AND COUNTER FLASHINGS NOT
- OTHERWISE NOTED TO REMAIN. CONTRACTOR SHALL DEMOLISH 5% OF THE EXISTING 5/8" CDX ROOF DECK. AREAS TO BE DEMOLISHED WILL BE DETERMINED BY THE ARCHITECT IN THE
- FIELD. CONTRACTOR SHALL PREPARE THE DECK FOR NEW WORK.



A103



SCOPE OF WORK BUILDING TYPE D1 REROOF NOTES

- THE FOLLOWING BUILDINGS ARE TYPE D1:
- 338 TRAWLER LANE

THE STANDING SEAM METAL PORCH ROOF, INCLUDING ALL EXISTING TRIM, FLASHING, UNDERLAYMENTS AND ACCESSORIES, IS EXISTING AND SHALL REMAIN. REROOF SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING: 3.

- CONTRACTOR SHALL PROVIDE AND INSTALL NEW 5/8" CDX ROOF DECK OVER 5% OF THE EXISTING DECK AREA, WHERE EXISTING DECK HAS BEEN
- CONTRACTOR SHALL PROVIDE AND INSTALL NEW UNDERLAYMENT AS
- CONTRACTOR SHALL PROVIDE AND INSTALL NEW TURTLE VENTS IN
- AND VTR'S.
- CONTRACTOR SHALL PROVIDE AND INSTALL NEW ROOF SHINGLES AS
- CONTRACTOR SHALL PROVIDE AND INSTALL NEW COUNTERFLASHING / THRU-WALL FLASHING.

DEMOLITION MARK



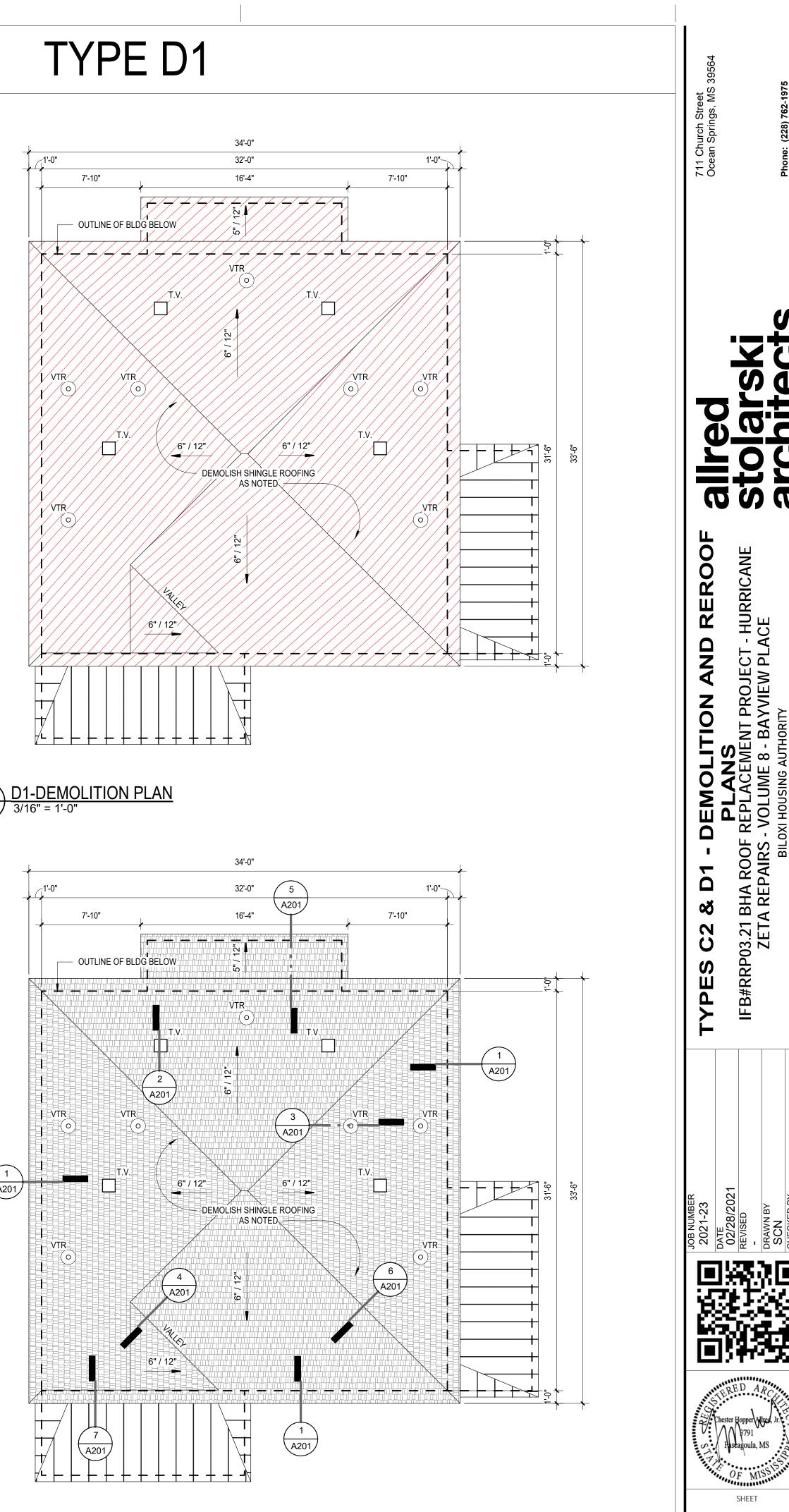


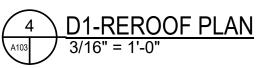
_VTR VTR - EXISTING VENT THRU ROOF TO REMAIN. PROVIDE NEW BOOT.

EXISTING STANDING SEAM

METAL ROOF TO REMAIN (TYP PORCH ROOF)

TURTLE VENT - EXISTING VENT TO BE DEMOLISHED. INSTALL NEW SPECIFIED VENT IN EXISTING LOCATION.







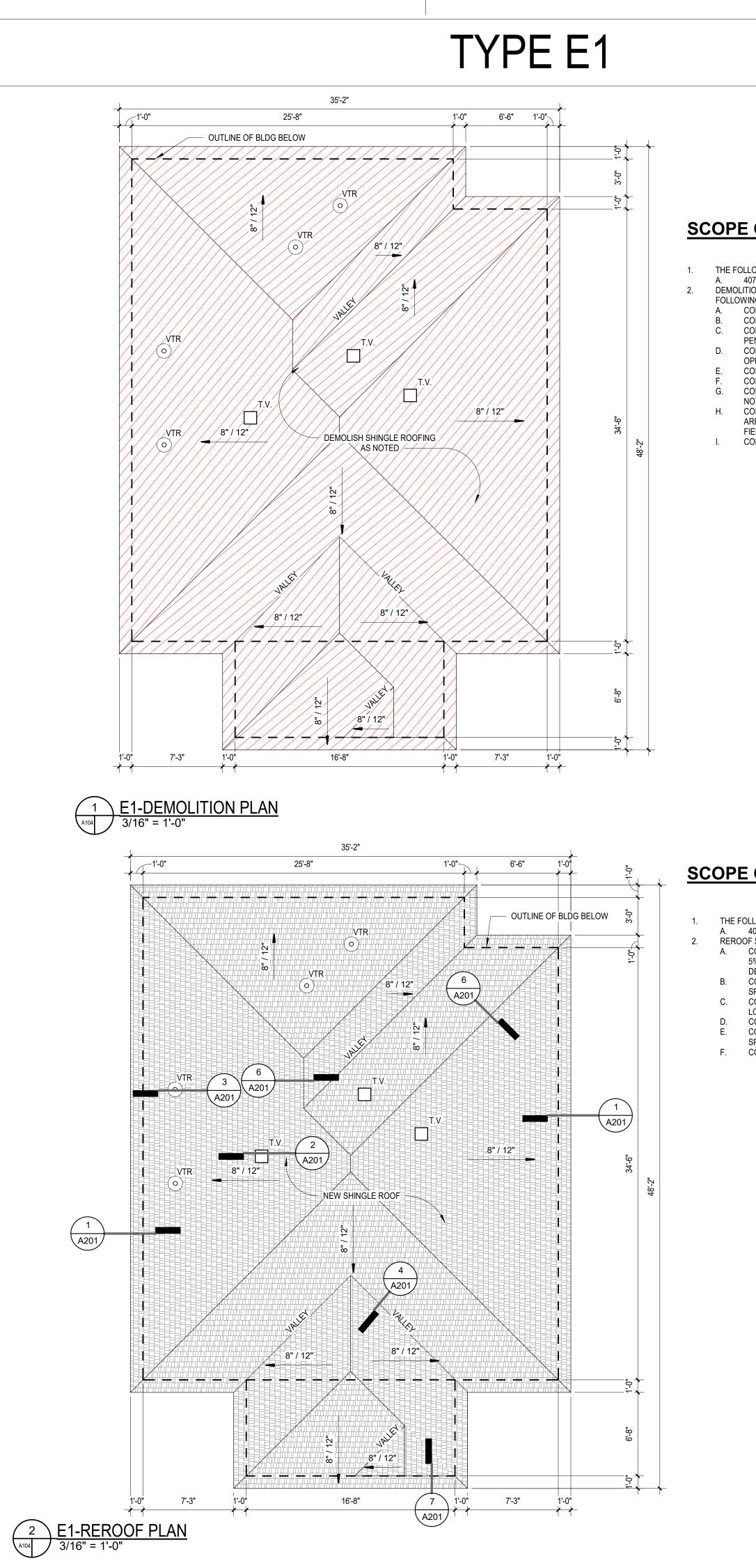
THE FOLLOWING SCOPE OF WORK APPLIES ONLY TO AREAS WITH SHINGLE ROOFING.

- DEMOLISHED.
- SPECIFIED AND DETAILED.
- LOCATIONS DRAWN.

- CONTRACTOR SHALL PROVIDE AND INSTALL NEW FLASHING AT GAS FLUES
- SPECIFIED AND DETAILED.
- CONTRACTOR SHALL PROVIDE AND INSTALL NEW RAKE AND EAVE TRIM.

LEGEND

NEW SHINGLES



SCOPE OF WORK BUILDING TYPE E1 DEMOLITION NOTES

THE FOLLOWING BUILDINGS ARE TYPE E1: 407 HOPE STREET

- DEMOLITION SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE
 - CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE ROOFING MATERIAL CONTRACTOR SHALL DEMOLISH ALL EXISTING UNDERLAYMENTS.
 - CONTRACTOR SHALL DEMOLISH ALL PIPE BOOTS, CRICKETS AND OTHER PENETRATION FLASHINGS CONTRACTOR SHALL DEMOLISH ALL TURTLE VENTS, THEN PREP THE ROOF
 - OPENING FOR NEW VENTS. CONTRACTOR SHALL RETAIN IN PLACE ALL EXISTING VTR'S.
 - CONTRACTOR SHALL DEMOLISH ALL EAVE AND RAKE TRIM.
 - CONTRACTOR SHALL DEMOLISH ALL FLASHINGS AND COUNTER FLASHINGS NOT OTHERWISE NOTED TO REMAIN.
 - CONTRACTOR SHALL DEMOLISH 5% OF THE EXISTING 5/8" CDX ROOF DECK. AREAS TO BE DEMOLISHED WILL BE DETERMINED BY THE ARCHITECT IN THE FIELD.

CONTRACTOR SHALL PREPARE THE DECK FOR NEW WORK.

SCOPE OF WORK BUILDING TYPE G1 DEMOLITION NOTES

- 1. THE FOLLOWING BUILDINGS ARE TYPE G1:
 - 399 HOPE STREET
 - 402 BRAUN STREET 340 TRAWLER LANE
 - 353 AUGUSTE COURT
- 2. DEMOLITION SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE ROOFING Α.
 - MATERIAL CONTRACTOR SHALL DEMOLISH ALL EXISTING UNDERLAYMENTS CONTRACTOR SHALL DEMOLISH ALL PIPE BOOTS, CRICKETS AND
 - OTHER PENETRATION FLASHINGS CONTRACTOR SHALL DEMOLISH ALL TURTLE VENTS, THEN PREP THE ROOF OPENING FOR NEW VENTS.
 - CONTRACTOR SHALL RETAIN IN PLACE ALL EXISTING VTR'S. CONTRACTOR SHALL DEMOLISH ALL EAVE AND RAKE TRIM.
 - CONTRACTOR SHALL DEMOLISH ALL FLASHINGS AND COUNTER FLASHINGS NOT OTHERWISE NOTED TO REMAIN. EXISTING STEPPED THRU-WALL FLASHING SHALL REMAIN IN PLACE AND SHALL BE REUSED.
 - CONTRACTOR SHALL DEMOLISH 5% OF THE EXISTING 5/8" CDX ROOF Η. DECK. AREAS TO BE DEMOLISHED WILL BE DETERMINED BY THE ARCHITECT IN THE FIELD.
 - CONTRACTOR SHALL PREPARE THE DECK FOR NEW WORK.

SCOPE OF WORK BUILDING TYPE G1

THE FOLLOWING BUILDINGS ARE TYPE G1:

399 HOPE STREET

402 BRAUN STREET 340 TRAWLER LANE

- 353 AUGUSTE COURT
- REROOF SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE 2. FOLLOWING: CONTRACTOR SHALL PROVIDE AND INSTALL NEW 5/8" CDX ROOF DECK Α. OVER 5% OF THE EXISTING DECK AREA, WHERE EXISTING DECK HAS BEEN
 - DEMOLISHED.
 - CONTRACTOR SHALL PROVIDE AND INSTALL NEW UNDERLAYMENT AS SPECIFIED AND DETAILED.
 - CONTRACTOR SHALL PROVIDE AND INSTALL NEW TURTLE VENTS IN LOCATIONS DRAWN.
 - CONTRACTOR SHALL PROVIDE AND INSTALL NEW FLASHING AT VTR'S. CONTRACTOR SHALL PROVIDE AND INSTALL NEW ROOF SHINGLES AS
 - SPECIFIED AND DETAILED. CONTRACTOR SHALL PROVIDE AND INSTALL NEW RAKE AND EAVE TRIM.
 - CONTRACTOR SHALL PROVIDE AND INSTALL NEW COUNTERFLASHING / THRU-WALL FLASHING.

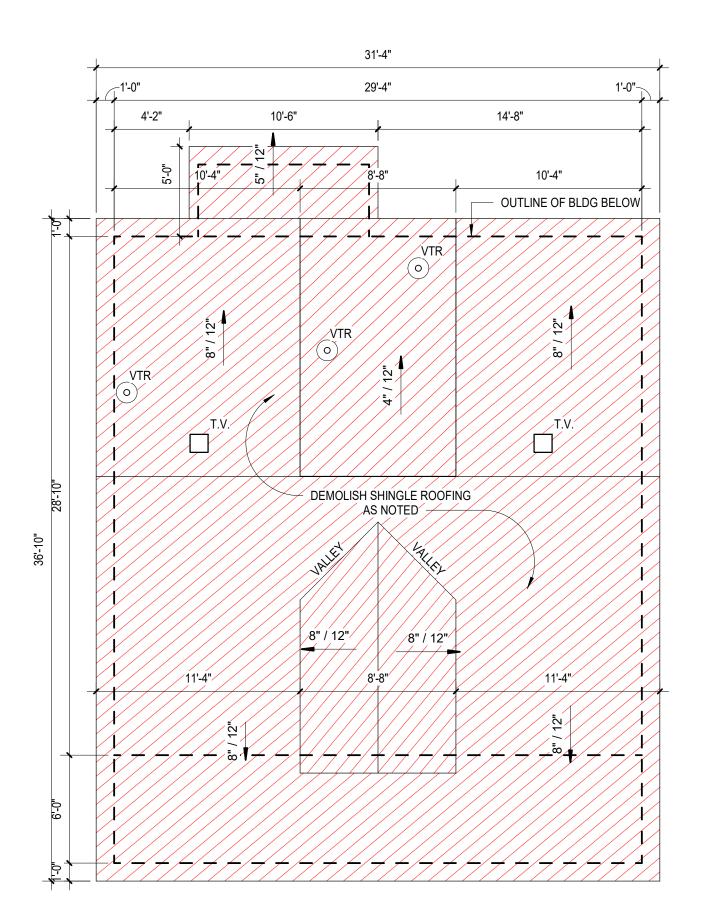
LEGEND DEMOLITION MARK NEW SHINGLES EXISTING STANDING SEAM METAL ROOF TO REMAIN (TYP PORCH ROOF) VTR - EXISTING VENT THRU ROOF ~VTR TO REMAIN. PROVIDE NEW BOOT. TURTLE VENT - EXISTING VENT TO BE $\Box^{\mathsf{T}.\mathsf{V}.}$ DEMOLISHED. INSTALL NEW SPECIFIED VENT IN EXISTING LOCATION.

SCOPE OF WORK BUILDING TYPE E1 REROOF NOTES

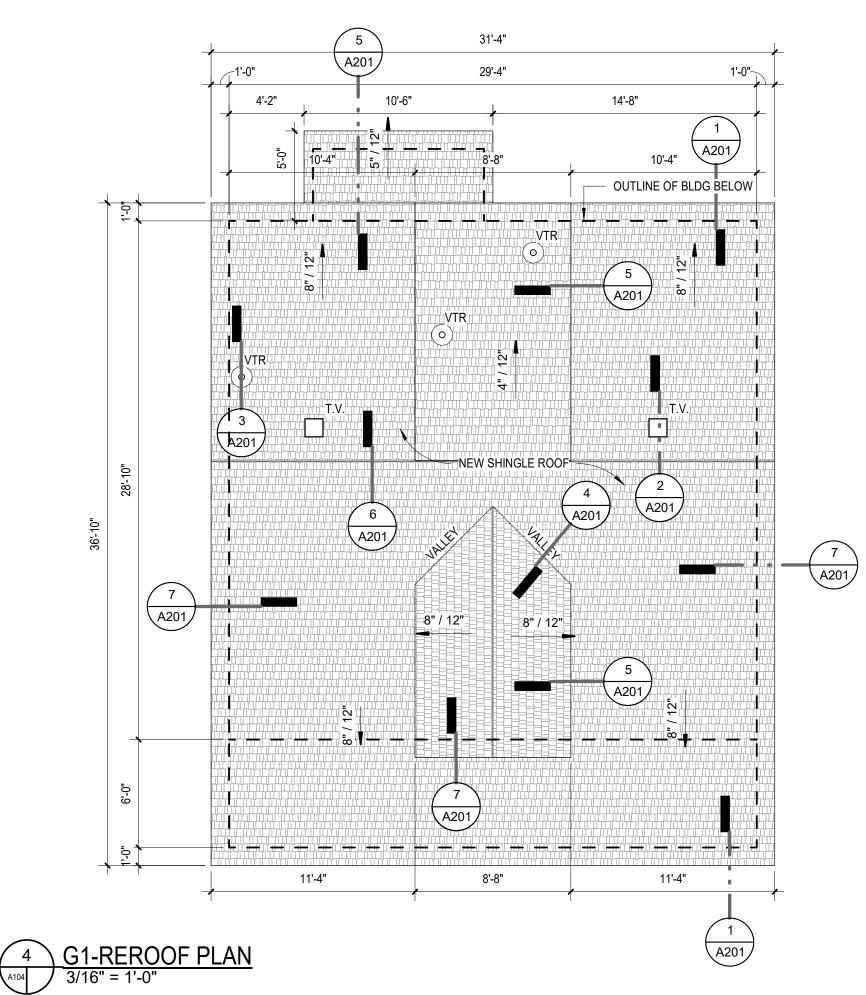
- THE FOLLOWING BUILDINGS ARE TYPE E1: A. 407 HOPE STREET
- REROOF SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING: CONTRACTOR SHALL PROVIDE AND INSTALL NEW 5/8" CDX ROOF DECK OVER 5% OF THE EXISTING DECK AREA, WHERE EXISTING DECK HAS BEEN
 - DEMOLISHED. CONTRACTOR SHALL PROVIDE AND INSTALL NEW UNDERLAYMENT AS
 - SPECIFIED AND DETAILED. CONTRACTOR SHALL PROVIDE AND INSTALL NEW TURTLE VENTS IN
 - LOCATIONS DRAWN. CONTRACTOR SHALL PROVIDE AND INSTALL NEW FLASHING AT VTR'S.
 - CONTRACTOR SHALL PROVIDE AND INSTALL NEW ROOF SHINGLES AS SPECIFIED AND DETAILED.
 - CONTRACTOR SHALL PROVIDE AND INSTALL NEW RAKE AND EAVE TRIM.

- **REROOF NOTES**

TYPE G1



3 G1-DEMOLITION PLAN3/16" = 1'-0"

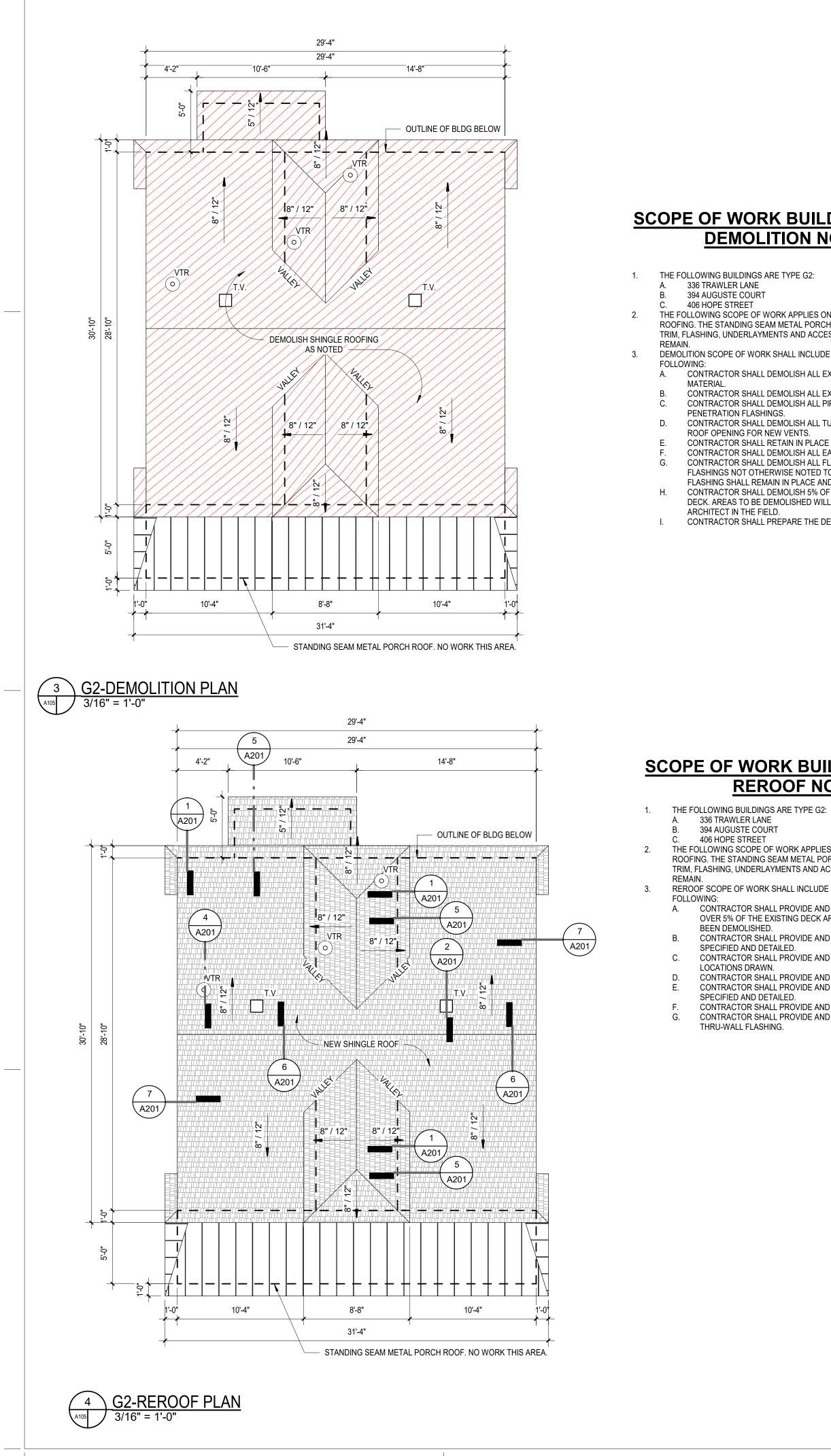


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TYPE G2



SCOPE OF WORK BUILDING TYPE G2 DEMOLITION NOTES

- THE FOLLOWING SCOPE OF WORK APPLIES ONLY TO AREAS WITH SHINGLE ROOFING. THE STANDING SEAM METAL PORCH ROOF, INCLUDING ALL EXISTING TRIM, FLASHING, UNDERLAYMENTS AND ACCESSORIES, IS EXISTING AND SHALL
- DEMOLITION SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE
 - CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE ROOFING CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE UNDERLAYMENTS.
 - CONTRACTOR SHALL DEMOLISH ALL PIPE BOOTS, CRICKETS AND OTHER CONTRACTOR SHALL DEMOLISH ALL TURTLE VENTS, THEN PREP THE
 - CONTRACTOR SHALL RETAIN IN PLACE ALL EXISTING VTR'S. CONTRACTOR SHALL DEMOLISH ALL EAVE AND RAKE TRIM.
 - CONTRACTOR SHALL DEMOLISH ALL FLASHINGS AND COUNTER FLASHINGS NOT OTHERWISE NOTED TO REMAIN. EXISTING THRU-WALL
 - FLASHING SHALL REMAIN IN PLACE AND SHALL BE REUSED. CONTRACTOR SHALL DEMOLISH 5% OF THE EXISTING 5/8" CDX ROOF DECK. AREAS TO BE DEMOLISHED WILL BE DETERMINED BY THE
 - CONTRACTOR SHALL PREPARE THE DECK FOR NEW WORK.

SCOPE OF WORK BUILDING TYPE G2

REROOF NOTES

THE FOLLOWING SCOPE OF WORK APPLIES ONLY TO AREAS WITH SHINGLE ROOFING. THE STANDING SEAM METAL PORCH ROOF, INCLUDING ALL EXISTING TRIM, FLASHING, UNDERLAYMENTS AND ACCESSORIES, IS EXISTING AND SHALL

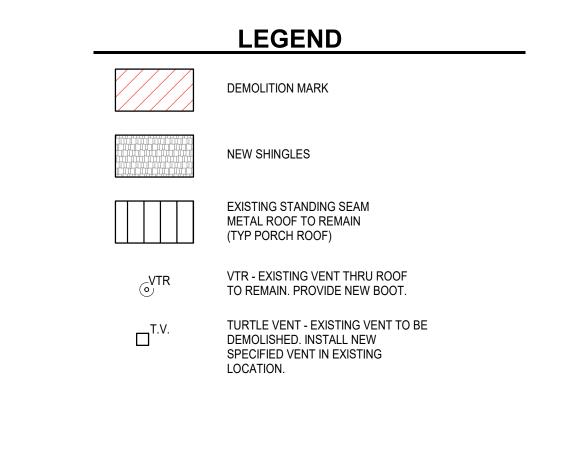
- REROOF SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE
 - CONTRACTOR SHALL PROVIDE AND INSTALL NEW 5/8" CDX ROOF DECK OVER 5% OF THE EXISTING DECK AREA, WHERE EXISTING DECK HAS
 - CONTRACTOR SHALL PROVIDE AND INSTALL NEW UNDERLAYMENT AS
 - CONTRACTOR SHALL PROVIDE AND INSTALL NEW TURTLE VENTS IN
 - CONTRACTOR SHALL PROVIDE AND INSTALL NEW FLASHING AT VTR'S.
 - CONTRACTOR SHALL PROVIDE AND INSTALL NEW ROOF SHINGLES AS
 - CONTRACTOR SHALL PROVIDE AND INSTALL NEW RAKE AND EAVE TRIM. CONTRACTOR SHALL PROVIDE AND INSTALL NEW COUNTERFLASHING /

SCOPE OF WORK BUILDING TYPE G3 DEMOLITION NOTES

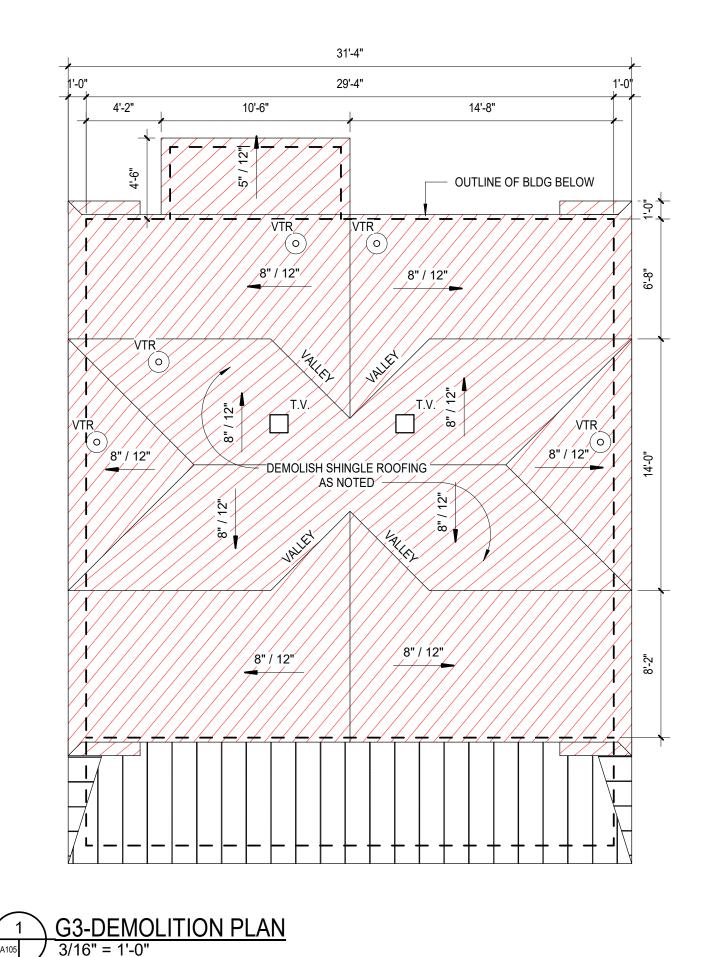
- THE FOLLOWING BUILDINGS ARE TYPE G3:
- 344 TRAWLER LANE 357 AUGUSTE COURT
- 397 AUGUSTE COURT 392 BRAUN STREET
- 396 HOPE STREET
- THE FOLLOWING SCOPE OF WORK APPLIES ONLY TO AREAS WITH SHINGLE ROOFING. THE STANDING SEAM METAL PORCH ROOF, INCLUDING ALL EXISTING TRIM, FLASHING, UNDERLAYMENTS AND ACCESSORIES, IS EXISTING AND SHALL REMAIN
- DEMOLITION SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE ROOFING Α.
- MATERIAL CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE UNDERLAYMENTS. CONTRACTOR SHALL DEMOLISH ALL PIPE BOOTS, CRICKETS AND OTHER
- PENETRATION FLASHINGS. CONTRACTOR SHALL DEMOLISH ALL TURTLE VENTS, THEN PREP THE
- ROOF OPENING FOR NEW VENTS.
- CONTRACTOR SHALL RETAIN IN PLACE ALL EXISTING VTR'S. CONTRACTOR SHALL DEMOLISH ALL EAVE AND RAKE TRIM.
- CONTRACTOR SHALL DEMOLISH ALL FLASHINGS AND COUNTER FLASHINGS NOT OTHERWISE NOTED TO REMAIN. EXISTING THRU-WALL FLASHING SHALL REMAIN IN PLACE AND SHALL BE REUSED.
- CONTRACTOR SHALL DEMOLISH 5% OF THE EXISTING 5/8" CDX ROOF н DECK. AREAS TO BE DEMOLISHED WILL BE DETERMINED BY THE ARCHITECT IN THE FIELD.
- CONTRACTOR SHALL PREPARE THE DECK FOR NEW WORK.

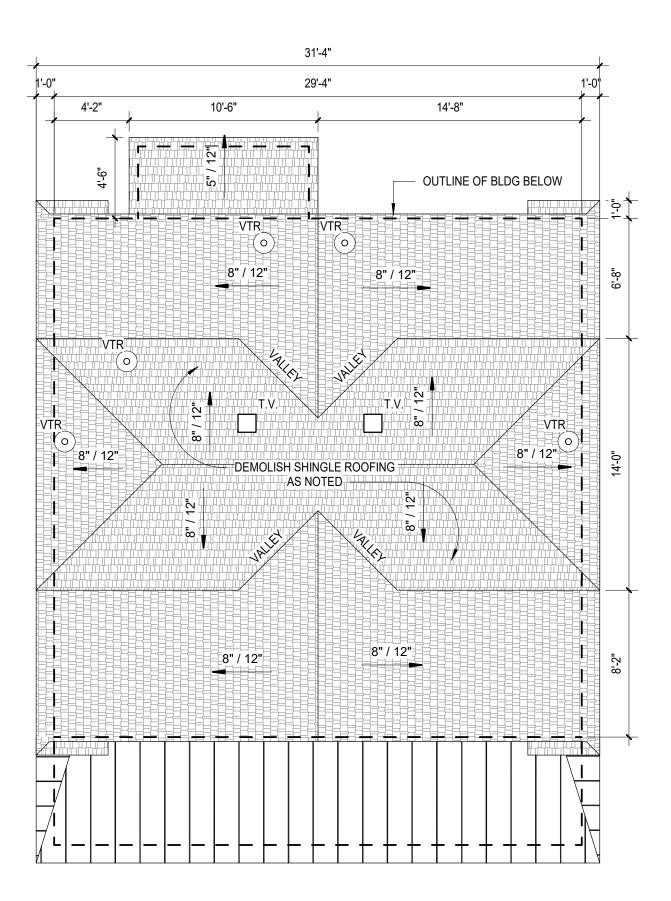
SCOPE OF WORK BUILDING TYPE G3 **REROOF NOTES**

- THE FOLLOWING BUILDINGS ARE TYPE G3:
- 344 TRAWLER LANE 357 AUGUSTE COURT
- 397 AUGUSTE COURT 392 BRAUN STREET
- 396 HOPE STREET
- THE FOLLOWING SCOPE OF WORK APPLIES ONLY TO AREAS WITH SHINGLE ROOFING. THE STANDING SEAM METAL PORCH ROOF, INCLUDING ALL EXISTING TRIM, FLASHING, UNDERLAYMENTS AND ACCESSORIES, IS EXISTING AND SHALL RFMAIN
- REROOF SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING: CONTRACTOR SHALL PROVIDE AND INSTALL NEW 5/8" CDX ROOF DECK Α. OVER 5% OF THE EXISTING DECK AREA, WHERE EXISTING DECK HAS
- BEEN DEMOLISHED. CONTRACTOR SHALL PROVIDE AND INSTALL NEW UNDERLAYMENT AS B SPECIFIED AND DETAILED.
- CONTRACTOR SHALL PROVIDE AND INSTALL NEW TURTLE VENTS IN LOCATIONS DRAWN.
- CONTRACTOR SHALL PROVIDE AND INSTALL NEW FLASHING AT VTR'S. CONTRACTOR SHALL PROVIDE AND INSTALL NEW ROOF SHINGLES AS
- SPECIFIED AND DETAILED. CONTRACTOR SHALL PROVIDE AND INSTALL NEW RAKE AND EAVE TRIM.
- CONTRACTOR SHALL PROVIDE AND INSTALL NEW COUNTERFLASHING / THRU-WALL FLASHING.

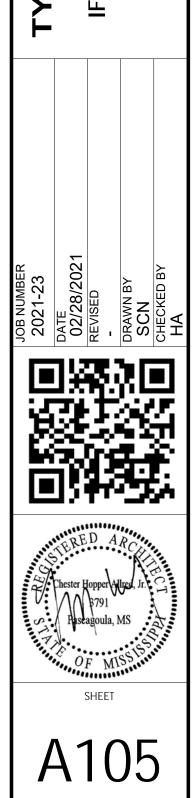








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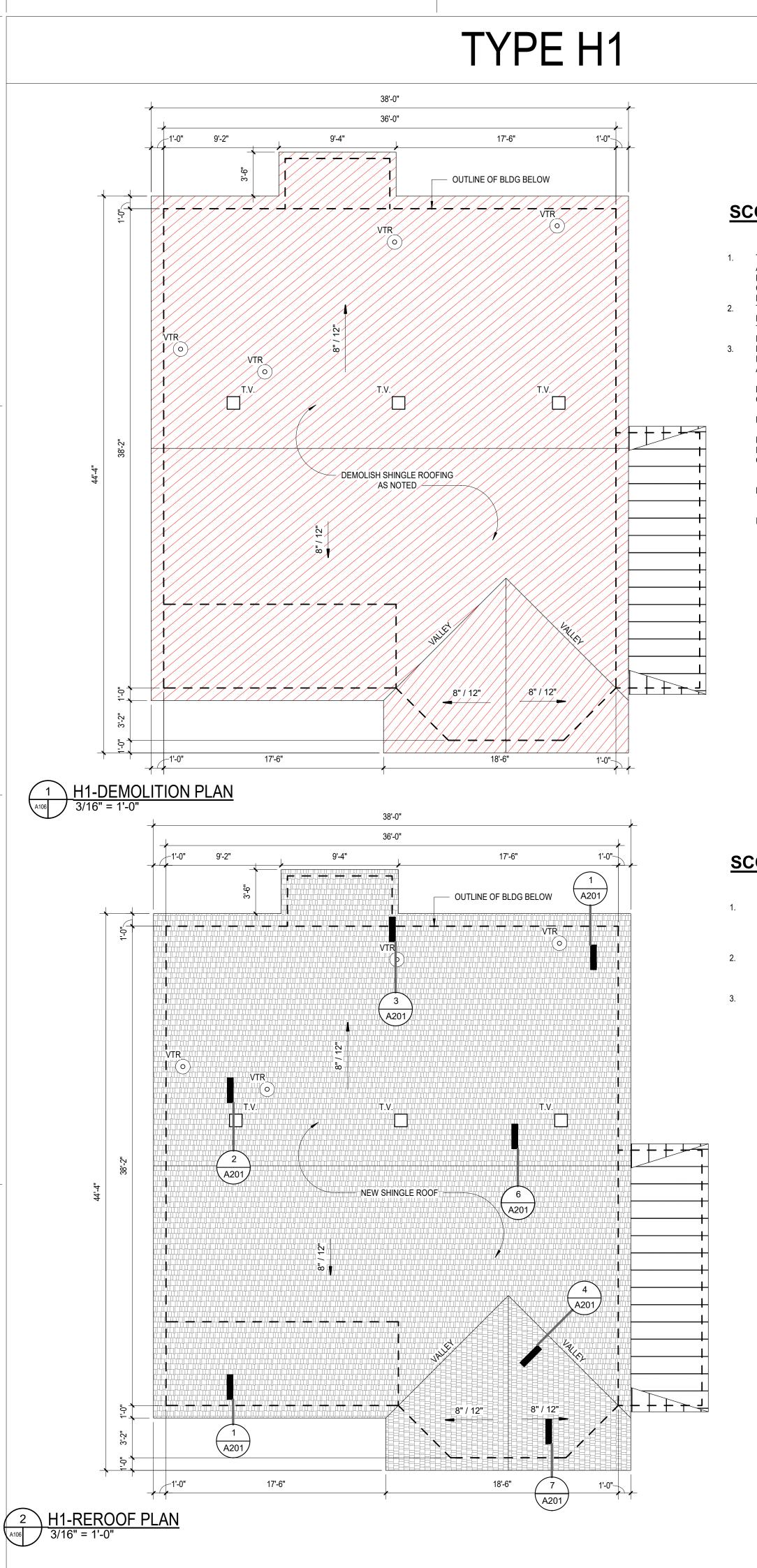


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SCOPE OF WORK BUILDING TYPE H1 DEMOLITION NOTES

THE FOLLOWING BUILDINGS ARE TYPE H1: A. 406 BRAUN STREET

> 390 HOPE STREET 411 HOPE STREET

363 AUGUSTE COURT

THE FOLLOWING SCOPE OF WORK APPLIES ONLY TO AREAS WITH SHINGLE ROOFING. THE STANDING SEAM METAL PORCH ROOF, INCLUDING ALL EXISTING TRIM, FLASHING, UNDERLAYMENTS AND ACCESSORIES, IS EXISTING AND SHALL REMAIN

DEMOLITION SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:

A. CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE ROOFING MATERIAL.

- B. CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE UNDERLAYMENTS.
 C. CONTRACTOR SHALL DEMOLISH ALL PIPE BOOTS, CRICKETS AND OTHER PENETRATION FLASHINGS.
- D. CONTRACTOR SHALL DEMOLISH ALL TURTLE VENTS, THEN PREP THE ROOF OPENING FOR NEW VENTS.
- E. CONTRACTOR SHALL RETAIN IN PLACE ALL EXISTING VTR'S. F. CONTRACTOR SHALL DEMOLISH ALL EAVE AND RAKE TRIM.
- G. CONTRACTOR SHALL DEMOLISH ALL FLASHINGS AND COUNTER FLASHINGS NOT OTHERWISE NOTED TO REMAIN. EXISTING THRU-WALL FLASHING SHALL REMAIN IN PLACE AND SHALL BE REUSED.
 H. CONTRACTOR SHALL DEMOLISH 5% OF THE EXISTING 5/8" CDX ROOF
- DECK. AREAS TO BE DEMOLISHED WILL BE DETERMINED BY THE ARCHITECT IN THE FIELD.
- I. CONTRACTOR SHALL PREPARE THE DECK FOR NEW WORK.

SCOPE OF WORK BUILDING TYPE H1 REROOF NOTES

THE FOLLOWING BUILDINGS ARE TYPE H1:

A. 406 BRAUN STREET B. 390 HOPE STREET

- C. 411 HOPE STREET
-). 363 AUGUSTE COURT

THE FOLLOWING SCOPE OF WORK APPLIES ONLY TO AREAS WITH SHINGLE ROOFING. THE STANDING SEAM METAL PORCH ROOF, INCLUDING ALL EXISTING TRIM, FLASHING, UNDERLAYMENTS AND ACCESSORIES, IS EXISTING AND SHALL REMAIN. REROOF SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE

FOLLOWING: A. CONTRACTOR SHALL PROVIDE AND INSTALL NEW 5/8" CDX ROOF DECK

- OVER 5% OF THE EXISTING DECK AREA, WHERE EXISTING DECK HAS BEEN DEMOLISHED. B. CONTRACTOR SHALL PROVIDE AND INSTALL NEW UNDERLAYMENT AS
- SPECIFIED AND DETAILED. C. CONTRACTOR SHALL PROVIDE AND INSTALL NEW TURTLE VENTS IN LOCATIONS DRAWN.
- CONTRACTOR SHALL PROVIDE AND INSTALL NEW FLASHING AT VTR'S.
 CONTRACTOR SHALL PROVIDE AND INSTALL NEW ROOF SHINGLES AS
- CONTRACTOR SHALL PROVIDE AND INSTALL NEW ROOF SHINGLES AS SPECIFIED AND DETAILED.
 F. CONTRACTOR SHALL PROVIDE AND INSTALL NEW RAKE AND EAVE TRIM.
- G. CONTRACTOR SHALL PROVIDE AND INSTALL NEW COUNTERFLASHING / THRU-WALL FLASHING.

SCOPE OF WORK BUILDING TYPE H2 DEMOLITION NOTES

- . THE FOLLOWING BUILDINGS ARE TYPE H2:
 - A. 396 BRAUN STREETB. 391 HOPE STREET
 - C. 410 HOPE STREET D. 419 HOPE STREET
 - . 395 DR GILBERT MASON . 382 AUGUSTE COURT
 - G. 379 AUGUSTE COURT
- H. 624 ROY STREET
 THE FOLLOWING SCOPE OF WORK APPLIES ONLY TO AREAS WITH SHINGLE ROOFING. THE STANDING SEAM METAL PORCH ROOF, INCLUDING ALL EXISTING TRIM, FLASHING, UNDERLAYMENTS AND ACCESSORIES, IS EXISTING AND SHALL REMAIN.
- DEMOLITION SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
 A. CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE ROOFING
- MATERIAL. B. CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE UNDERLAYMENTS. C. CONTRACTOR SHALL DEMOLISH ALL PIPE BOOTS, CRICKETS AND OTHER
- CONTRACTOR SHALL DEMOLISH ALL PIPE BOOTS, CRICKETS AND OTHER PENETRATION FLASHINGS.
 D. CONTRACTOR SHALL DEMOLISH ALL TURTLE VENTS, THEN PREP THE
- ROOF OPENING FOR NEW VENTS. E. CONTRACTOR SHALL RETAIN IN PLACE ALL EXISTING VTR'S.
- F. CONTRACTOR SHALL DEMOLISH ALL EAVE AND RAKE TRIM.
 G. CONTRACTOR SHALL DEMOLISH ALL FLASHINGS AND COUNTER FLASHINGS NOT OTHERWISE NOTED TO REMAIN. EXISTING THRU-WALL
- FLASHING SHALL REMAIN IN PLACE AND SHALL BE REUSED.
 H. CONTRACTOR SHALL DEMOLISH 5% OF THE EXISTING 5/8" CDX ROOF DECK. AREAS TO BE DEMOLISHED WILL BE DETERMINED BY THE ARCHITECT IN THE FIELD.
- I. CONTRACTOR SHALL PREPARE THE DECK FOR NEW WORK.

- 3 H2 ATOS 3/1 SCOPE OF WORK BUILDING TYPE H2 REROOF NOTES
 - _____
 - THE FOLLOWING BUILDINGS ARE TYPE H2: A. 396 BRAUN STREET
 - B. 391 HOPE STREET

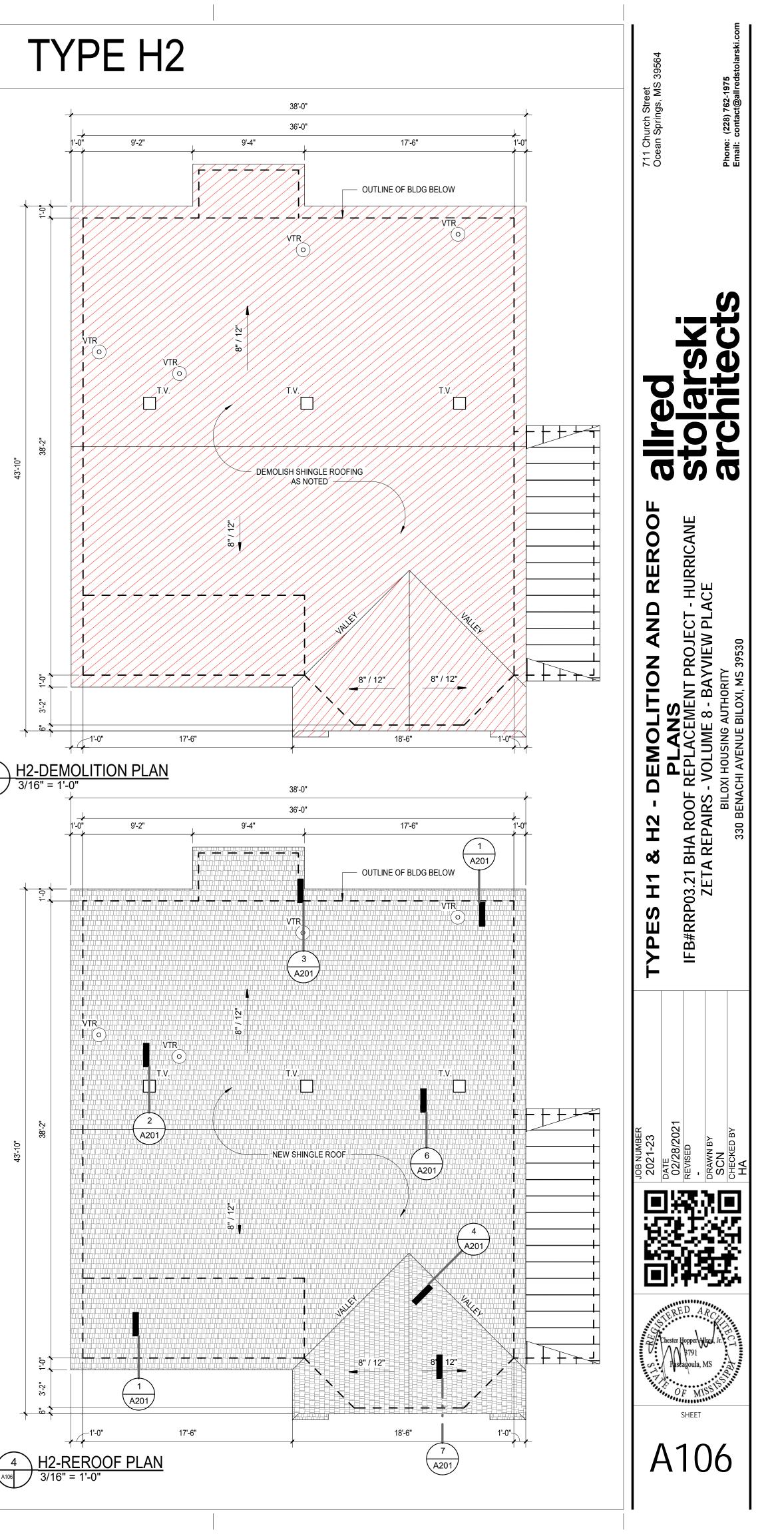
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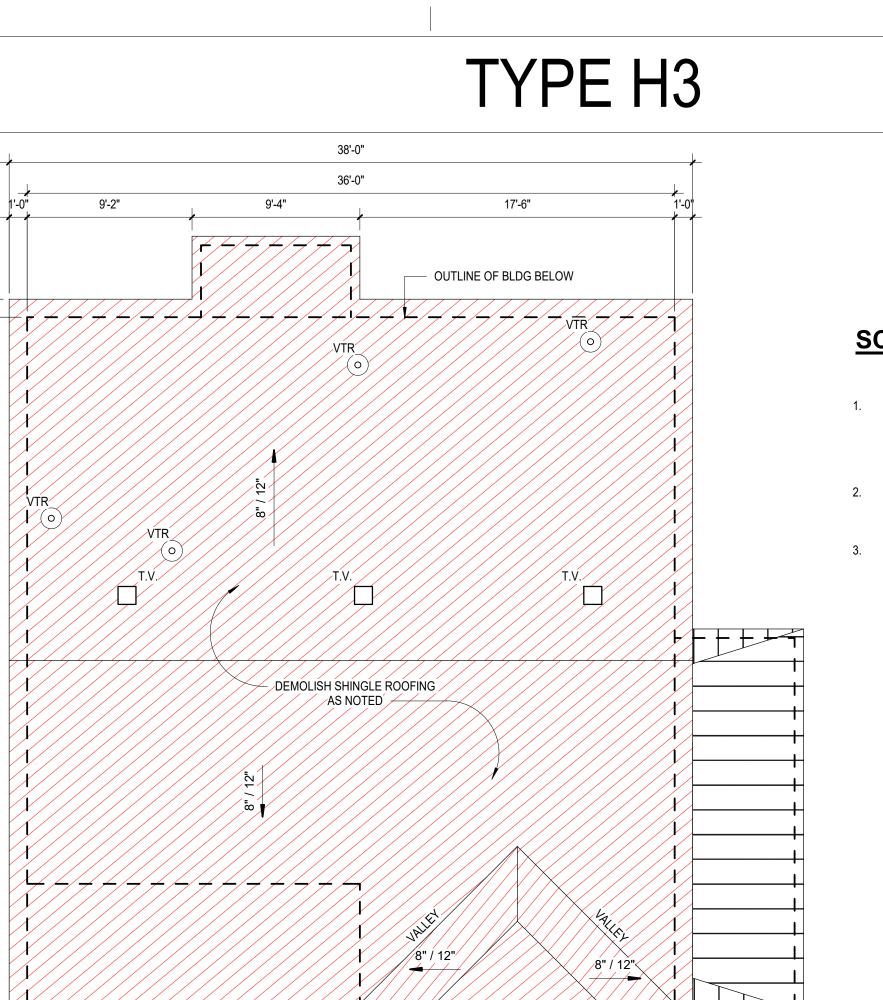
- C. 410 HOPE STREET D. 419 HOPE STREET
- E. 395 DR GILBERT MASONF. 382 AUGUSTE COURT
- G. 379 AUGUSTE COURT
- H. 624 ROY STREET THE FOLLOWING SCOPE OF WORK APPLIES ONLY TO AREAS WITH SHINGLE ROOFING. THE STANDING SEAM METAL PORCH ROOF, INCLUDING ALL EXISTING TRIM, FLASHING, UNDERLAYMENTS AND ACCESSORIES, IS EXISTING AND SHALL
- REMAIN.
 3. REROOF SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
 - A. CONTRACTOR SHALL PROVIDE AND INSTALL NEW 5/8" CDX ROOF DECK OVER 5% OF THE EXISTING DECK AREA, WHERE EXISTING DECK HAS BEEN DEMOLISHED.
 B. CONTRACTOR SHALL PROVIDE AND INSTALL NEW UNDERLAYMENT AS
 - SPECIFIED AND DETAILED.
 C. CONTRACTOR SHALL PROVIDE AND INSTALL NEW TURTLE VENTS IN
 - LOCATIONS DRAWN. CONTRACTOR SHALL PROVIDE AND INSTALL NEW FLASHING AT VTR'S.
 - CONTRACTOR SHALL PROVIDE AND INSTALL NEW PLASHING AT VICE.
 CONTRACTOR SHALL PROVIDE AND INSTALL NEW ROOF SHINGLES AS SPECIFIED AND DETAILED.
 - F. CONTRACTOR SHALL PROVIDE AND INSTALL NEW RAKE AND EAVE TRIM.
 G. CONTRACTOR SHALL PROVIDE AND INSTALL NEW COUNTERFLASHING / THRU-WALL FLASHING.

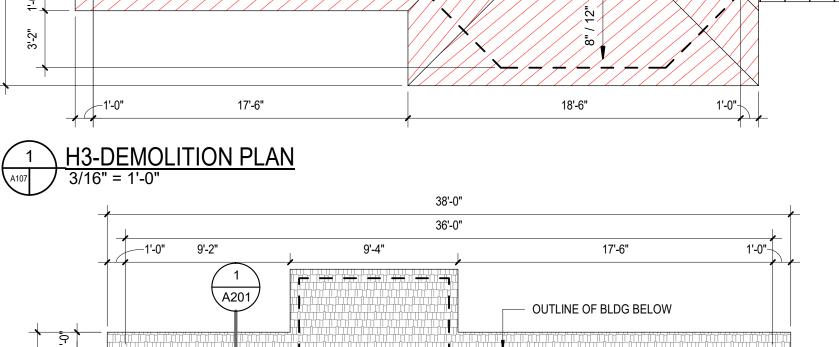
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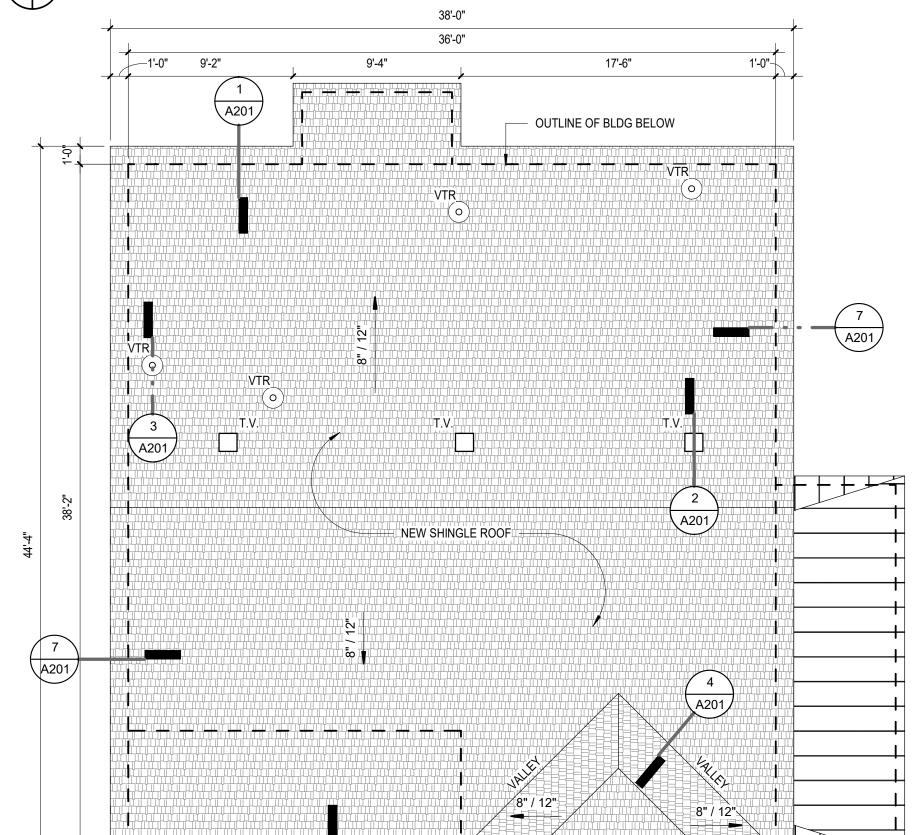
DEMOLITION MARK

DEMOLITION MARK
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1'-0"

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18'-6"

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17'-6"

-1'-0"

H3-REROOF PLAN

3/16" = 1'-0'

SCOPE OF WORK BUILDING TYPE H3 DEMOLITION NOTES

THE FOLLOWING BUILDINGS ARE TYPE H3: A. 388 BRAUN STREET

- 403 HOPE STREET 405 DR GILBERT MASON
- 369 AUGUSTE COURT
- 346 TRAWLER LANE
- THE FOLLOWING SCOPE OF WORK APPLIES ONLY TO AREAS WITH SHINGLE ROOFING. THE STANDING SEAM METAL PORCH ROOF, INCLUDING ALL EXISTING TRIM, FLASHING, UNDERLAYMENTS AND ACCESSORIES, IS EXISTING AND SHALL REMAIN
- DEMOLITION SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING
- CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE ROOFING Α. MATERIAL.
- CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE UNDERLAYMENTS. CONTRACTOR SHALL DEMOLISH ALL PIPE BOOTS, CRICKETS AND OTHER PENETRATION FLASHINGS.
- CONTRACTOR SHALL DEMOLISH ALL TURTLE VENTS, THEN PREP THE ROOF OPENING FOR NEW VENTS.
- CONTRACTOR SHALL RETAIN IN PLACE ALL EXISTING VTR'S. CONTRACTOR SHALL DEMOLISH ALL EAVE AND RAKE TRIM.
- CONTRACTOR SHALL DEMOLISH ALL FLASHINGS AND COUNTER
- FLASHINGS NOT OTHERWISE NOTED TO REMAIN. EXISTING THRU-WALL FLASHING SHALL REMAIN IN PLACE AND SHALL BE REUSED. CONTRACTOR SHALL DEMOLISH 5% OF THE EXISTING 5/8" CDX ROOF DECK. AREAS TO BE DEMOLISHED WILL BE DETERMINED BY THE
- ARCHITECT IN THE FIELD. CONTRACTOR SHALL PREPARE THE DECK FOR NEW WORK

SCOPE OF WORK BUILDING TYPE H3 REROOF NOTES

		-
THE FOLLOWING	BUILDINGS ARE TYPE H3:	
	BOILDINGO / INE THE HO.	

- 388 BRAUN STREET 403 HOPE STREET
- 405 DR GILBERT MASON
- 369 AUGUSTE COURT

2.

3.

346 TRAWLER LANE

THE FOLLOWING SCOPE OF WORK APPLIES ONLY TO AREAS WITH SHINGLE ROOFING. THE STANDING SEAM METAL PORCH ROOF, INCLUDING ALL EXISTING TRIM, FLASHING, UNDERLAYMENTS AND ACCESSORIES, IS EXISTING AND SHALL REMAIN.

REROOF SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:

- A. CONTRACTOR SHALL PROVIDE AND INSTALL NEW 5/8" CDX ROOF DECK OVER 5% OF THE EXISTING DECK AREA, WHERE EXISTING DECK HAS BEEN DEMOLISHED.
- CONTRACTOR SHALL PROVIDE AND INSTALL NEW UNDERLAYMENT AS SPECIFIED AND DETAILED.
- CONTRACTOR SHALL PROVIDE AND INSTALL NEW TURTLE VENTS IN
- LOCATIONS DRAWN. CONTRACTOR SHALL PROVIDE AND INSTALL NEW FLASHING AT VTR'S.
- CONTRACTOR SHALL PROVIDE AND INSTALL NEW ROOF SHINGLES AS SPECIFIED AND DETAILED.
- CONTRACTOR SHALL PROVIDE AND INSTALL NEW RAKE AND EAVE TRIM. CONTRACTOR SHALL PROVIDE AND INSTALL NEW COUNTERFLASHING /
- THRU-WALL FLASHING.

SCOPE OF WORK BUILDING TYPE I1 DEMOLITION NOTES

- THE FOLLOWING BUILDINGS ARE TYPE I1: 400 HOPE STREET
- 334 TRAWLER LANE
- 383 AUGUSTE COURT THE FOLLOWING SCOPE OF WORK APPLIES ONLY TO AREAS WITH SHINGLE
- ROOFING. THE STANDING SEAM METAL PORCH ROOF, INCLUDING ALL EXISTING TRIM, FLASHING, UNDERLAYMENTS AND ACCESSORIES, IS EXISTING AND SHALI
- REMAIN. DEMOLITION SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE
- FOLLOWING: CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE ROOFING Α.
- MATERIAL CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE UNDERLAYMENTS CONTRACTOR SHALL DEMOLISH ALL PIPE BOOTS, CRICKETS AND OTHER
- PENETRATION FLASHINGS. CONTRACTOR SHALL DEMOLISH ALL TURTLE VENTS, THEN PREP THE D. ROOF OPENING FOR NEW VENTS.
- CONTRACTOR SHALL RETAIN IN PLACE ALL EXISTING VTR'S.
- CONTRACTOR SHALL DEMOLISH ALL EAVE AND RAKE TRIM. CONTRACTOR SHALL DEMOLISH ALL FLASHINGS AND COUNTER
- FLASHINGS NOT OTHERWISE NOTED TO REMAIN. EXISTING THRU-WALL FLASHING SHALL REMAIN IN PLACE AND SHALL BE REUSED. CONTRACTOR SHALL DEMOLISH 5% OF THE EXISTING 5/8" CDX ROOF
- DECK. AREAS TO BE DEMOLISHED WILL BE DETERMINED BY THE ARCHITECT IN THE FIELD. CONTRACTOR SHALL PREPARE THE DECK FOR NEW WORK.

3 11-DEMOLITION PLAN 3/16" = 1'-0"

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3/16" = 1'-0"

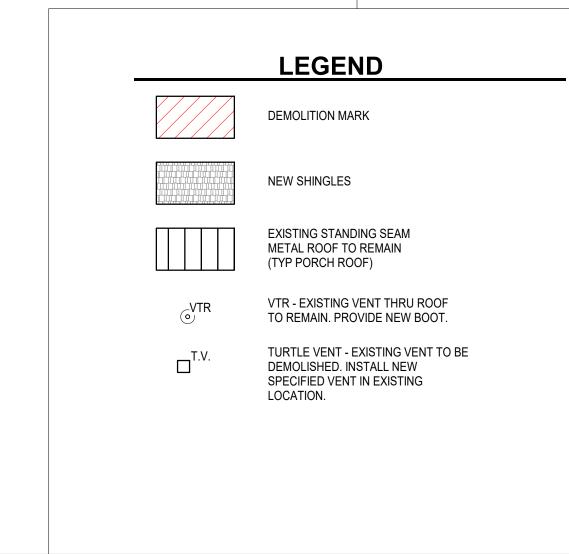
1'-0"

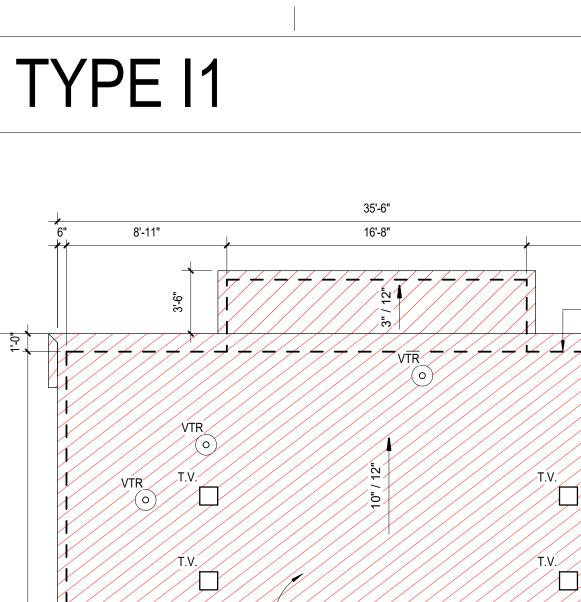
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SCOPE OF WORK BUILDING TYPE I1 REROOF NOTES

- THE FOLLOWING BUILDINGS ARE TYPE I1:
- 400 HOPE STREET
- 334 TRAWLER LANE 383 AUGUSTE COURT
- THE FOLLOWING SCOPE OF WORK APPLIES ONLY TO AREAS WITH SHINGLE ROOFING. THE STANDING SEAM METAL PORCH ROOF, INCLUDING ALL EXISTING TRIM, FLASHING, UNDERLAYMENTS AND ACCESSORIES, IS EXISTING AND SHALL REMAIN
- REROOF SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE 3. FOLLOWING
 - CONTRACTOR SHALL PROVIDE AND INSTALL NEW 5/8" CDX ROOF DECK Α OVER 5% OF THE EXISTING DECK AREA, WHERE EXISTING DECK HAS BEEN DEMOLISHED. CONTRACTOR SHALL PROVIDE AND INSTALL NEW UNDERLAYMENT AS Β.
 - SPECIFIED AND DETAILED. CONTRACTOR SHALL PROVIDE AND INSTALL NEW TURTLE VENTS IN
 - LOCATIONS DRAWN. CONTRACTOR SHALL PROVIDE AND INSTALL NEW FLASHING AT VTR'S. CONTRACTOR SHALL PROVIDE AND INSTALL NEW ROOF SHINGLES AS SPECIFIED AND DETAILED.
 - CONTRACTOR SHALL PROVIDE AND INSTALL NEW RAKE AND EAVE TRIM. CONTRACTOR SHALL PROVIDE AND INSTALL NEW COUNTERFLASHING / THRU-WALL FLASHING.





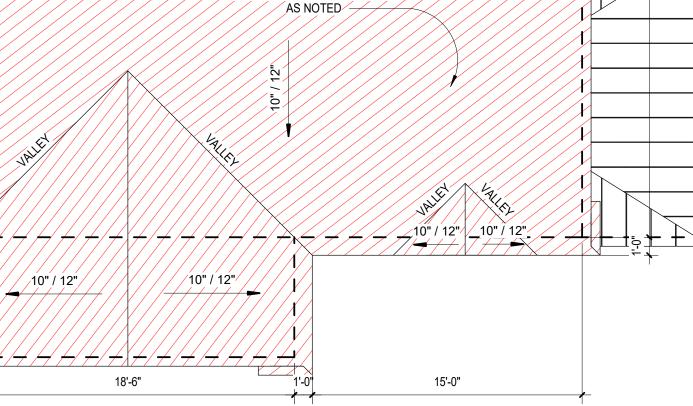


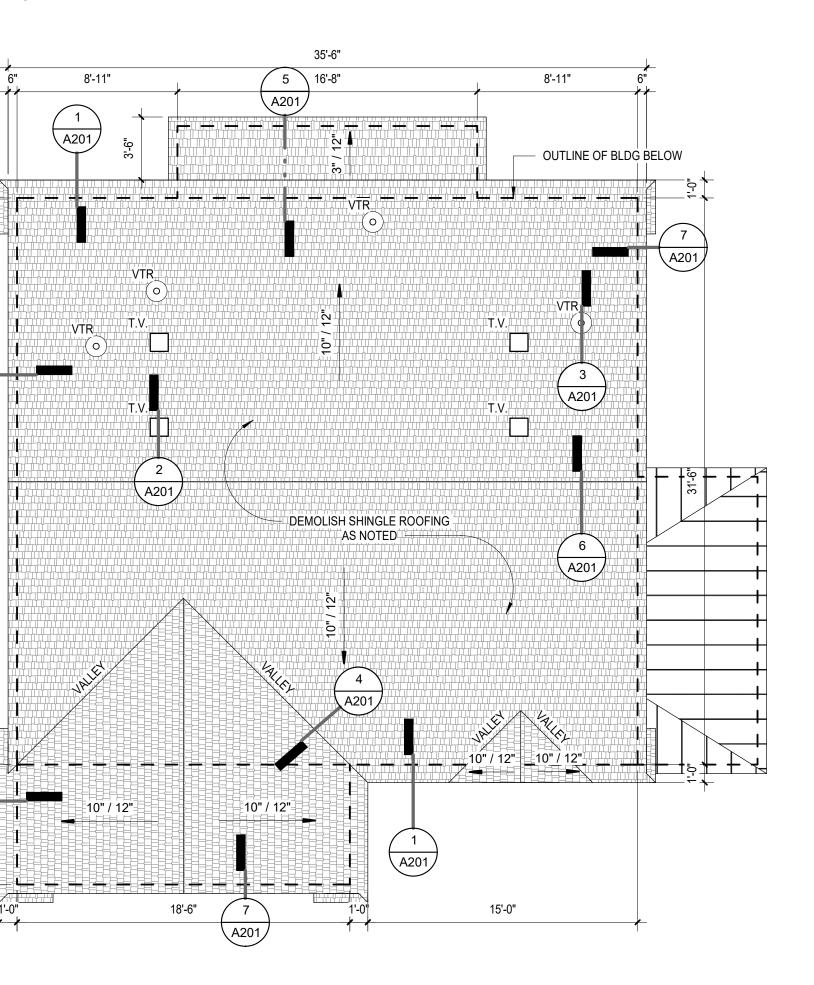
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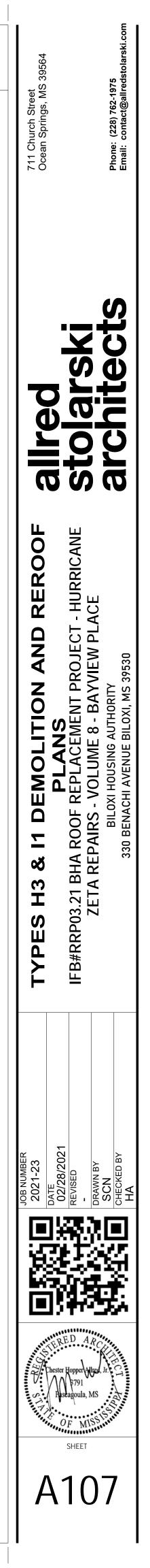
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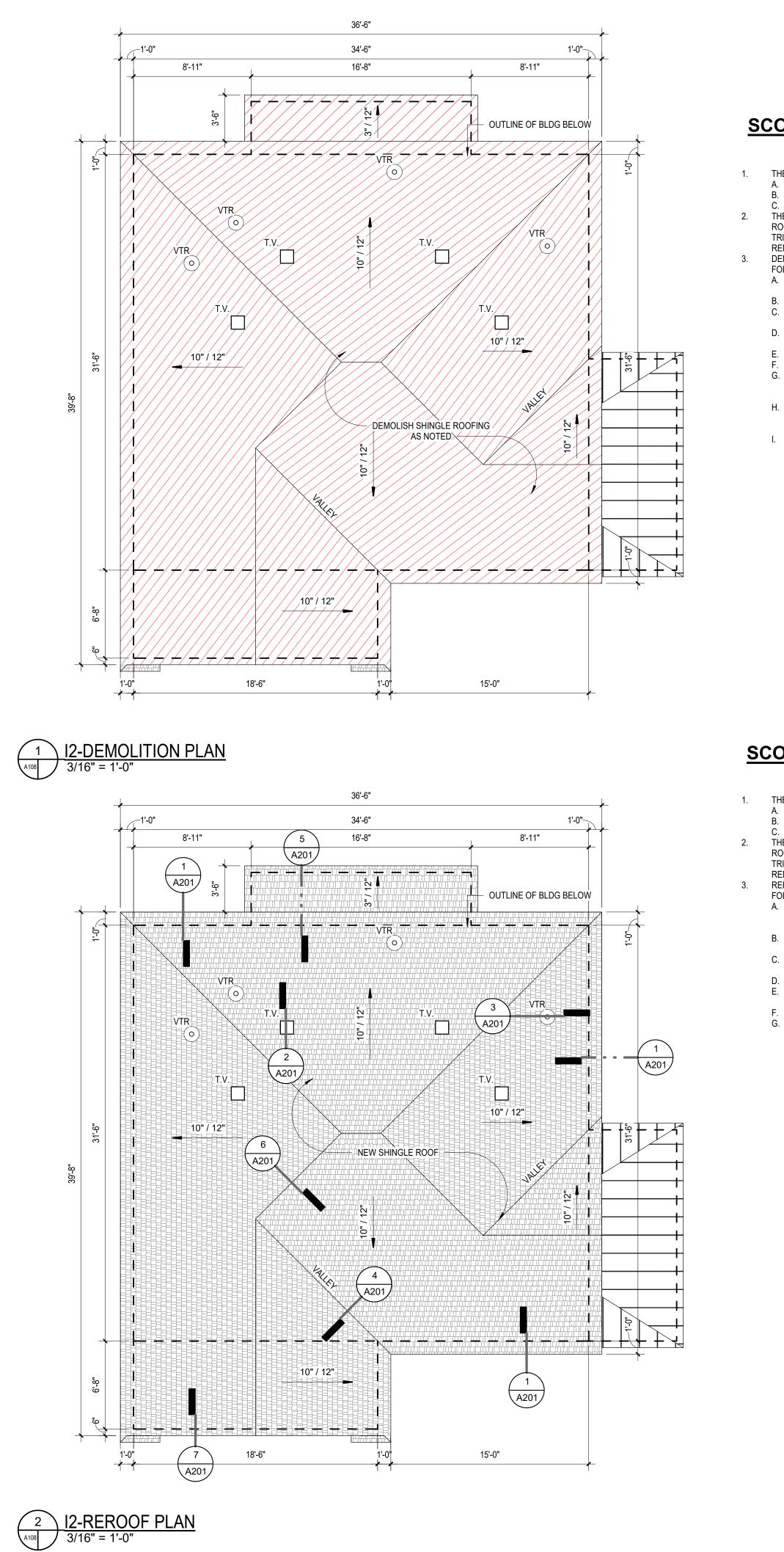
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TYPE I2



SCOPE OF WORK BUILDING TYPE I2 DEMOLITION NOTES

THE FOLLOWING BUILDINGS ARE TYPE I2:

420 BRAUN STREET 391 DR GILBERT MASON

342 TRAWLER LANE

THE FOLLOWING SCOPE OF WORK APPLIES ONLY TO AREAS WITH SHINGLE ROOFING. THE STANDING SEAM METAL PORCH ROOF, INCLUDING ALL EXISTING TRIM, FLASHING, UNDERLAYMENTS AND ACCESSORIES, IS EXISTING AND SHALL RFMAIN

DEMOLITION SCOPE C WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE

FOLLOWING: CONTRACTOR S SHALL DEMOLISH ALL EXISTING SHINGLE ROOFIN

- MATERIAL CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE UNDERLAYMENTS
- CONTRACTOR SHALL DEMOLISH ALL PIPE BOOTS, CRICKETS AND OTHER PENETRATION FLASHINGS. CONTRACTOR SHALL DEMOLISH ALL TURTLE VENTS, THEN PREP THE
- ROOF OPENING FOR NEW VENTS. CONTRACTOR SHALL RETAIN IN PLACE ALL EXISTING VTR'S.
- CONTRACTOR SHALL DEMOLISH ALL EAVE AND RAKE TRIM.
- CONTRACTOR SHALL DEMOLISH ALL FLASHINGS AND COUNTER FLASHINGS NOT OTHERWISE NOTED TO REMAIN. EXISTING THRU-WALL
- FLASHING SHALL REMAIN IN PLACE AND SHALL BE REUSED. CONTRACTOR SHALL DEMOLISH 5% OF THE EXISTING 5/8" CDX ROOF DECK. AREAS TO BE DEMOLISHED WILL BE DETERMINED BY THE ARCHITECT IN THE FIELD.
- CONTRACTOR SHALL PREPARE THE DECK FOR NEW WORK.

SCOPE OF WORK BUILDING TYPE I2 REROOF NOTES

THE FOLLOWING BUILDINGS ARE TYPE I2: 420 BRAUN STREET

- 391 DR GILBERT MASON
- 342 TRAWLER LANE

THE FOLLOWING SCOPE OF WORK APPLIES ONLY TO AREAS WITH SHINGLE ROOFING. THE STANDING SEAM METAL PORCH ROOF, INCLUDING ALL EXISTING TRIM, FLASHING, UNDERLAYMENTS AND ACCESSORIES, IS EXISTING AND SHALL REMAIN

REROOF SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:

- CONTRACTOR SHALL PROVIDE AND INSTALL NEW 5/8" CDX ROOF DECK Α. OVER 5% OF THE EXISTING DECK AREA, WHERE EXISTING DECK HAS BEEN DEMOLISHED.
- CONTRACTOR SHALL PROVIDE AND INSTALL NEW UNDERLAYMENT AS SPECIFIED AND DETAILED.
- CONTRACTOR SHALL PROVIDE AND INSTALL NEW TURTLE VENTS IN
- LOCATIONS DRAWN.
- CONTRACTOR SHALL PROVIDE AND INSTALL NEW FLASHING AT VTR'S. CONTRACTOR SHALL PROVIDE AND INSTALL NEW ROOF SHINGLES AS
- SPECIFIED AND DETAILED. CONTRACTOR SHALL PROVIDE AND INSTALL NEW RAKE AND EAVE TRIM.
- CONTRACTOR SHALL PROVIDE AND INSTALL NEW COUNTERFLASHING / THRU-WALL FLASHING.

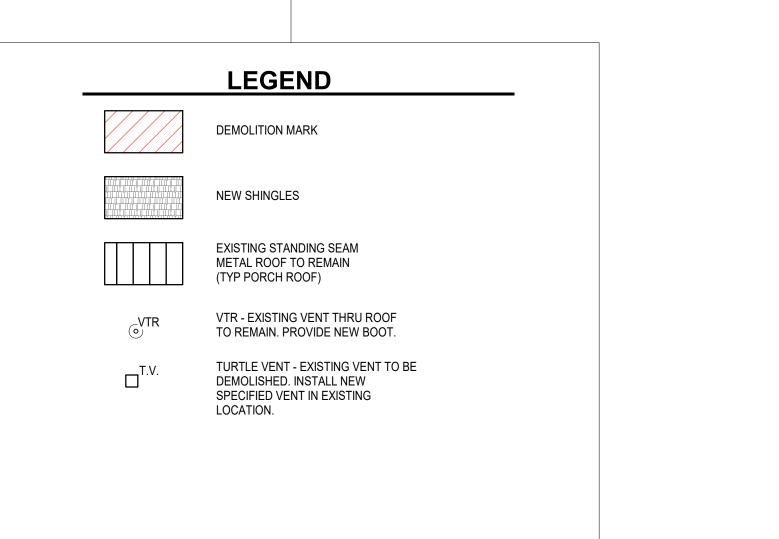
SCOPE OF WORK BUILDING TYPE J1 DEMOLITION NOTES

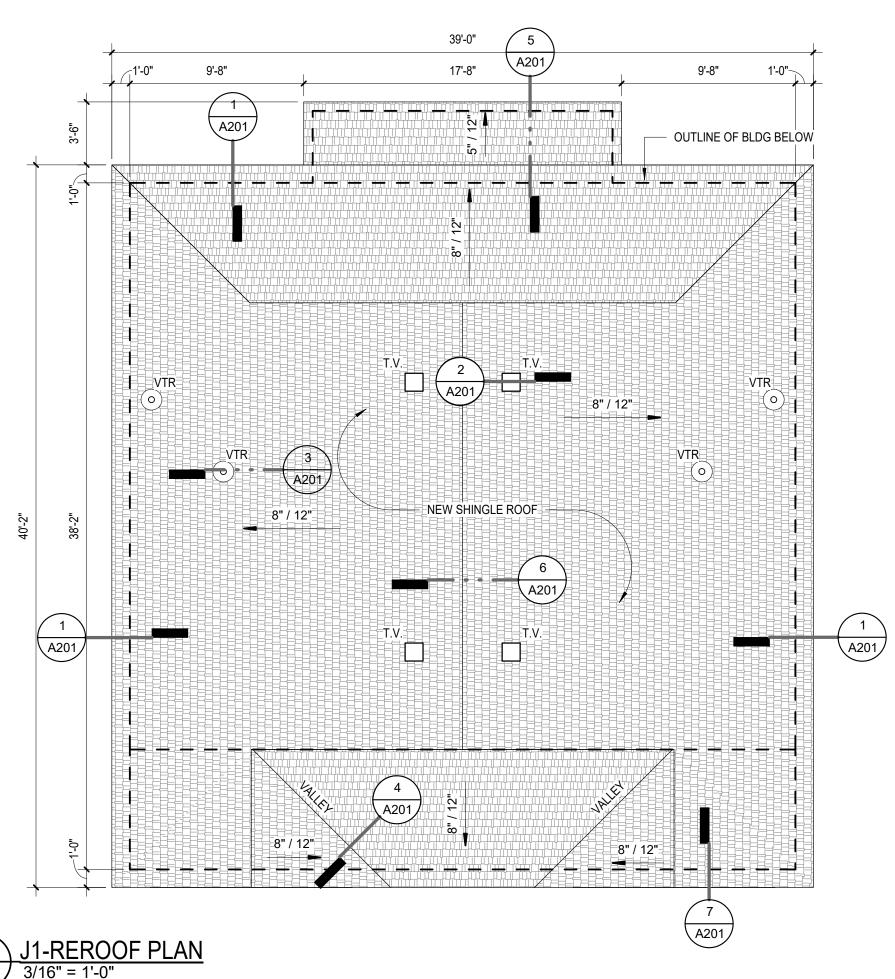
- THE FOLLOWING BUILDINGS ARE TYPE J1: 401 DR GILBERT MASON
- 426 DR GILBERT MASON
- 448 DR GILBERT MASON 460 DR GILBERT MASON
- 398 BRAUN STREET
- 345 AUGUSTE COURT
- THE FOLLOWING SCOPE OF WORK APPLIES ONLY TO AREAS WITH SHINGLE ROOFING. THE STANDING SEAM METAL PORCH ROOF, INCLUDING ALL EXISTING TRIM, FLASHING, UNDERLAYMENTS AND ACCESSORIES, IS EXISTING AND SHALL REMAIN DEMOLITION SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE
- FOLLOWING CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE ROOFING
- MATERIAL CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE UNDERLAYMENTS. CONTRACTOR SHALL DEMOLISH ALL PIPE BOOTS, CRICKETS AND OTHER
- PENETRATION FLASHINGS CONTRACTOR SHALL DEMOLISH ALL TURTLE VENTS, THEN PREP THE ROOF OPENING FOR NEW VENTS.
- CONTRACTOR SHALL RETAIN IN PLACE ALL EXISTING VTR'S.
- CONTRACTOR SHALL DEMOLISH ALL EAVE AND RAKE TRIM. CONTRACTOR SHALL DEMOLISH ALL FLASHINGS AND COUNTER
- FLASHINGS NOT OTHERWISE NOTED TO REMAIN. EXISTING THRU-WALL FLASHING SHALL REMAIN IN PLACE AND SHALL BE REUSED. CONTRACTOR SHALL DEMOLISH 5% OF THE EXISTING 5/8" CDX ROOF DECK. AREAS TO BE DEMOLISHED WILL BE DETERMINED BY THE
- ARCHITECT IN THE FIELD. CONTRACTOR SHALL PREPARE THE DECK FOR NEW WORK.

3 J1-DEMOLITION PLAN 3/16" = 1'-0"

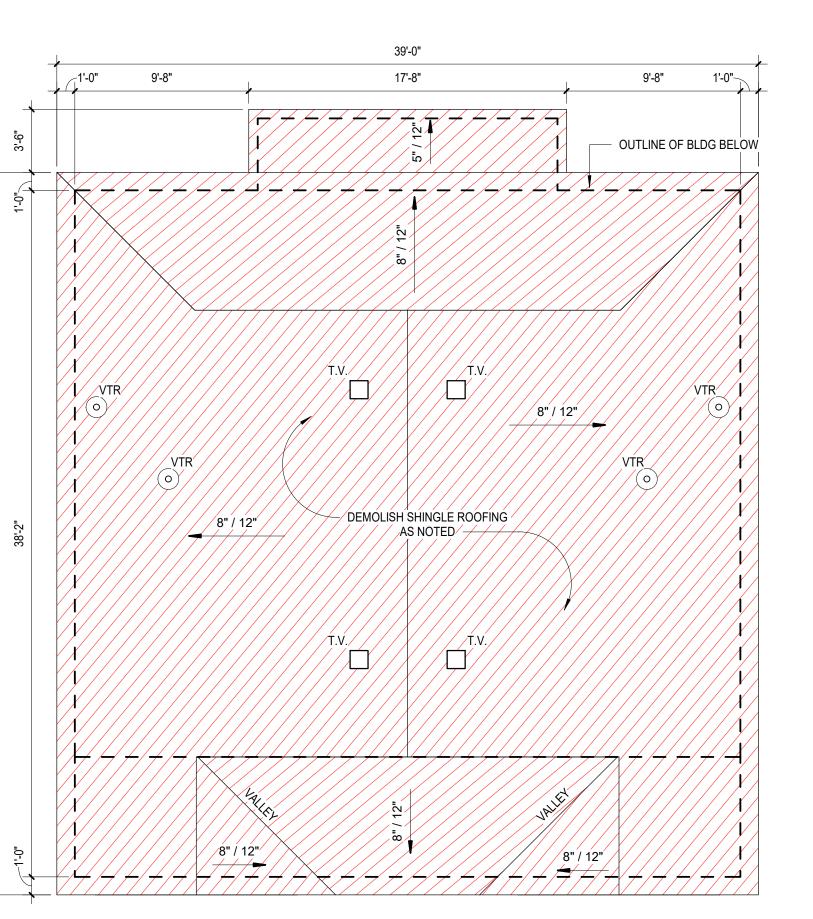
SCOPE OF WORK BUILDING TYPE J1 REROOF NOTES

- 1. THE FOLLOWING BUILDINGS ARE TYPE J1:
 - 401 DR GILBERT MASON 426 DR GILBERT MASON
 - 448 DR GILBERT MASON
 - 460 DR GILBERT MASON
 - 398 BRAUN STREET
 - 345 AUGUSTE COURT
- THE FOLLOWING SCOPE OF WORK APPLIES ONLY TO AREAS WITH SHINGLE 2 ROOFING. THE STANDING SEAM METAL PORCH ROOF, INCLUDING ALL EXISTING TRIM, FLASHING, UNDERLAYMENTS AND ACCESSORIES, IS EXISTING AND SHALL REMAIN. 3.
- REROOF SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING: CONTRACTOR SHALL PROVIDE AND INSTALL NEW 5/8" CDX ROOF DECK Α.
- OVER 5% OF THE EXISTING DECK AREA, WHERE EXISTING DECK HAS BEEN DEMOLISHED.
- Β. CONTRACTOR SHALL PROVIDE AND INSTALL NEW UNDERLAYMENT AS SPECIFIED AND DETAILED.
- CONTRACTOR SHALL PROVIDE AND INSTALL NEW TURTLE VENTS IN C. LOCATIONS DRAWN.
- CONTRACTOR SHALL PROVIDE AND INSTALL NEW FLASHING AT VTR'S. CONTRACTOR SHALL PROVIDE AND INSTALL NEW ROOF SHINGLES AS
- SPECIFIED AND DETAILED.
- CONTRACTOR SHALL PROVIDE AND INSTALL NEW RAKE AND EAVE TRIM. CONTRACTOR SHALL PROVIDE AND INSTALL NEW COUNTERFLASHING / G THRU-WALL FLASHING.





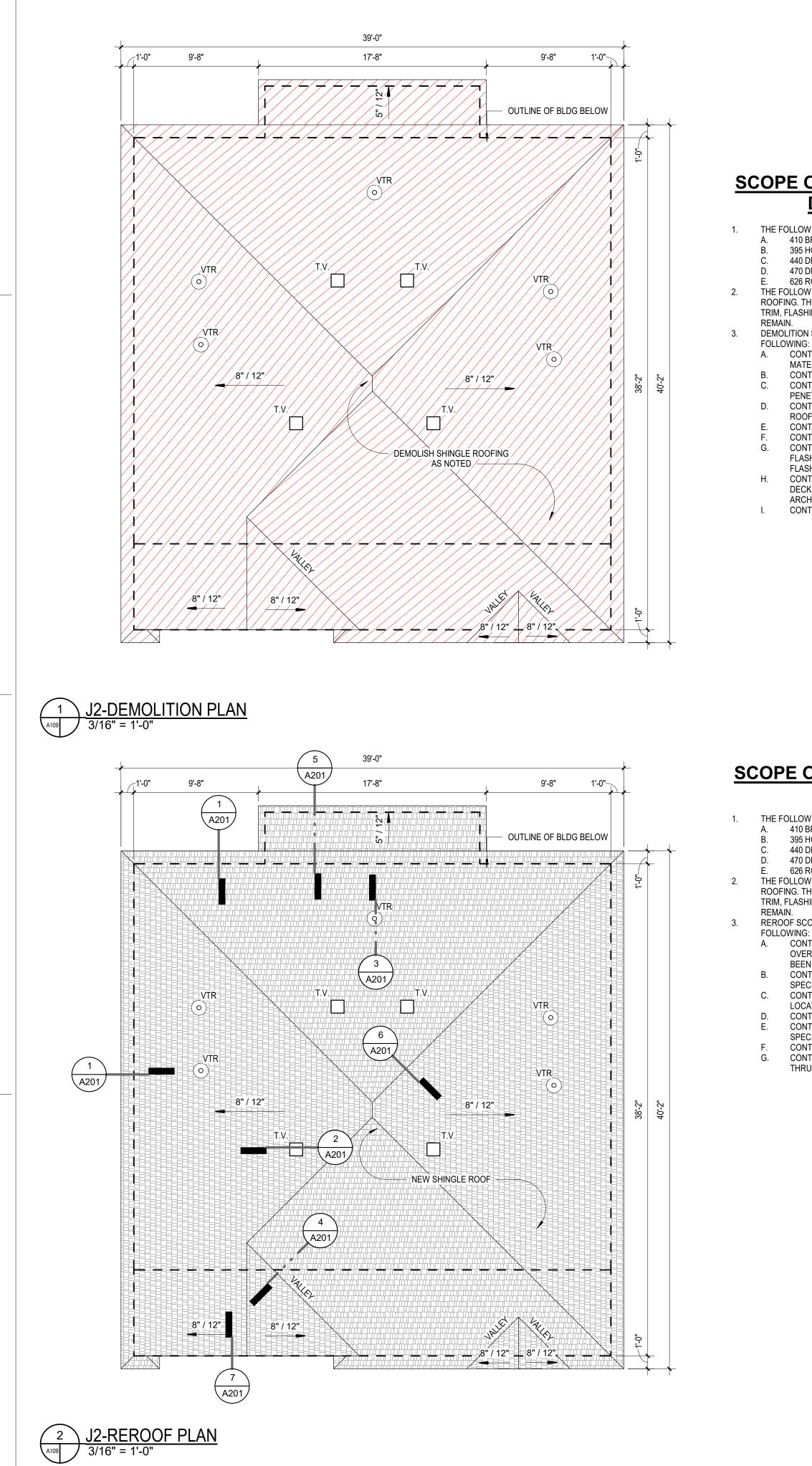




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TYPE J2



SCOPE OF WORK BUILDING TYPE J2 DEMOLITION NOTES

THE FOLLOWING BUILDINGS ARE TYPE J2: A. 410 BRAUN STREET

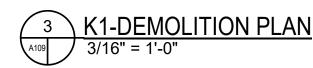
- 395 HOPE STREET
- 440 DR GILBERT MASON 470 DR GILBERT MASON
- 626 ROY STREET
- THE FOLLOWING SCOPE OF WORK APPLIES ONLY TO AREAS WITH SHINGLE ROOFING. THE STANDING SEAM METAL PORCH ROOF, INCLUDING ALL EXISTING TRIM, FLASHING, UNDERLAYMENTS AND ACCESSORIES, IS EXISTING AND SHALL
- DEMOLITION SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE
 - CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE ROOFING MATERIAL. CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE UNDERLAYMENTS.
 - CONTRACTOR SHALL DEMOLISH ALL PIPE BOOTS, CRICKETS AND OTHER PENETRATION FLASHINGS. CONTRACTOR SHALL DEMOLISH ALL TURTLE VENTS, THEN PREP THE
 - ROOF OPENING FOR NEW VENTS. CONTRACTOR SHALL RETAIN IN PLACE ALL EXISTING VTR'S.
 - CONTRACTOR SHALL DEMOLISH ALL EAVE AND RAKE TRIM.
 - CONTRACTOR SHALL DEMOLISH ALL FLASHINGS AND COUNTER FLASHINGS NOT OTHERWISE NOTED TO REMAIN. EXISTING THRU-WALL FLASHING SHALL REMAIN IN PLACE AND SHALL BE REUSED.
 - CONTRACTOR SHALL DEMOLISH 5% OF THE EXISTING 5/8" CDX ROOF DECK. AREAS TO BE DEMOLISHED WILL BE DETERMINED BY THE ARCHITECT IN THE FIELD.
 - CONTRACTOR SHALL PREPARE THE DECK FOR NEW WORK.

SCOPE OF WORK BUILDING TYPE J2 **REROOF NOTES**

- 1. THE FOLLOWING BUILDINGS ARE TYPE J2: A. 410 BRAUN STREET
 - 395 HOPE STREET 440 DR GILBERT MASON
 - 470 DR GILBERT MASON
 - 626 ROY STREET
 - THE FOLLOWING SCOPE OF WORK APPLIES ONLY TO AREAS WITH SHINGLE ROOFING. THE STANDING SEAM METAL PORCH ROOF, INCLUDING ALL EXISTING TRIM, FLASHING, UNDERLAYMENTS AND ACCESSORIES, IS EXISTING AND SHALL
 - REROOF SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE
 - CONTRACTOR SHALL PROVIDE AND INSTALL NEW 5/8" CDX ROOF DECK OVER 5% OF THE EXISTING DECK AREA, WHERE EXISTING DECK HAS BEEN DEMOLISHED.
 - CONTRACTOR SHALL PROVIDE AND INSTALL NEW UNDERLAYMENT AS SPECIFIED AND DETAILED.
 - CONTRACTOR SHALL PROVIDE AND INSTALL NEW TURTLE VENTS IN LOCATIONS DRAWN.
 - CONTRACTOR SHALL PROVIDE AND INSTALL NEW FLASHING AT VTR'S.
 - CONTRACTOR SHALL PROVIDE AND INSTALL NEW ROOF SHINGLES AS SPECIFIED AND DETAILED.
 - CONTRACTOR SHALL PROVIDE AND INSTALL NEW RAKE AND EAVE TRIM. CONTRACTOR SHALL PROVIDE AND INSTALL NEW COUNTERFLASHING / THRU-WALL FLASHING.

SCOPE OF WORK BUILDING TYPE K1 **DEMOLITION NOTES**

- THE FOLLOWING BUILDINGS ARE TYPE K1:
- A. 381 AUGUSTE COURT THE FOLLOWING SCOPE OF WORK APPLIES ONLY TO AREAS WITH SHINGLE ROOFING. THE STANDING SEAM METAL PORCH ROOF, INCLUDING ALL EXISTING TRIM, FLASHING, UNDERLAYMENTS AND ACCESSORIES, IS EXISTING AND SHALI REMAIN
- DEMOLITION SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE **FOLLOWING** CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE ROOFING Α.
- MATERIAL. CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE UNDERLAYMENTS.
- CONTRACTOR SHALL DEMOLISH ALL PIPE BOOTS, CRICKETS AND OTHER
- PENETRATION FLASHINGS. CONTRACTOR SHALL DEMOLISH ALL TURTLE VENTS, THEN PREP THE
- ROOF OPENING FOR NEW VENTS.
- CONTRACTOR SHALL RETAIN IN PLACE ALL EXISTING VTR'S. CONTRACTOR SHALL DEMOLISH ALL EAVE AND RAKE TRIM
- CONTRACTOR SHALL DEMOLISH ALL FLASHINGS AND COUNTER
- FLASHINGS NOT OTHERWISE NOTED TO REMAIN. EXISTING THRU-WALL FLASHING SHALL REMAIN IN PLACE AND SHALL BE REUSED. CONTRACTOR SHALL DEMOLISH 5% OF THE EXISTING 5/8" CDX ROOF
- DECK. AREAS TO BE DEMOLISHED WILL BE DETERMINED BY THE ARCHITECT IN THE FIELD.
- CONTRACTOR SHALL PREPARE THE DECK FOR NEW WORK.



SCOPE OF WORK BUILDING TYPE K1 REROOF NOTES

- 1. THE FOLLOWING BUILDINGS ARE TYPE K1:
- A. 381 AUGUSTE COURT
- THE FOLLOWING SCOPE OF WORK APPLIES ONLY TO AREAS WITH SHINGLE ROOFING. THE STANDING SEAM METAL PORCH ROOF, INCLUDING ALL EXISTING TRIM, FLASHING, UNDERLAYMENTS AND ACCESSORIES, IS EXISTING AND SHALL REMAIN
- REROOF SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
- CONTRACTOR SHALL PROVIDE AND INSTALL NEW 5/8" CDX ROOF DECK Α. OVER 5% OF THE EXISTING DECK AREA, WHERE EXISTING DECK HAS BEEN DEMOLISHED.
- CONTRACTOR SHALL PROVIDE AND INSTALL NEW UNDERLAYMENT AS
- SPECIFIED AND DETAILED. CONTRACTOR SHALL PROVIDE AND INSTALL NEW TURTLE VENTS IN С
- LOCATIONS DRAWN. CONTRACTOR SHALL PROVIDE AND INSTALL NEW FLASHING AT VTR'S.
- CONTRACTOR SHALL PROVIDE AND INSTALL NEW ROOF SHINGLES AS
- SPECIFIED AND DETAILED. CONTRACTOR SHALL PROVIDE AND INSTALL NEW RAKE AND EAVE TRIM. CONTRACTOR SHALL PROVIDE AND INSTALL NEW COUNTERFLASHING / THRU-WALL FLASHING.

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NEW SHINGLES EXISTING STANDING SEAM

LEGEND

DEMOLITION MARK



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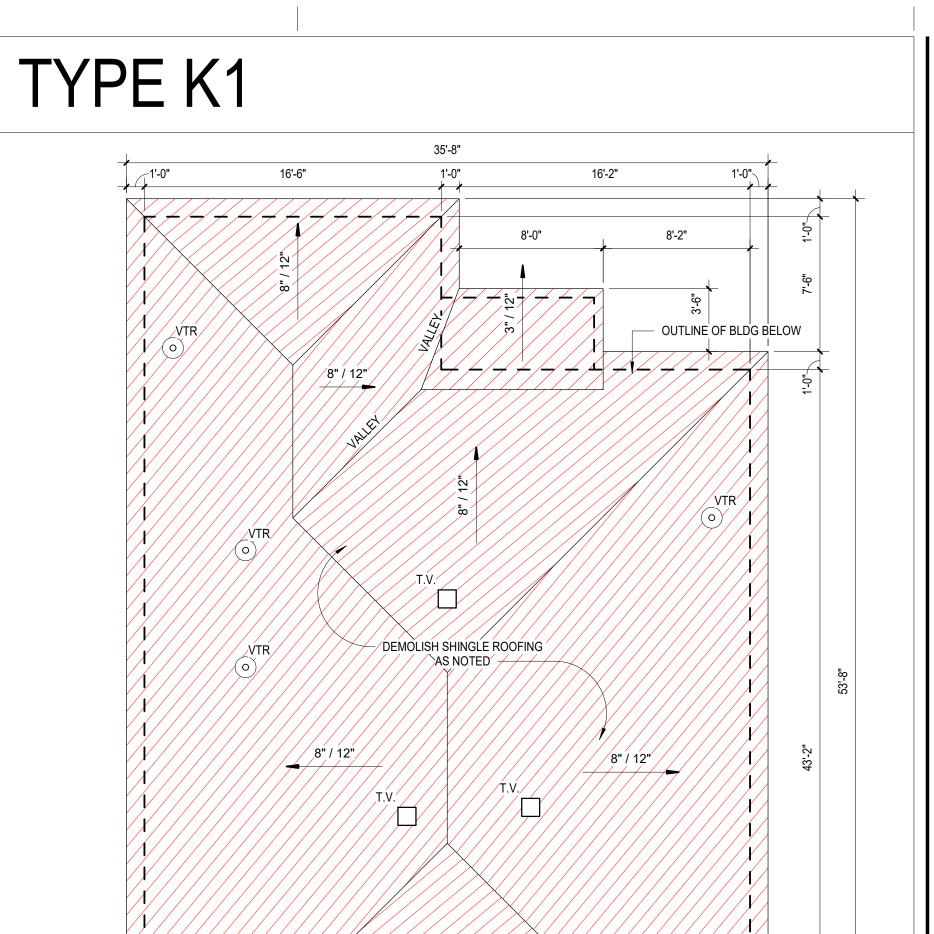
TO REMAIN. PROVIDE NEW BOOT.

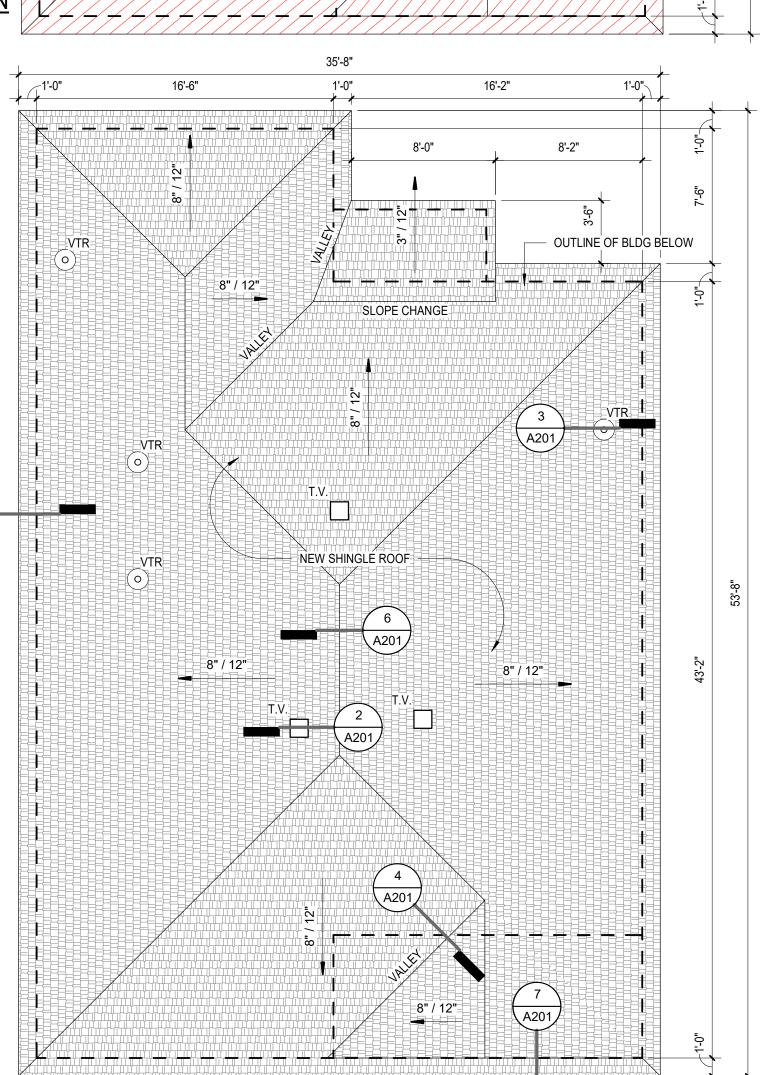
TURTLE VENT - EXISTING VENT TO BE DEMOLISHED. INSTALL NEW SPECIFIED VENT IN EXISTING LOCATION.

VTR - EXISTING VENT THRU ROOF

4 K1-REROOF PLAN 3/16" = 1'-0"





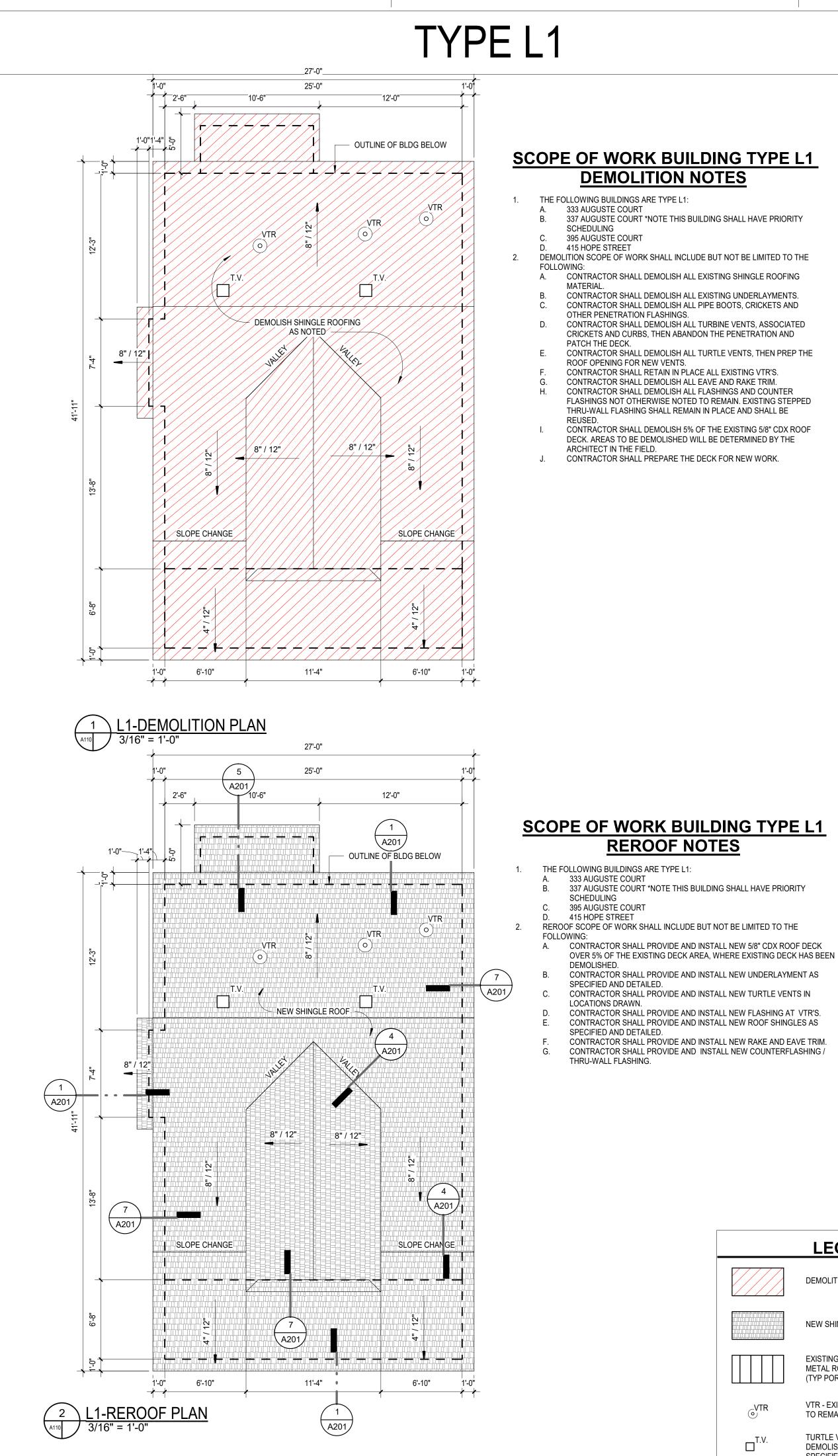


8" / 12"



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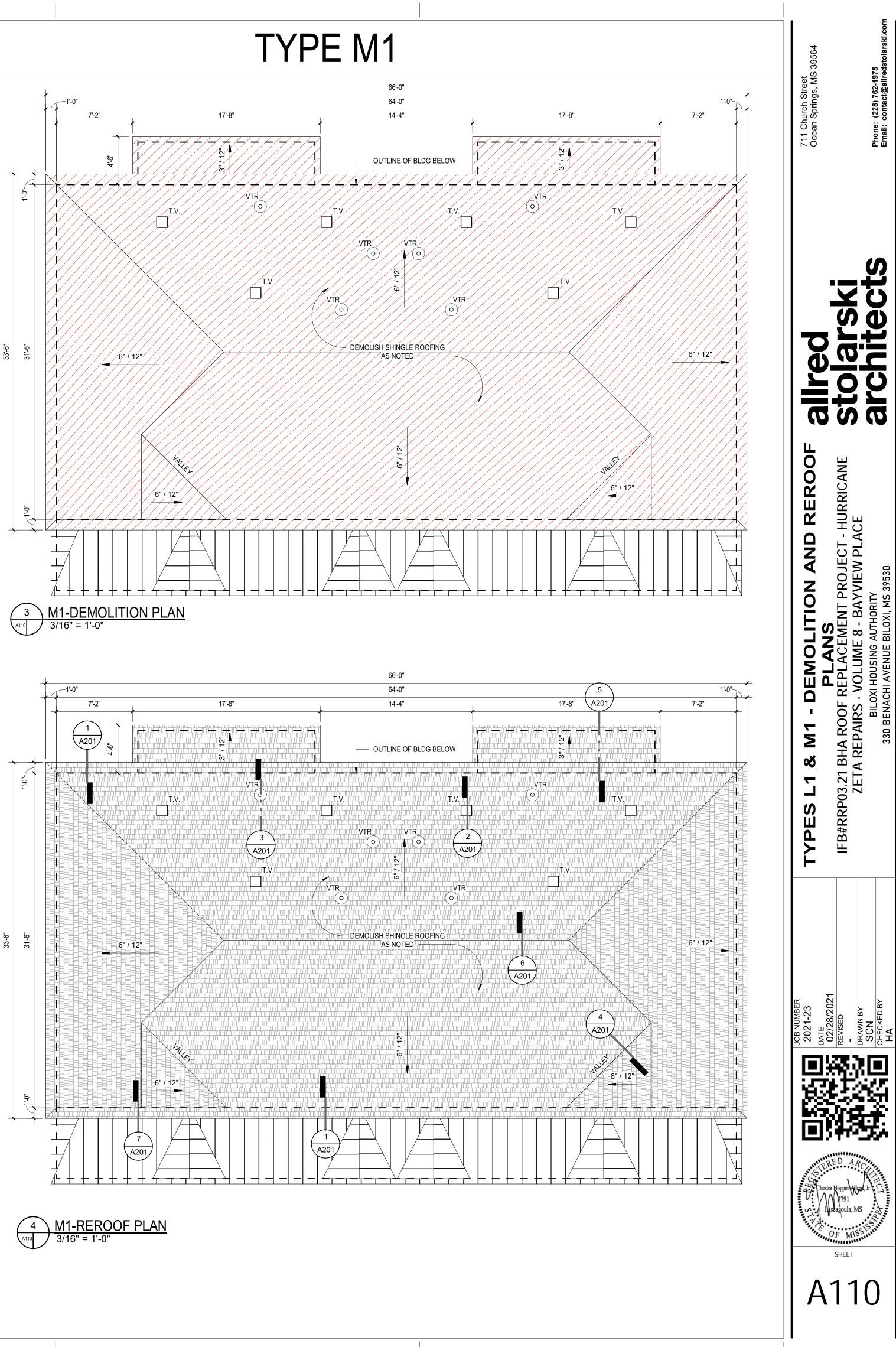
- CONTRACTOR SHALL PROVIDE AND INSTALL NEW 5/8" CDX ROOF DECK
- CONTRACTOR SHALL PROVIDE AND INSTALL NEW ROOF SHINGLES AS
- CONTRACTOR SHALL PROVIDE AND INSTALL NEW COUNTERFLASHING /

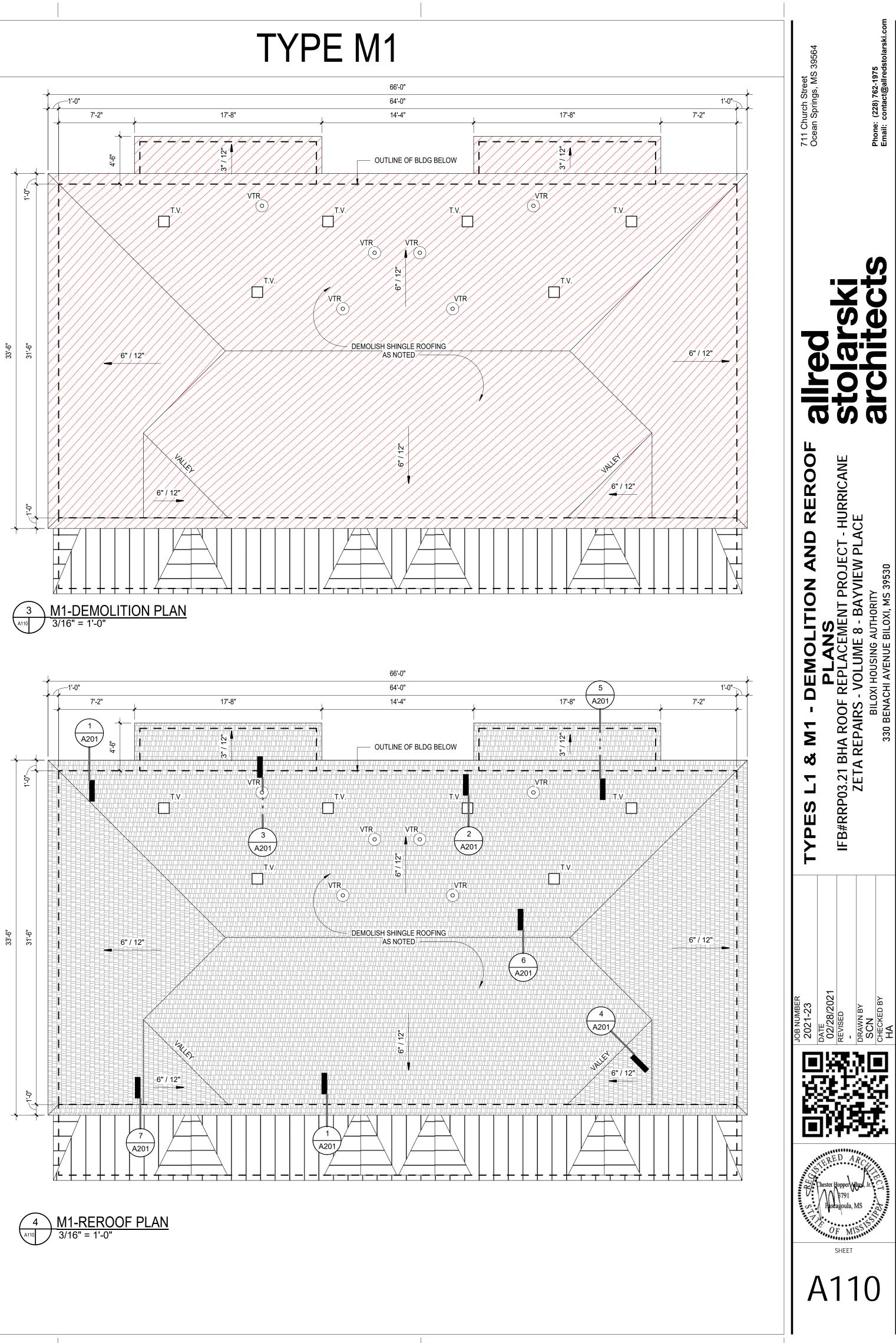
SCOPE OF WORK BUILDING **TYPE M1 DEMOLITION NOTES**

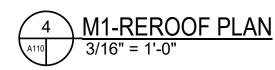
THE FOLLOWING BUILDINGS ARE TYPE M1: A. 617 BRADFORD STREET

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- 643 BRADFORD STREET THE FOLLOWING SCOPE OF WORK APPLIES ONLY TO AREAS WITH SHINGLE ROOFING. THE STANDING SEAM METAL PORCH ROOF, INCLUDING ALL EXISTING TRIM, FLASHING, UNDERLAYMENTS AND ACCESSORIES, IS EXISTING AND SHALL
- REMAIN. DEMOLITION SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
- A. CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE ROOFING MATERIAL. CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE B
- UNDERLAYMENTS. CONTRACTOR SHALL DEMOLISH ALL PIPE BOOTS,
- CRICKETS AND OTHER PENETRATION FLASHINGS. CONTRACTOR SHALL DEMOLISH ALL BOX VENTS, THEN
- PREP THE ROOF OPENING FOR NEW VENTS. CONTRACTOR SHALL RETAIN IN PLACE ALL EXISTING
- VTR'S CONTRACTOR SHALL RETAIN IN PLACE ALL GABLE
- VENTS. CONTRACTOR SHALL DEMOLISH ALL EAVE AND RAKE G.
- CONTRACTOR SHALL DEMOLISH ALL FLASHINGS AND COUNTER FLASHINGS NOT OTHERWISE NOTED TO REMAIN. EXISTING THRU-WALL FLASHING SHALL
- REMAIN IN PLACE AND SHALL BE REUSED. CONTRACTOR SHALL DEMOLISH 5% OF THE EXISTING 5/8" CDX ROOF DECK. AREAS TO BE DEMOLISHED WILL BE DETERMINED BY THE ARCHITECT IN THE FIELD.
- CONTRACTOR SHALL PREPARE THE DECK FOR NEW WORK.





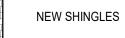


LEGEND



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VTR - EXISTING VENT THRU ROOF TO REMAIN. PROVIDE NEW BOOT.

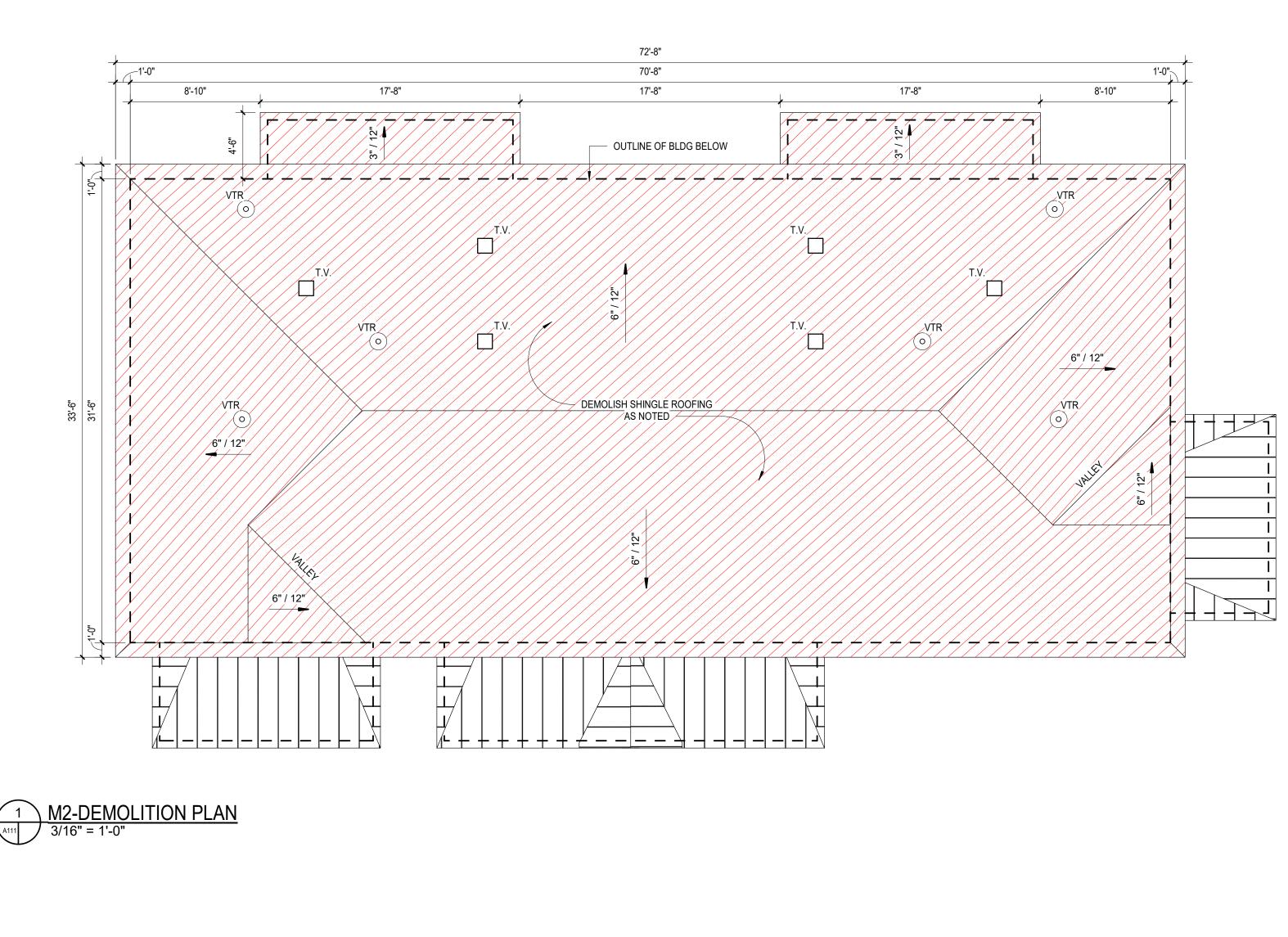
TURTLE VENT - EXISTING VENT TO BE DEMOLISHED. INSTALL NEW SPECIFIED VENT IN EXISTING LOCATION.

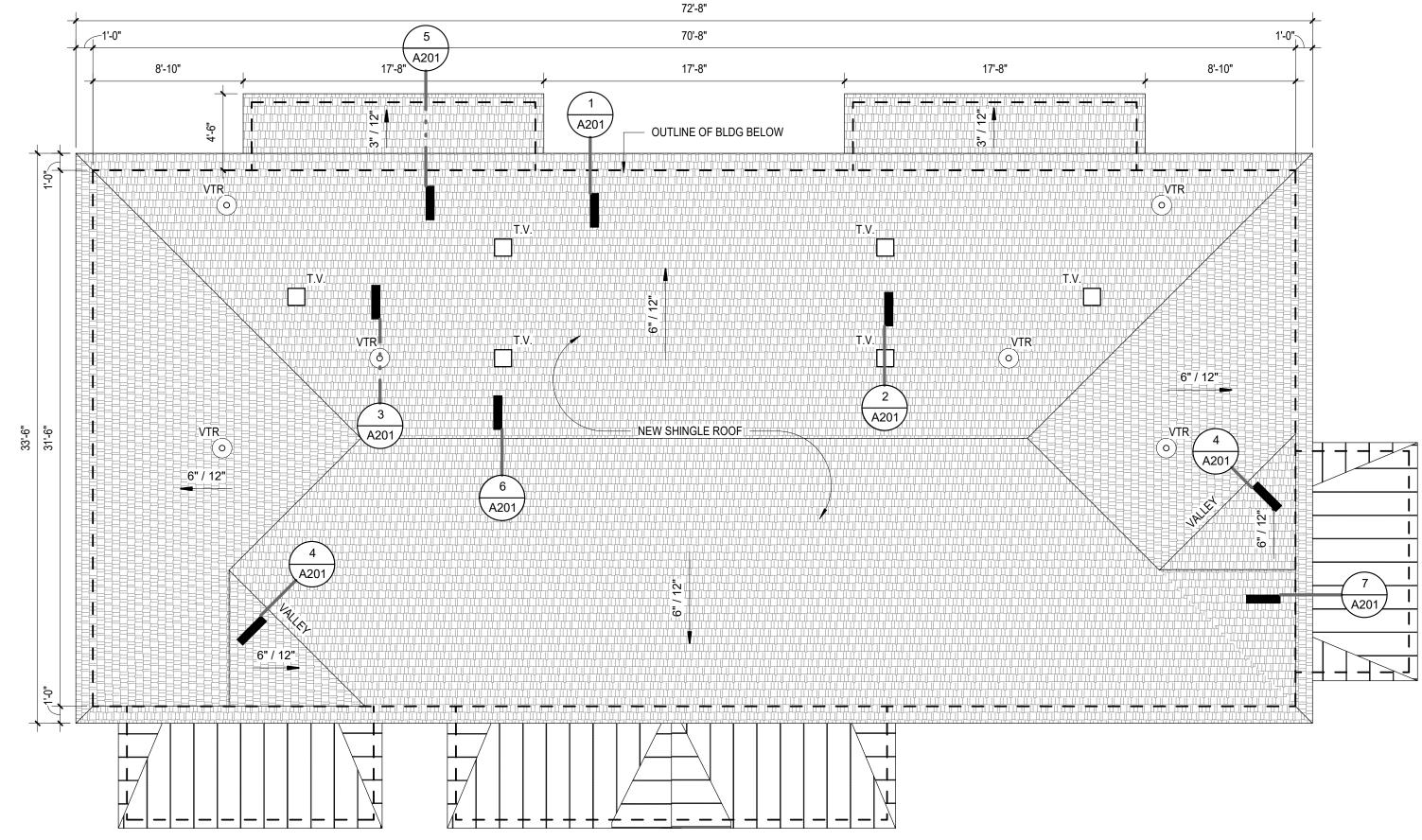
SCOPE OF WORK BUILDING TYPE M1 REROOF NOTES

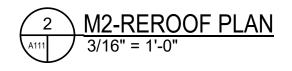
- THE FOLLOWING BUILDINGS ARE TYPE M1:
- 617 BRADFORD STREET 643 BRADFORD STREET R

3.

- THE FOLLOWING SCOPE OF WORK APPLIES ONLY TO AREAS WITH SHINGLE ROOFING. THE STANDING SEAM METAL PORCH ROOF, INCLUDING ALL EXISTING TRIM, FLASHING, UNDERLAYMENTS AND ACCESSORIES, IS EXISTING AND SHALL REMAIN.
- REROOF SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
- A. CONTRACTOR SHALL PROVIDE AND INSTALL NEW 5/8" CDX ROOF DECK OVER 5% OF THE EXISTING DECK AREA, WHERE EXISTING DECK HAS BEEN DEMOLISHED.
- CONTRACTOR SHALL PROVIDE AND INSTALL NEW Β. UNDERLAYMENT AS SPECIFIED AND DETAILED.
- CONTRACTOR SHALL PROVIDE AND INSTALL NEW C.
- BOX VENTS IN LOCATIONS DRAWN. CONTRACTOR SHALL PROVIDE AND INSTALL NEW D. FLASHING AT VTR'S.
- CONTRACTOR SHALL PROVIDE AND INSTALL NEW
- ROOF SHINGLES AS SPECIFIED AND DETAILED. CONTRACTOR SHALL PROVIDE AND INSTALL NEW
- RAKE AND EAVE TRIM. CONTRACTOR SHALL PROVIDE AND INSTALL NEW G. COUNTERFLASHING / THRU-WALL FLASHING.







SCOPE OF WORK BUILDING TYPE M2 **DEMOLITION NOTES**

- 1. THE FOLLOWING BUILDINGS ARE TYPE M2: A. 602 SPLENDOR STREET
 - 655 BRADFORD STREET
 - 625 BRADFORD STREET
- THE FOLLOWING SCOPE OF WORK APPLIES ONLY TO AREAS WITH SHINGLE ROOFING. THE STANDING SEAM METAL PORCH ROOF, INCLUDING ALL EXISTING TRIM, FLASHING, 2. UNDERLAYMENTS AND ACCESSORIES, IS EXISTING AND SHALL REMAIN. DEMOLITION SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE
- 3. FOLLOWING:
 - CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE ROOFING MATERIAL. CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE UNDERLAYMENTS. CONTRACTOR SHALL DEMOLISH ALL PIPE BOOTS, CRICKETS AND OTHER Α.
 - PENETRATION FLASHINGS.
 - CONTRACTOR SHALL DEMOLISH ALL BOX VENTS, THEN PREP THE ROOF OPENING FOR NEW VENTS.
 - CONTRACTOR SHALL RETAIN IN PLACE ALL EXISTING VTR'S. CONTRACTOR SHALL RETAIN IN PLACE ALL GABLE VENTS.
 - CONTRACTOR SHALL DEMOLISH ALL EAVE AND RAKE TRIM.
 - CONTRACTOR SHALL DEMOLISH ALL FLASHINGS AND COUNTER FLASHINGS NOT OTHERWISE NOTED TO REMAIN. EXISTING THRU-WALL FLASHING SHALL REMAIN IN PLACE AND SHALL BE REUSED. CONTRACTOR SHALL DEMOLISH 5% OF THE EXISTING 5/8" CDX ROOF DECK.
 - AREAS TO BE DEMOLISHED WILL BE DETERMINED BY THE ARCHITECT IN THE FIELD.
 - J. CONTRACTOR SHALL PREPARE THE DECK FOR NEW WORK.

	LEGEND
	DEMOLITION MARK
	NEW SHINGLES
	EXISTING STANDING SEAM METAL ROOF TO REMAIN (TYP PORCH ROOF)
vtr ا	VTR - EXISTING VENT THRU ROOF TO REMAIN. PROVIDE NEW BOOT.

TURTLE VENT - EXIST	TING VENT TO BE
DEMOLISHED. INSTAL	L NEW
SPECIFIED VENT IN E	XISTING
LOCATION.	

SCOPE OF WORK BUILDING TYPE **M2 REROOF NOTES**

THE FOLLOWING BUILDINGS ARE TYPE M2:
 A. 602 SPLENDOR STREET
 B. 655 BRADFORD STREET

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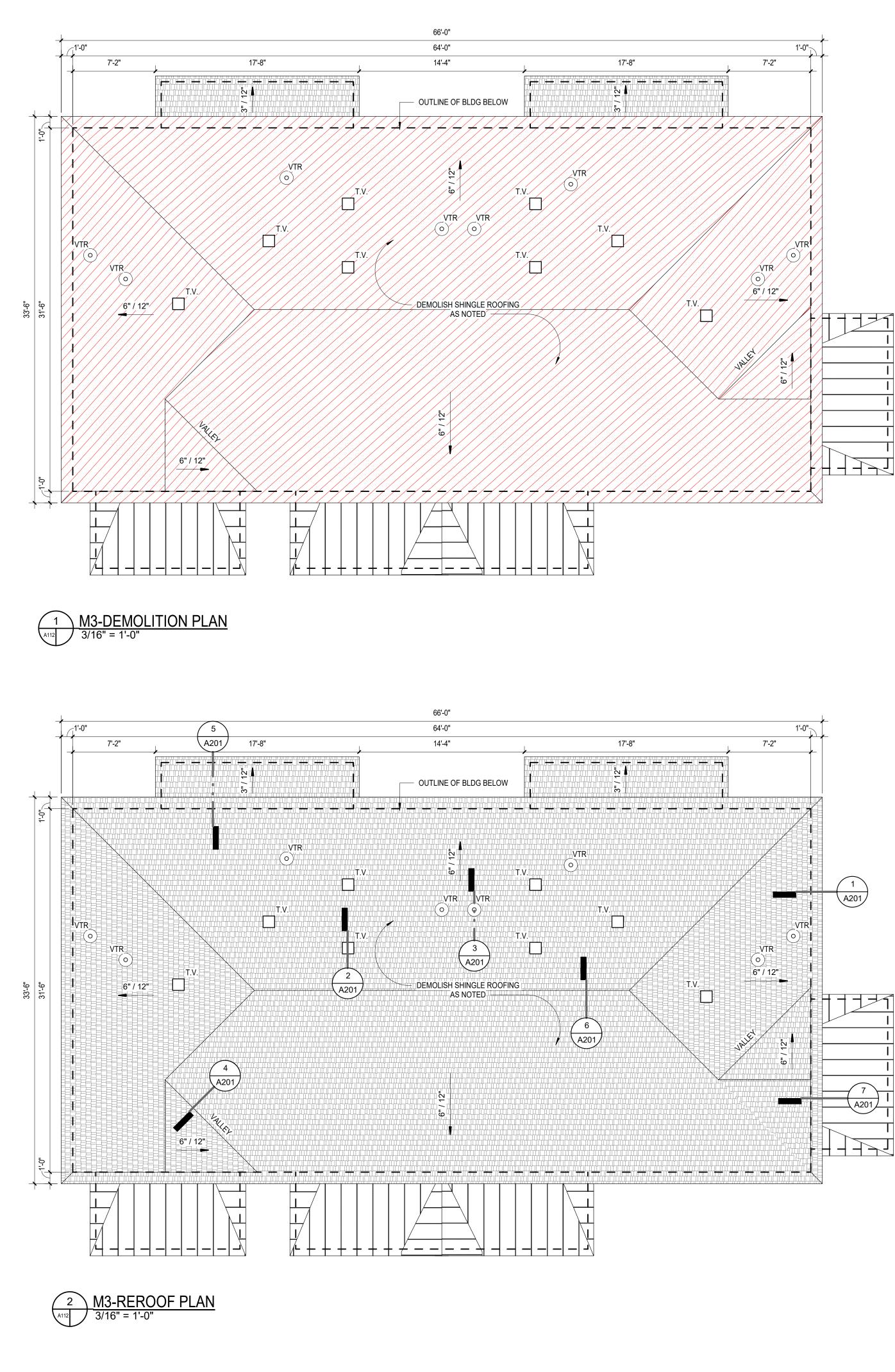
- 625 BRADFORD STREET THE FOLLOWING SCOPE OF WORK APPLIES ONLY TO AREAS WITH SHINGLE ROOFING. THE STANDING SEAM METAL PORCH ROOF, INCLUDING ALL EXISTING TRIM, FLASHING, UNDERLAYMENTS AND ACCESSORIES, IS EXISTING AND SHALL
- REMAIN. REROOF SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE 3. FOLLOWING: A. CONTRACTOR SHALL PROVIDE AND INSTALL NEW 5/8" CDX ROOF DECK
 - OVER 5% OF THE EXISTING DECK AREA, WHERE EXISTING DECK HAS BEEN DEMOLISHED. CONTRACTOR SHALL PROVIDE AND INSTALL NEW UNDERLAYMENT AS Β.
 - SPECIFIED AND DETAILED. CONTRACTOR SHALL PROVIDE AND INSTALL NEW BOX VENTS IN LOCATIONS DRAWN.
 - CONTRACTOR SHALL PROVIDE AND INSTALL NEW FLASHING AT VTR'S. CONTRACTOR SHALL PROVIDE AND INSTALL NEW ROOF SHINGLES AS
 - SPECIFIED AND DETAILED. CONTRACTOR SHALL PROVIDE AND INSTALL NEW RAKE AND EAVE TRIM. CONTRACTOR SHALL PROVIDE AND INSTALL NEW COUNTERFLASHING / THRU-WALL FLASHING.

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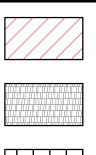






SCOPE OF WORK BUILDING TYPE M3 DEMOLITION NOTES

- 1. THE FOLLOWING BUILDINGS ARE TYPE M3:
 - A. 675 BRADFORD STREETB. 637 BRADFORD STREET
- C. 419 DR GILBERT MASON
- THE FOLLOWING SCOPE OF WORK APPLIES ONLY TO AREAS WITH SHINGLE ROOFING. THE STANDING SEAM METAL PORCH ROOF, INCLUDING ALL EXISTING TRIM, FLASHING, UNDERLAYMENTS AND ACCESSORIES, IS EXISTING AND SHALL REMAIN.
 DEMOLITION SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE
- FOLLOWING:
- A. CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE ROOFING MATERIAL.B. CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE UNDERLAYMENTS.
- C. CONTRACTOR SHALL DEMOLISH ALL PIPE BOOTS, CRICKETS AND OTHER PENETRATION FLASHINGS.
- D. CONTRACTOR SHALL DEMOLISH ALL BOX VENTS, THEN PREP THE ROOF
- OPENING FOR NEW VENTS. E. CONTRACTOR SHALL RETAIN IN PLACE ALL EXISTING VTR'S.
- CONTRACTOR SHALL RETAIN IN PLACE ALL GABLE VENTS.
- G. CONTRACTOR SHALL DEMOLISH ALL EAVE AND RAKE TRIM.
 H. CONTRACTOR SHALL DEMOLISH ALL FLASHINGS AND COUNTER FLASHINGS NOT OTHERWISE NOTED TO REMAIN. EXISTING THRU-WALL FLASHING SHALL REMAIN IN PLACE AND SHALL BE REUSED.
- I. CONTRACTOR SHALL DEMOLISH 5% OF THE EXISTING 5/8" CDX ROOF DECK. AREAS TO BE DEMOLISHED WILL BE DETERMINED BY THE ARCHITECT IN THE FIELD.
- J. CONTRACTOR SHALL PREPARE THE DECK FOR NEW WORK.



LEGEND

NEW SHINGLES

DEMOLITION MARK



EXISTING STANDING SEAM METAL ROOF TO REMAIN (TYP PORCH ROOF)

VTR ا

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TURTLE VENT - EXISTING VENT TO BE DEMOLISHED. INSTALL NEW SPECIFIED VENT IN EXISTING LOCATION.

VTR - EXISTING VENT THRU ROOF

TO REMAIN. PROVIDE NEW BOOT.

SCOPE OF WORK BUILDING TYPE M3 REROOF NOTES

- 1. THE FOLLOWING BUILDINGS ARE TYPE M3:
- A. 675 BRADFORD STREETB. 637 BRADFORD STREET
- C. 419 DR GILBERT MASON
- 2. THE FOLLOWING SCOPE OF WORK APPLIES ONLY TO AREAS WITH SHINGLE ROOFING. THE STANDING SEAM METAL PORCH ROOF, INCLUDING ALL EXISTING TRIM, FLASHING, UNDERLAYMENTS AND ACCESSORIES, IS EXISTING AND SHALL
- REMAIN.
- REROOF SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
 A. CONTRACTOR SHALL PROVIDE AND INSTALL NEW 5/8" CDX ROOF DECK
 - OVER 5% OF THE EXISTING DECK AREA, WHERE EXISTING DECK HAS BEEN DEMOLISHED. CONTRACTOR SHALL PROVIDE AND INSTALL NEW UNDERLAYMENT AS
 - B. CONTRACTOR SHALL PROVIDE AND INSTALL NEW UNDERLAYMENT A SPECIFIED AND DETAILED.
 C. CONTRACTOR SHALL PROVIDE AND INSTALL NEW BOX VENTS IN
 - LOCATIONS DRAWN.
 - CONTRACTOR SHALL PROVIDE AND INSTALL NEW FLASHING AT VTR'S.
 CONTRACTOR SHALL PROVIDE AND INSTALL NEW ROOF SHINGLES AS
 - SPECIFIED AND DETAILED.
 F. CONTRACTOR SHALL PROVIDE AND INSTALL NEW RAKE AND EAVE TRIM.
 G. CONTRACTOR SHALL PROVIDE AND INSTALL NEW COUNTERFLASHING / THRU-WALL FLASHING.

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PROJECT - HURRICANE YVIEW PLACE

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REROOF

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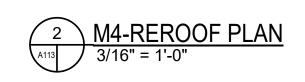
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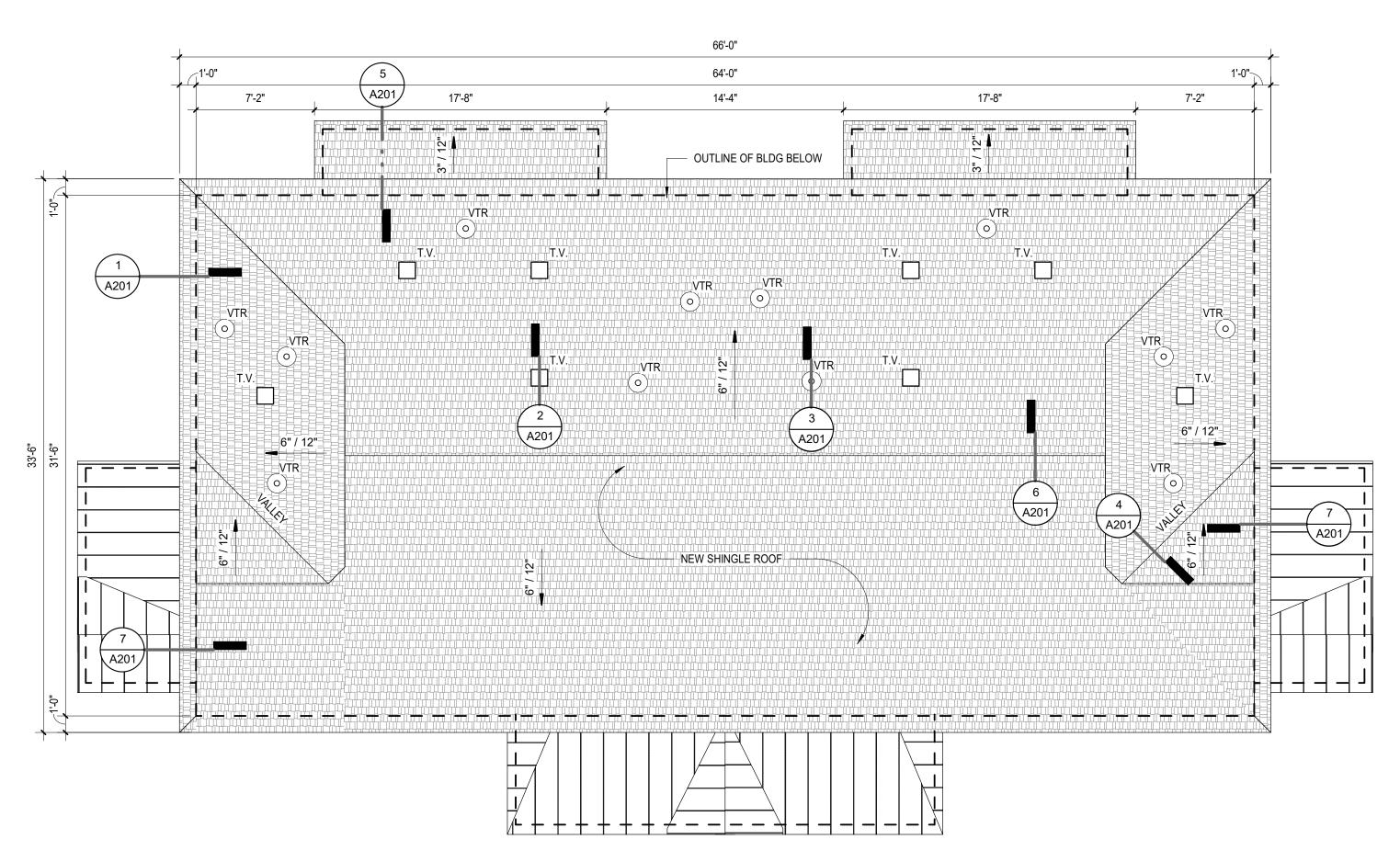
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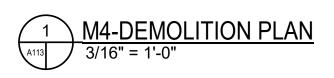
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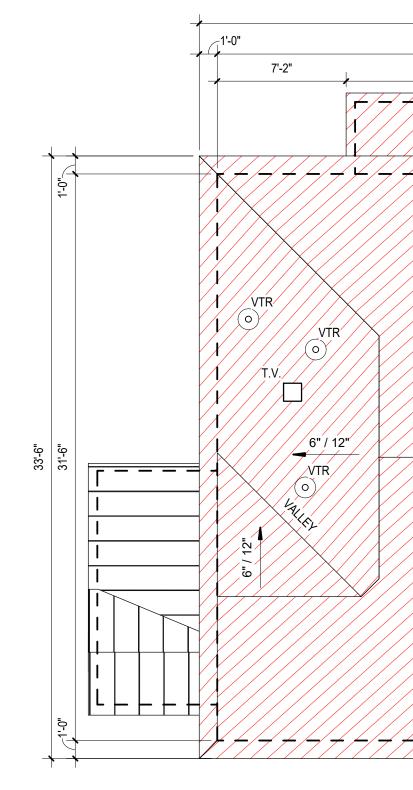
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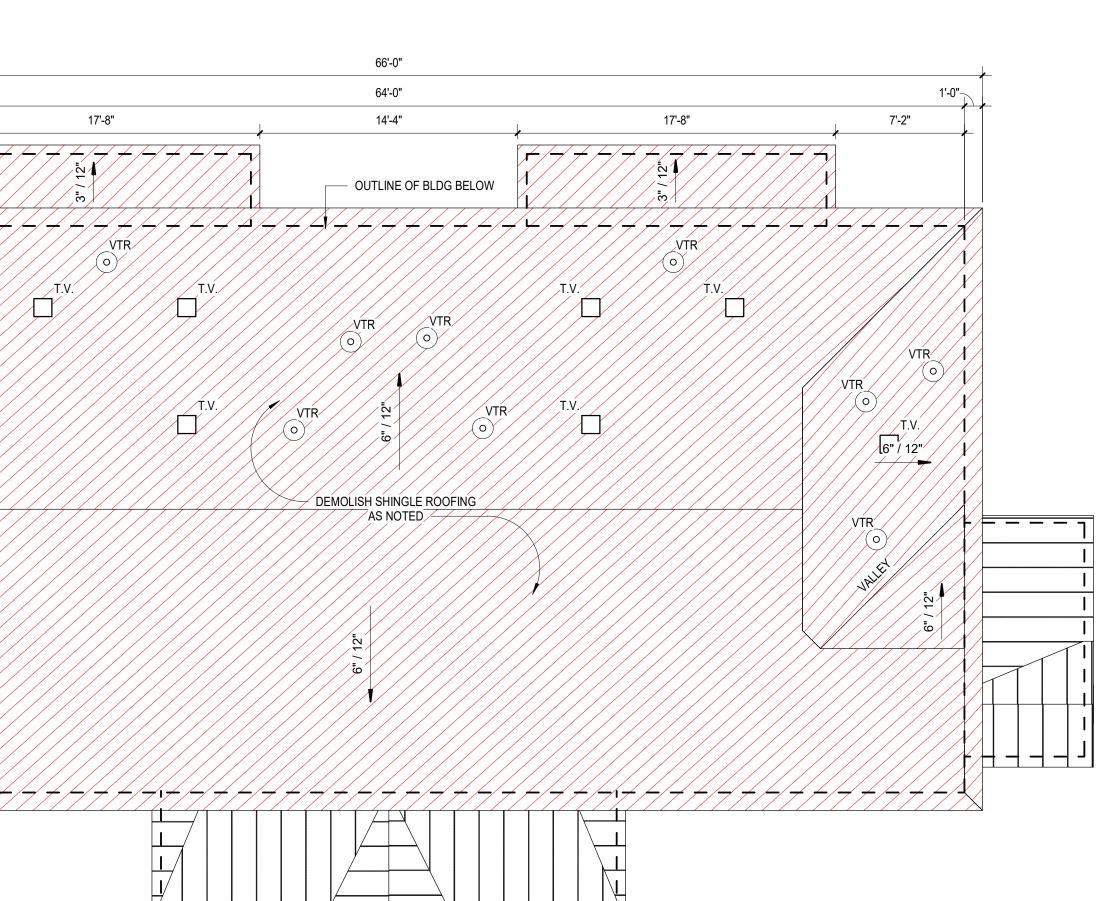
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SCOPE OF WORK BUILDING TYPE M4 DEMOLITION NOTES

- 1. THE FOLLOWING BUILDINGS ARE TYPE M4:
 - A. 663 BRADFORD STREETB. 365 AUGUSTE COURT

2.

- C. 636 ROY STREET THE FOLLOWING SCOPE OF WORK APPLIES ONLY TO AREAS WITH SHINGLE ROOFING. THE STANDING SEAM METAL DORCH POOE INCLUDING ALL EXISTING TRIM FLASHING.
- THE STANDING SEAM METAL PORCH ROOF, INCLUDING ALL EXISTING TRIM, FLASHING, UNDERLAYMENTS AND ACCESSORIES, IS EXISTING AND SHALL REMAIN.
 3. DEMOLITION SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
 - A. CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE ROOFING MATERIAL.
 B. CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE UNDERLAYMENTS.
 C. CONTRACTOR SHALL DEMOLISH ALL DIPE POOTS. CRICKETS AND OTHER
 - CONTRACTOR SHALL DEMOLISH ALL PIPE BOOTS, CRICKETS AND OTHER PENETRATION FLASHINGS.
 CONTRACTOR SHALL DEMOLISH ALL BOX VENTS, THEN PREP THE ROOF
 - OPENING FOR NEW VENTS.
 - E. CONTRACTOR SHALL RETAIN IN PLACE ALL EXISTING VTR'S. CONTRACTOR SHALL RETAIN IN PLACE ALL GABLE VENTS.
 - G. CONTRACTOR SHALL DEMOLISH ALL EAVE AND RAKE TRIM.
 - H. CONTRACTOR SHALL DEMOLISH ALL FLASHINGS AND COUNTER FLASHINGS NOT OTHERWISE NOTED TO REMAIN. EXISTING THRU-WALL FLASHING SHALL REMAIN IN PLACE AND SHALL BE REUSED.
 - CONTRACTOR SHALL DEMOLISH 5% OF THE EXISTING 5/8" CDX ROOF DECK. AREAS TO BE DEMOLISHED WILL BE DETERMINED BY THE ARCHITECT IN THE FIELD.
 - J. CONTRACTOR SHALL PREPARE THE DECK FOR NEW WORK.

LEGEND

DEMOLITION MARK

NEW SHINGLES



EXISTING STANDING SEAM METAL ROOF TO REMAIN (TYP PORCH ROOF)

 $\Box^{\mathsf{T}.\mathsf{V}.}$

TO REMAIN. PROVIDE NEW BOOT.

VTR - EXISTING VENT THRU ROOF

TURTLE VENT - EXISTING VENT TO BE DEMOLISHED. INSTALL NEW SPECIFIED VENT IN EXISTING LOCATION.

SCOPE OF WORK BUILDING TYPE M4 REROOF NOTES

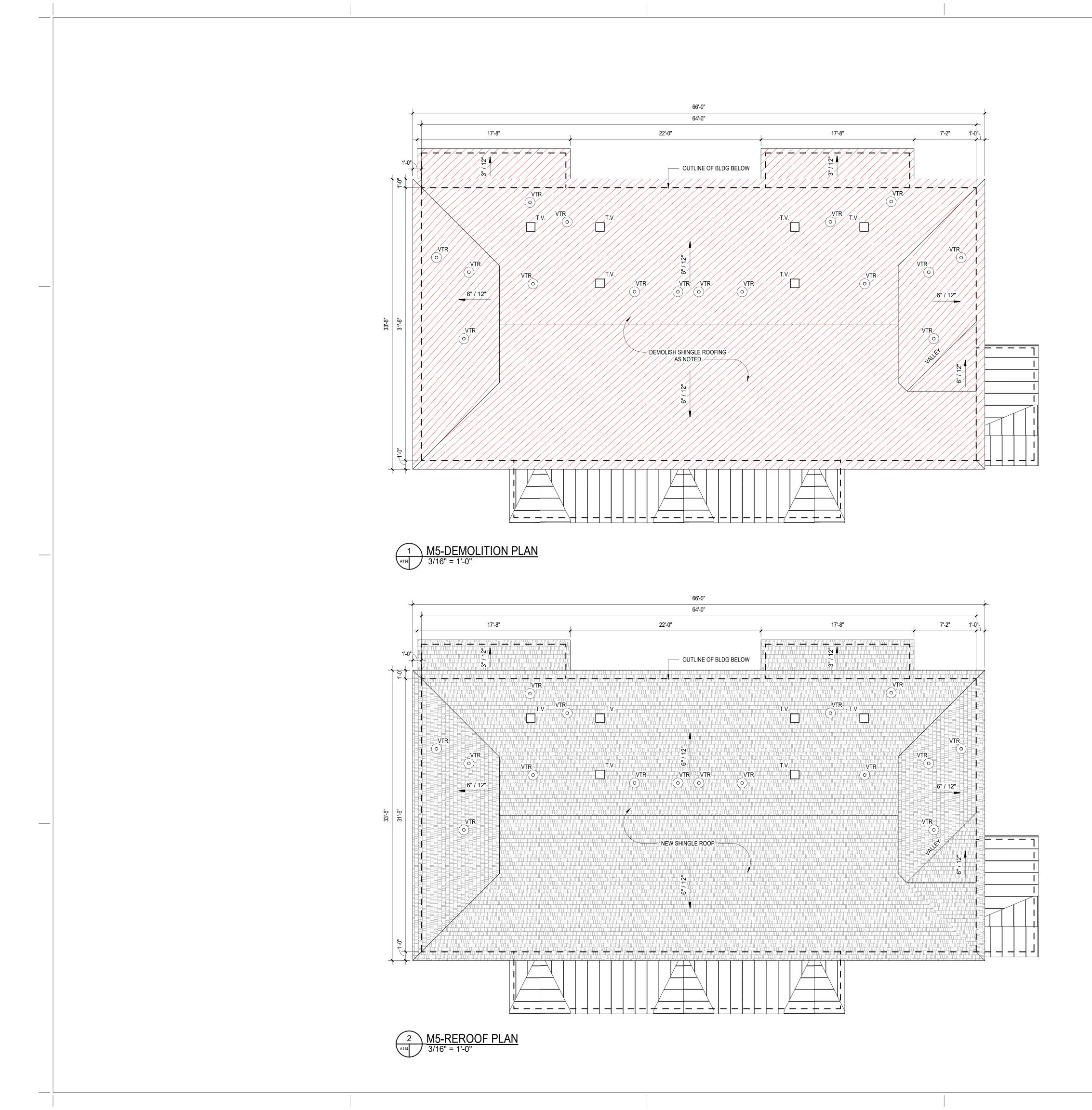
- 1. THE FOLLOWING BUILDINGS ARE TYPE M4:
 - A. 663 BRADFORD STREETB. 365 AUGUSTE COURT
 - C. 636 ROY STREET
- 2. THE FOLLOWING SCOPE OF WORK APPLIES ONLY TO AREAS WITH SHINGLE ROOFING. THE STANDING SEAM METAL PORCH ROOF, INCLUDING ALL EXISTING TRIM, FLASHING, UNDERLAYMENTS AND ACCESSORIES, IS EXISTING AND SHALL REMAIN.
- REROOF SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
 A. CONTRACTOR SHALL PROVIDE AND INSTALL NEW 5/8" CDX ROOF DECK
 - CONTRACTOR STALL PROVIDE AND INSTALL NEW 3/3 CDX ROOT DECK OVER 5% OF THE EXISTING DECK AREA, WHERE EXISTING DECK HAS BEEN DEMOLISHED.
 B. CONTRACTOR SHALL PROVIDE AND INSTALL NEW UNDERLAYMENT AS
 - SPECIFIED AND DETAILED.
 C. CONTRACTOR SHALL PROVIDE AND INSTALL NEW BOX VENTS IN
 - LOCATIONS DRAWN. D. CONTRACTOR SHALL PROVIDE AND INSTALL NEW FLASHING AT VTR'S.
 - E. CONTRACTOR SHALL PROVIDE AND INSTALL NEW ROOF SHINGLES AS
 - SPECIFIED AND DETAILED.
 F. CONTRACTOR SHALL PROVIDE AND INSTALL NEW RAKE AND EAVE TRIM.
 G. CONTRACTOR SHALL PROVIDE AND INSTALL NEW COUNTERFLASHING / THRU-WALL FLASHING.

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Phone:





SCOPE OF WORK BUILDING TYPE M5 DEMOLITION NOTES

- 1. THE FOLLOWING BUILDINGS ARE TYPE M5: A. 620 SPLENDOR STREET
- 2. THE FOLLOWING SCOPE OF WORK APPLIES ONLY TO AREAS WITH SHINGLE ROOFING. THE STANDING SEAM METAL PORCH ROOF, INCLUDING ALL EXISTING TRIM, FLASHING,
- UNDERLAYMENTS AND ACCESSORIES, IS EXISTING AND SHALL REMAIN.
 DEMOLITION SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
 - A. CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE ROOFING MATERIAL.
 B. CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE UNDERLAYMENTS.
 C. CONTRACTOR SHALL DEMOLISH ALL PIPE BOOTS, CRICKETS AND OTHER
 - PENETRATION FLASHINGS. CONTRACTOR SHALL DEMOLISH ALL BOX VENTS, THEN PREP THE ROOF
 - OPENING FOR NEW VENTS. E. CONTRACTOR SHALL RETAIN IN PLACE ALL EXISTING VTR'S.
 - F. CONTRACTOR SHALL RETAIN IN PLACE ALL GABLE VENTS.
 - G. CONTRACTOR SHALL DEMOLISH ALL EAVE AND RAKE TRIM.
 I. CONTRACTOR SHALL DEMOLISH ALL FLASHINGS AND COUNTER FLASHINGS NOT OTHERWISE NOTED TO REMAIN. EXISTING THRU-WALL FLASHING SHALL REMAIN IN PLACE AND SHALL BE REUSED.
 - I. CONTRACTOR SHALL DEMOLISH 5% OF THE EXISTING 5/8" CDX ROOF DECK. AREAS TO BE DEMOLISHED WILL BE DETERMINED BY THE ARCHITECT IN THE FIELD.
 - J. CONTRACTOR SHALL PREPARE THE DECK FOR NEW WORK.

Image: Demolition mark Image: Demolition ma

LOCATION.

SCOPE OF WORK BUILDING TYPE M5 REROOF NOTES

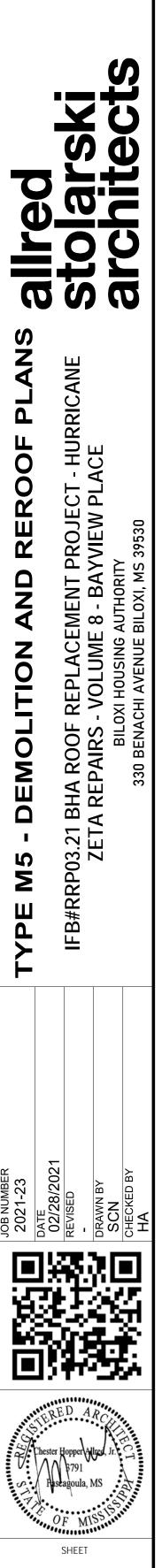
1. THE FOLLOWING BUILDINGS ARE TYPE M5:

3.

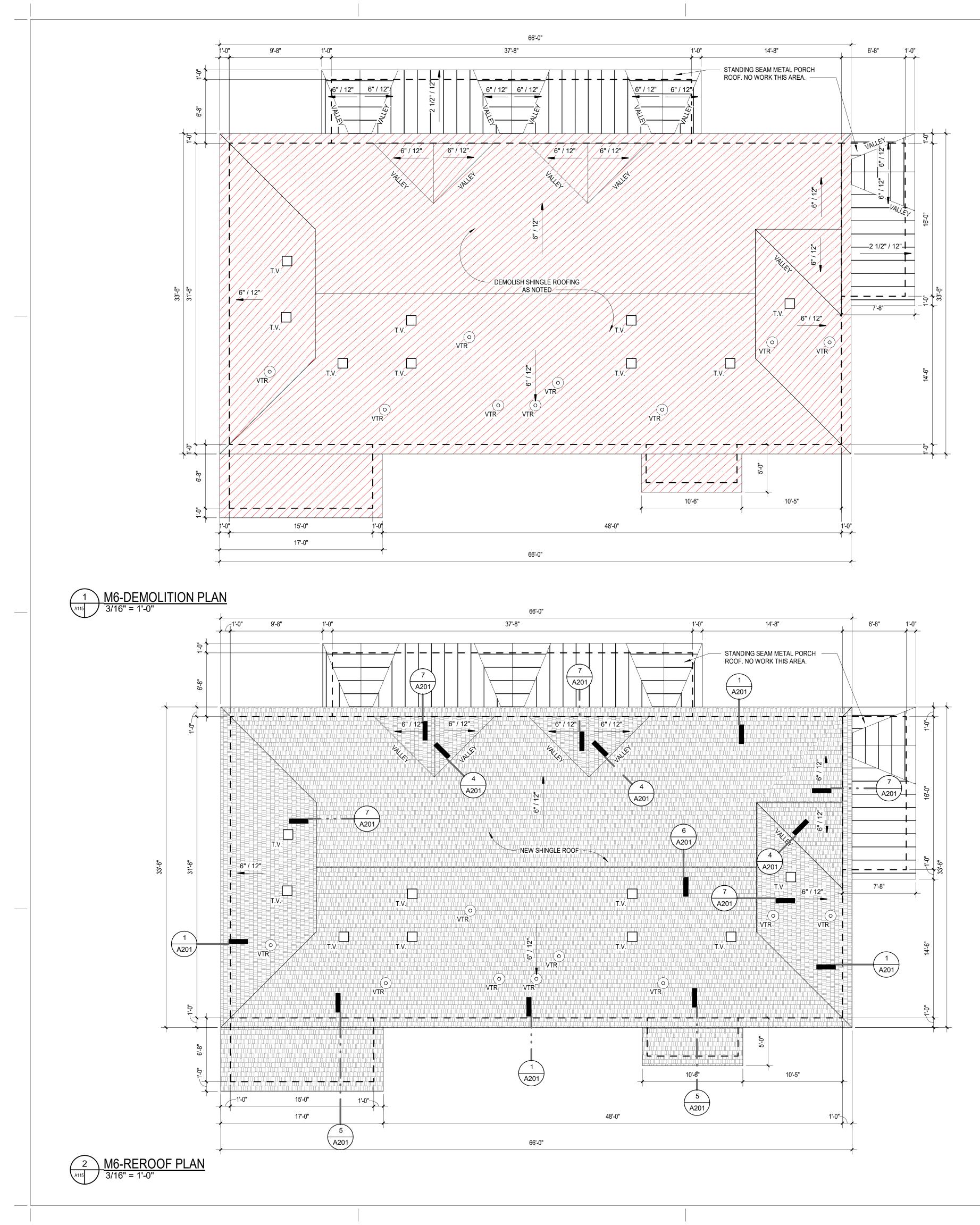
- A. 620 SPLENDOR STREET
 THE FOLLOWING SCOPE OF WORK APPLIES ONLY TO AREAS WITH SHINGLE ROOFING. THE STANDING SEAM METAL PORCH ROOF, INCLUDING ALL EXISTING TRIM, FLASHING, UNDERLAYMENTS AND ACCESSORIES, IS EXISTING AND SHALL REMAIN.
 - REROOF SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING: A. CONTRACTOR SHALL PROVIDE AND INSTALL NEW 5/8" CDX ROOF DECK
 - CONTRACTOR SHALL PROVIDE AND INSTALL NEW 5/8 CDX ROOF DECK OVER 5% OF THE EXISTING DECK AREA, WHERE EXISTING DECK HAS BEEN DEMOLISHED.
 B. CONTRACTOR SHALL PROVIDE AND INSTALL NEW UNDERLAYMENT AS
 - B. CONTRACTOR SHALL PROVIDE AND INSTALL NEW UNDERLATIVEN SPECIFIED AND DETAILED.
 - C. CONTRACTOR SHALL PROVIDE AND INSTALL NEW BOX VENTS IN LOCATIONS DRAWN.
 - D. CONTRACTOR SHALL PROVIDE AND INSTALL NEW FLASHING AT VTR'S.
 E. CONTRACTOR SHALL PROVIDE AND INSTALL NEW ROOF SHINGLES AS SPECIFIED AND DETAILED.
 - F. CONTRACTOR SHALL PROVIDE AND INSTALL NEW RAKE AND EAVE TRIM.
 G. CONTRACTOR SHALL PROVIDE AND INSTALL NEW COUNTERFLASHING / THRU-WALL FLASHING.

(228)

Phone:







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SCOPE OF WORK BUILDING TYPE M6 DEMOLITION NOTES

1. THE FOLLOWING BUILDINGS ARE TYPE M6:

- A. 416 HOPE STREET *NOTE THIS BUILDING SHALL HAVE PRIORITY SCHEDULING 625 SPLENDOR STREET 606 SPLENDOR STREET
- THE FOLLOWING SCOPE OF WORK APPLIES ONLY TO AREAS WITH SHINGLE ROOFING. THE STANDING SEAM METAL PORCH ROOF, INCLUDING ALL EXISTING TRIM, FLASHING, UNDERLAYMENTS AND ACCESSORIES, IS EXISTING AND SHALL REMAIN. DEMOLITION SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE
- FOLLOWING: CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE ROOFING MATERIAL. Α. CONTRACTOR SHALL DEMOLISH ALL EXISTING SHINGLE UNDERLAYMENTS.
- CONTRACTOR SHALL DEMOLISH ALL PIPE BOOTS, CRICKETS AND OTHER PENETRATION FLASHINGS.
- CONTRACTOR SHALL DEMOLISH ALL BOX VENTS, THEN PREP THE ROOF OPENING FOR NEW VENTS.
- CONTRACTOR SHALL RETAIN IN PLACE ALL EXISTING VTR'S.
- CONTRACTOR SHALL RETAIN IN PLACE ALL GABLE VENTS. CONTRACTOR SHALL DEMOLISH ALL EAVE AND RAKE TRIM.
- CONTRACTOR SHALL DEMOLISH ALL FLASHINGS AND COUNTER FLASHINGS NOT н OTHERWISE NOTED TO REMAIN. EXISTING THRU-WALL FLASHING SHALL REMAIN IN PLACE AND SHALL BE REUSED.
- CONTRACTOR SHALL DEMOLISH 5% OF THE EXISTING 5/8" CDX ROOF DECK. 1. AREAS TO BE DEMOLISHED WILL BE DETERMINED BY THE ARCHITECT IN THE
- FIELD. J. CONTRACTOR SHALL PREPARE THE DECK FOR NEW WORK.

LEGEND

DEMOLITION MARK

NEW SHINGLES

EXISTING STANDING SEAM METAL ROOF TO REMAIN (TYP PORCH ROOF)



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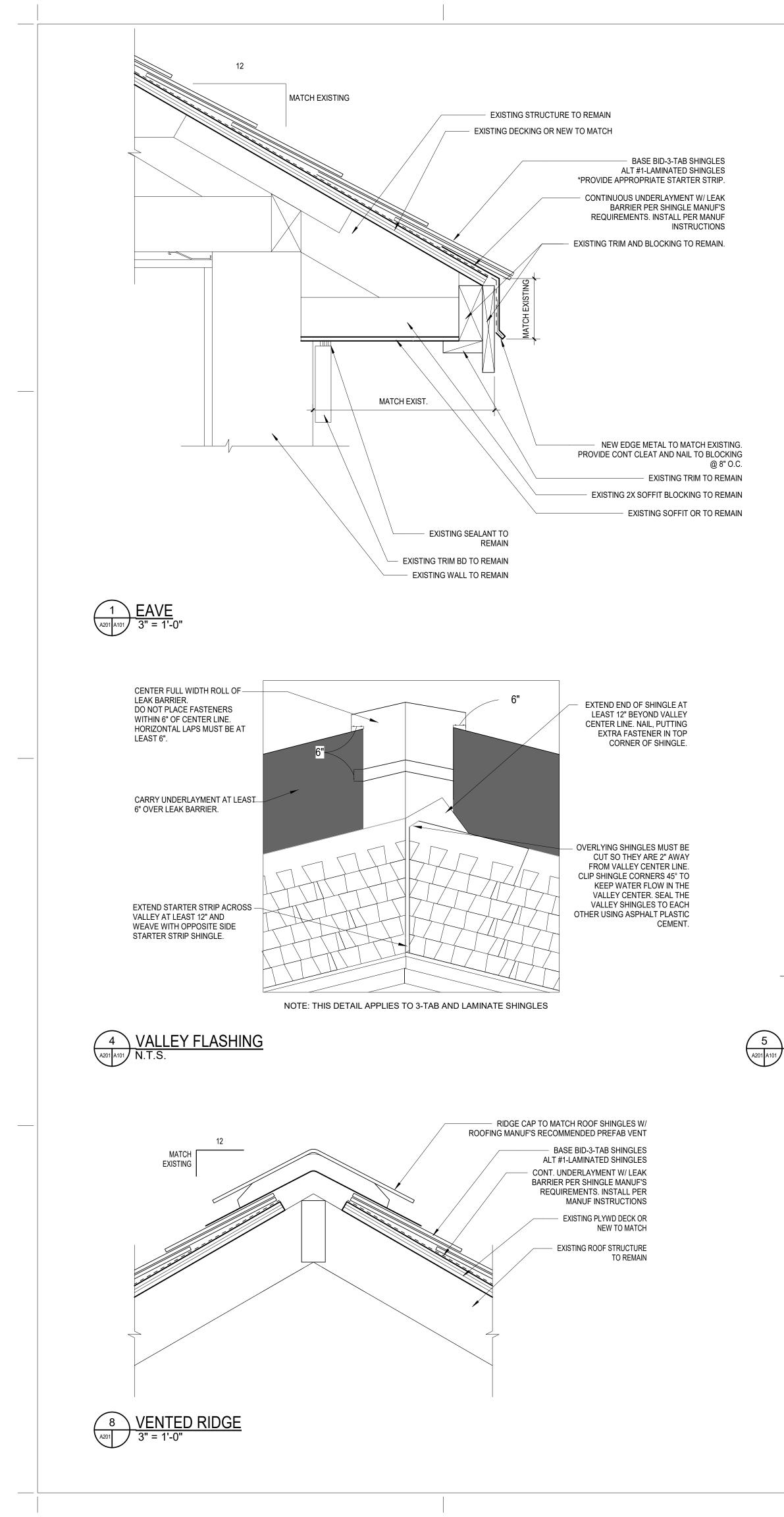
VTR - EXISTING VENT THRU ROOF TO REMAIN. PROVIDE NEW BOOT. TURTLE VENT - EXISTING VENT TO BE

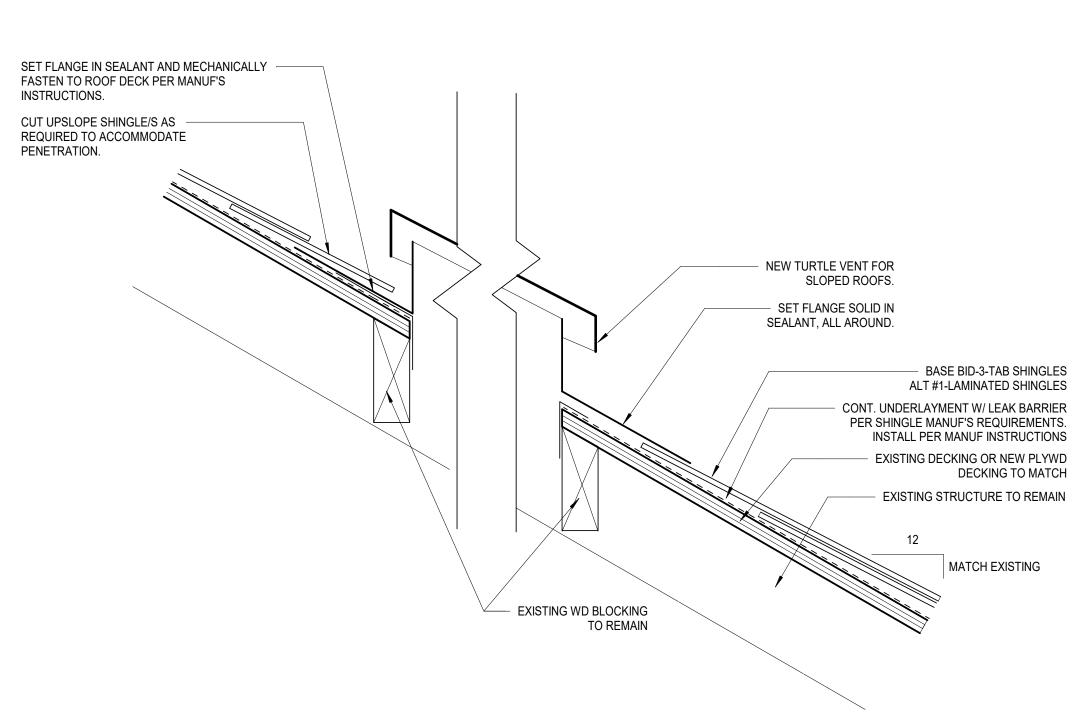
DEMOLISHED. INSTALL NEW SPECIFIED VENT IN EXISTING LOCATION.

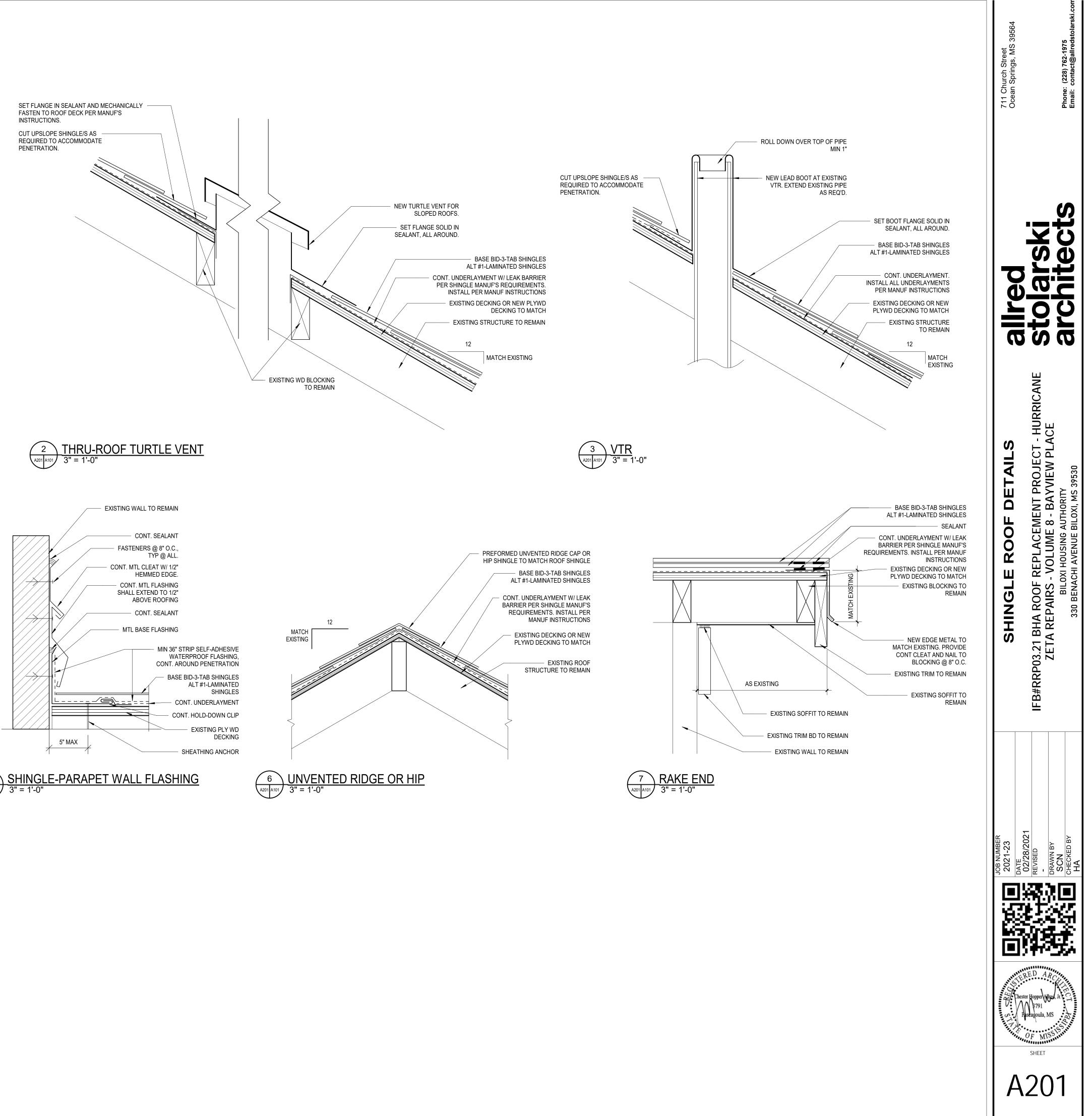
SCOPE OF WORK BUILDING TYPE M6 **REROOF NOTES**

- THE FOLLOWING BUILDINGS ARE TYPE M6:
 A. 416 HOPE STREET *NOTE THIS BUILDING SHALL HAVE PRIORITY SCHEDULING 625 SPLENDOR STREET 606 SPLENDOR STREET
- 2. THE FOLLOWING SCOPE OF WORK APPLIES ONLY TO AREAS WITH SHINGLE ROOFING. THE STANDING SEAM METAL PORCH ROOF, INCLUDING ALL EXISTING TRIM, FLASHING, UNDERLAYMENTS AND ACCESSORIES, IS EXISTING AND SHALL REMAIN.
- REROOF SCOPE OF WORK SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING: A. CONTRACTOR SHALL PROVIDE AND INSTALL NEW 5/8" CDX ROOF DECK OVER 5% OF THE EXISTING DECK AREA, WHERE EXISTING DECK HAS BEEN
- DEMOLISHED. B. CONTRACTOR SHALL PROVIDE AND INSTALL NEW UNDERLAYMENT AS
- SPECIFIED AND DETAILED. CONTRACTOR SHALL PROVIDE AND INSTALL NEW BOX VENTS IN LOCATIONS C. DRAWN.
- CONTRACTOR SHALL PROVIDE AND INSTALL NEW FLASHING AT VTR'S. CONTRACTOR SHALL PROVIDE AND INSTALL NEW ROOF SHINGLES AS
- SPECIFIED AND DETAILED. CONTRACTOR SHALL PROVIDE AND INSTALL NEW RAKE AND EAVE TRIM. CONTRACTOR SHALL PROVIDE AND INSTALL NEW COUNTERFLASHING / THRU-WALL FLASHING.

	ALS CLAR	JOB NUMBER	TYPE M6 - DEMOLITION AND REROOF PLANS		711 Church Street Ocean Springs, MS 39564
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11	DA lopper A 8791 agoula, M FMS SHEET	REVISED	REPLACEMENT PROJECT - HURRICANE	StolarSKI	
	RC Jr. AS	DRAWN BY SCN			1000) 1015
-)	MARCI HOMAN	снескер ву НА	330 BENACHI AVENUE BILOXI, MS 39530		Email: contact@allredstolarski.com

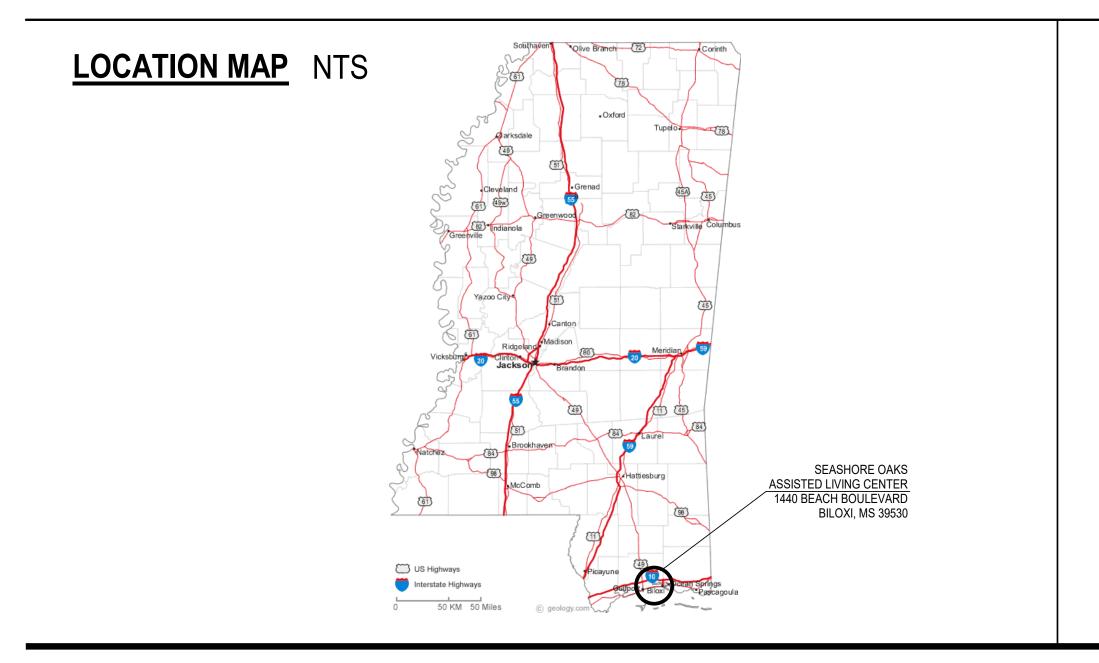




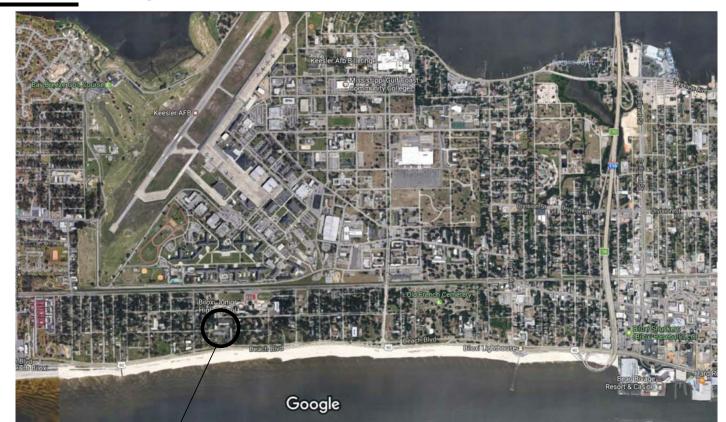


IFB#RRP03.21 BHA ROOF REPLACEMENT PROJECT - HURRICANE ZETA - VOLUME 9 -SEASHORE OAKS ASSISTED LIVING FACILITY

BILOXI HOUSING AUTHORITY 330 BENACHI AVENUE BILOXI, MS 39530



VICINITY MAP NTS



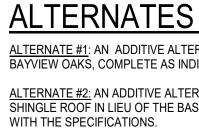
Imagery ©2017 Google, Map data ©2017 Google, INEGI 1000 ft

SEASHORE OAKS ASSISTED LIVING CENTER 1440 BEACH BOULEVARD BILOXI, MS 39530



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G000	TITLE SHEET
	INDEX - ARCH

DEMOLITION PLAN A101 A102 ROOF PLAN A201 MODIFIED BITUMEN DETAILS A202 SHINGLE DETAILS



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VOLUME 9 - DRAWING INDEX

INDEX - GENERAL

HITECTURAL

<u>PROJ #:</u> 2021-23

IFB#RRP03.21 BHA ROOF REPLACEMENT PROJECT HURRICANE ZETA - VOLUME 9 - SEASHORE OAKS ASSISTED LIVING FACILITY

> **BILOXI HOUSING AUTHORITY** 330 BENACHI AVENUE BILOXI, MS 39530

DATE: 02/28/2021

<u>SET TYPE</u> **BID SET**

PROJECT TEAM ARCHITECT ALLRED STOLARSKI ARCHITECTS

711 CHURCH STREET OCEAN SPRINGS, MS 39564 **T (**228) 762-1975 HÔPPÝ ALLRED, AIA, PRINCIPAL ARCHITECT hoppy@allredstolarski.com

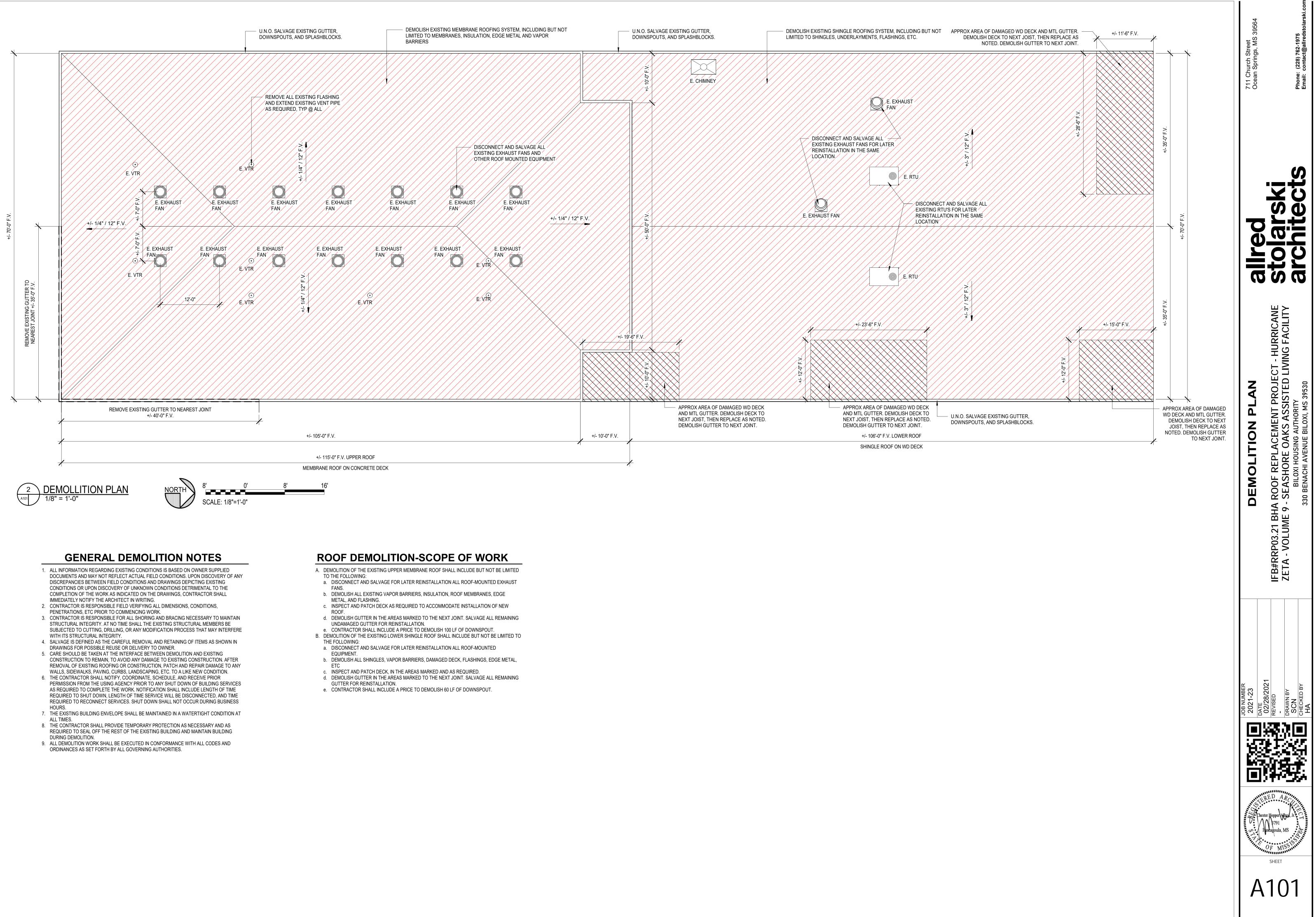
ALTERNATE #1: AN ADDITIVE ALTERNATE FOR ALL LABOR, MATERIALS, AND EQUIPMENT NECESSARY TO REROOF BUILDINGS AT BAYVIEW OAKS, COMPLETE AS INDICATED ON THE DRAWINGS AND IN ACCORDANCE WITH THE SPECIFICATIONS. ALTERNATE #2: AN ADDITIVE ALTERNATE FOR ALL LABOR, MATERIALS, AND EQUIPMENT NECESSARY TO INSTALL A LAMINATED

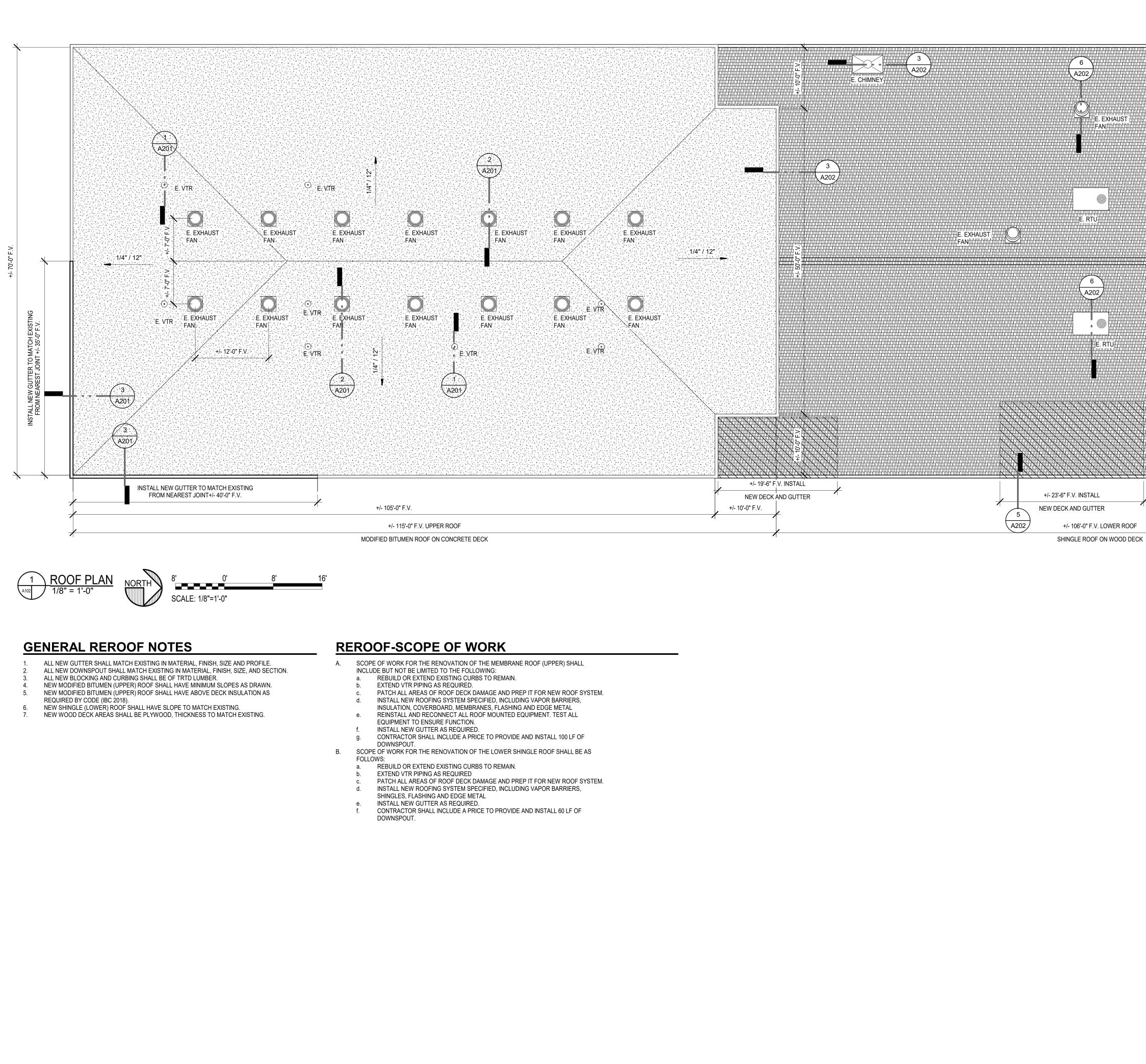
SHINGLE ROOF IN LIEU OF THE BASE BID 3-TAB SHINGLE ROOF, COMPLETE AS INDICATED ON THE DRAWINGS AND IN ACCORDANCE

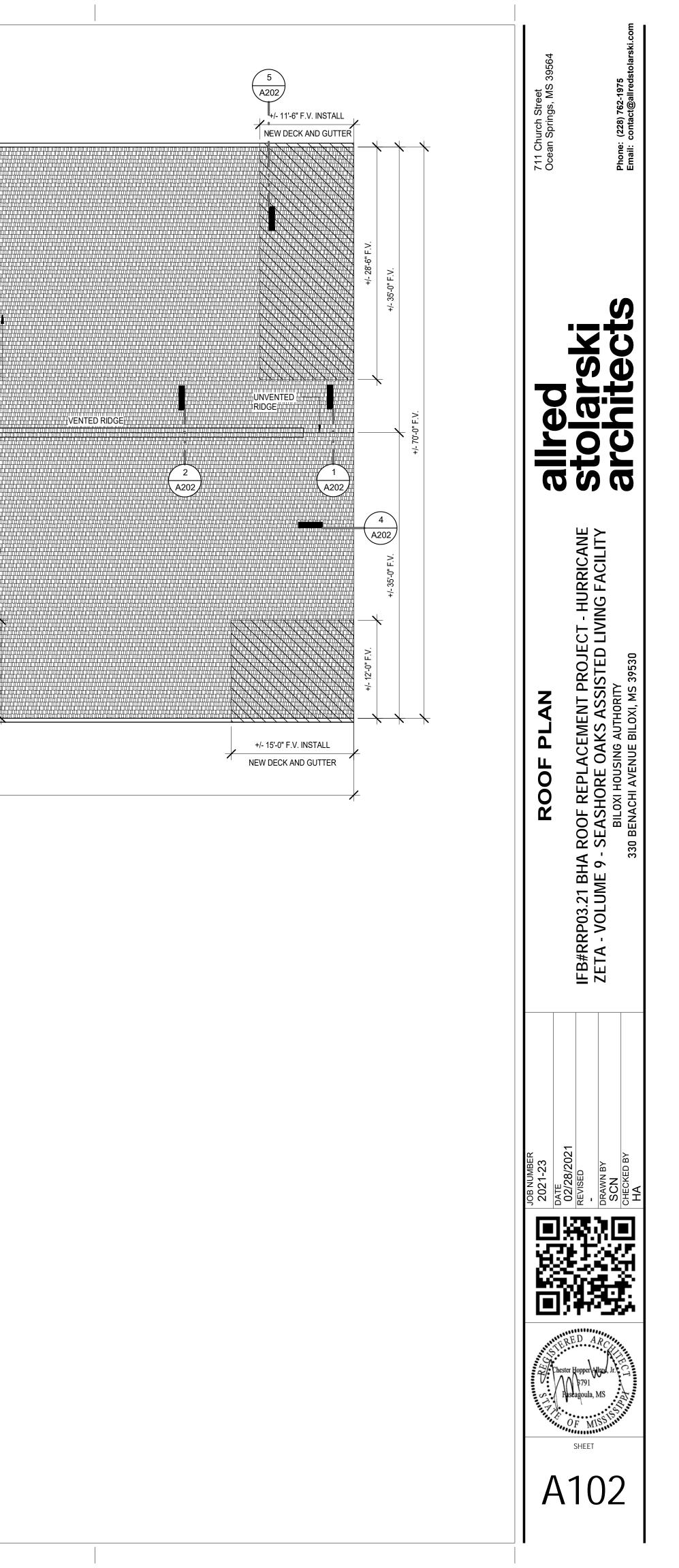
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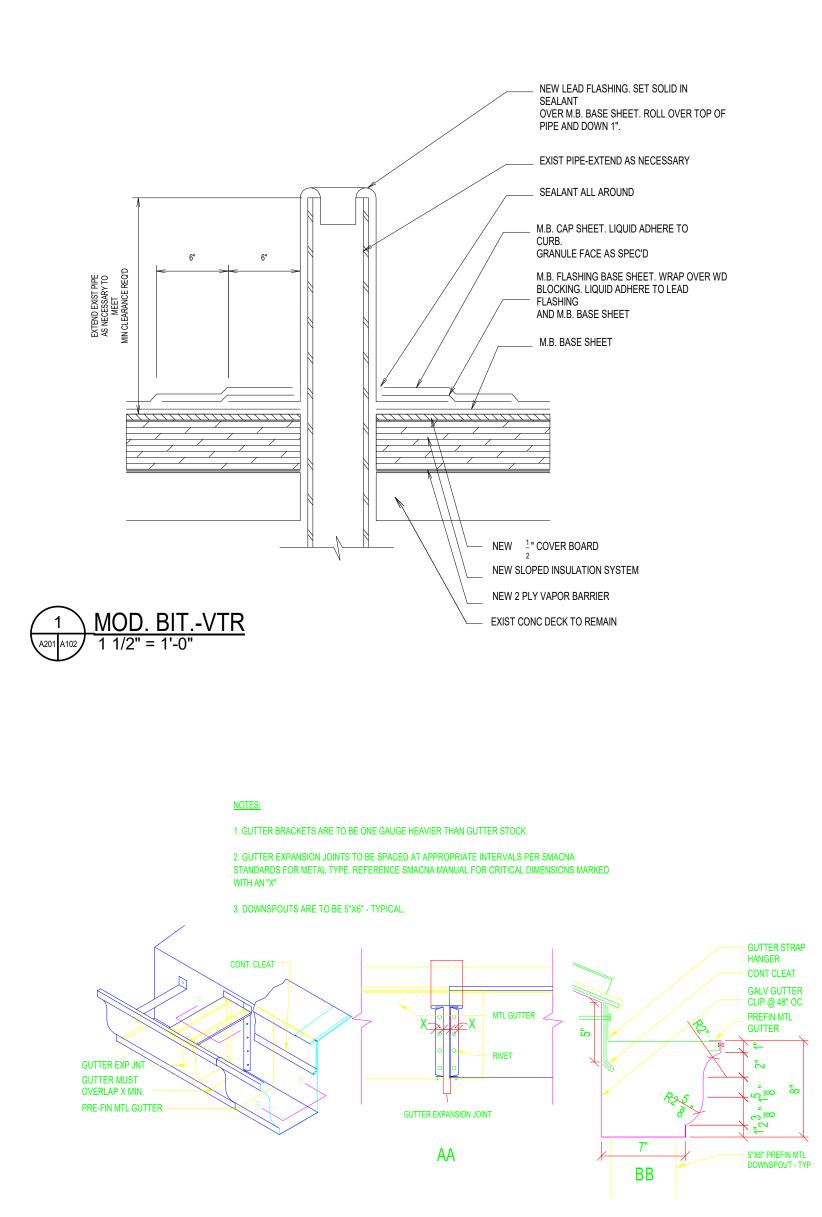


711 Church Street Ocean Springs, MS 39564

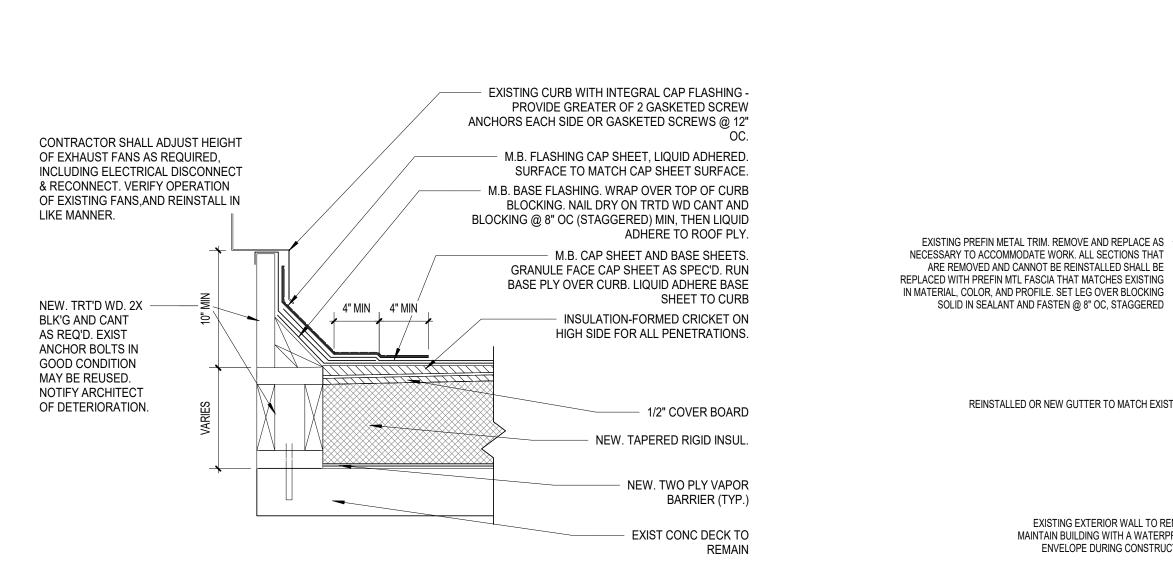




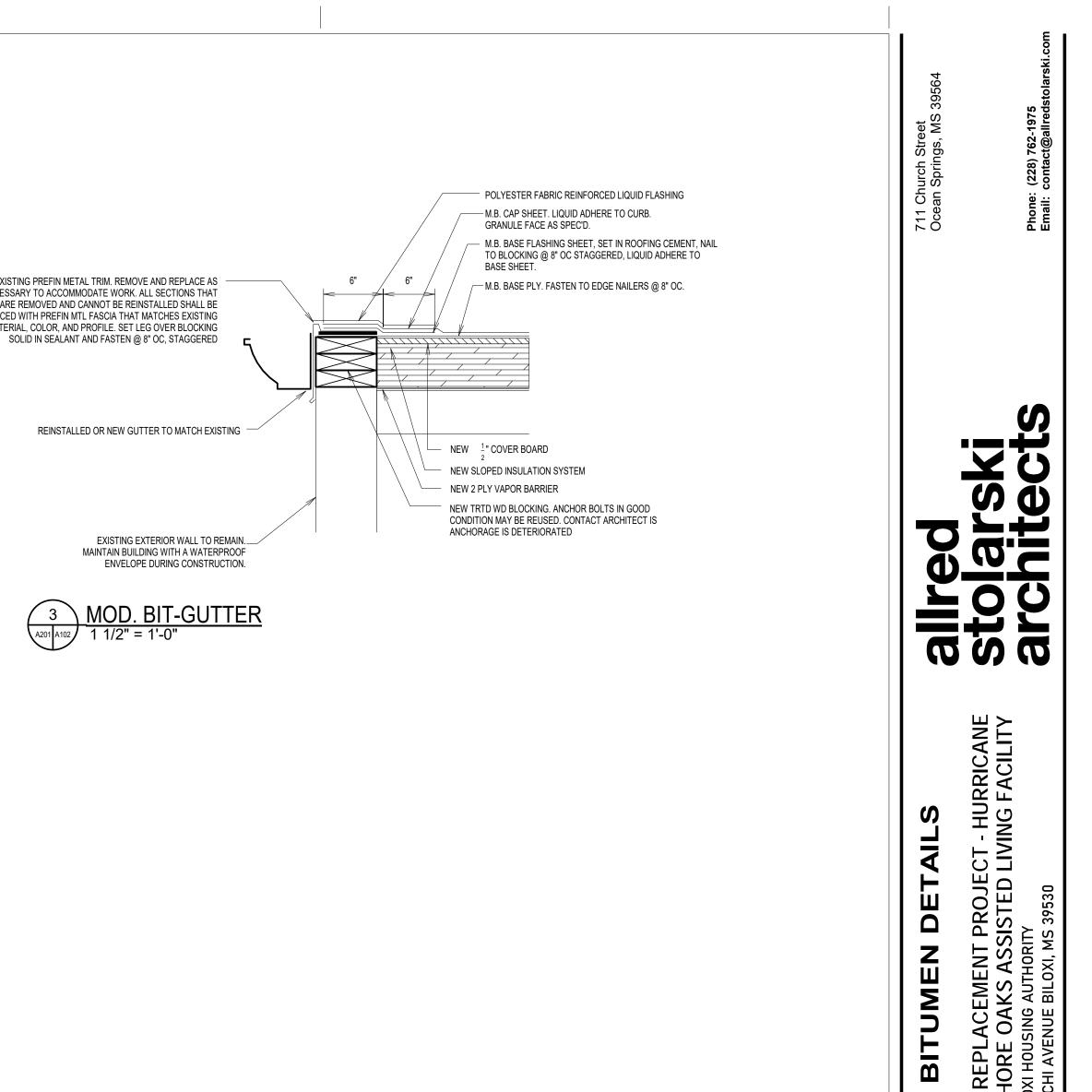


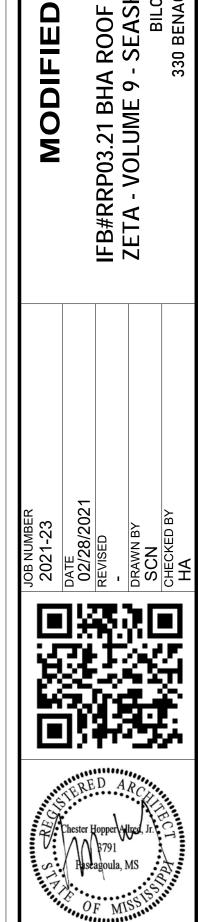












MODIFIED



